

| Folio No. | Referred to | Date    | Clearing Officer's Initials | Folio No. | Referred to | Date | Clearing Officer's Initials | Folio No. | Referred to | Date | Clearing Officer's Initials |
|-----------|-------------|---------|-----------------------------|-----------|-------------|------|-----------------------------|-----------|-------------|------|-----------------------------|
| BF SK     |             | 1-3-92  |                             |           |             |      |                             |           |             |      |                             |
| FIO       |             | 5/4/01  |                             |           |             |      |                             |           |             |      |                             |
| FIO       |             | 7/10/05 |                             |           |             |      |                             |           |             |      |                             |

SHIRE OF FLINDERS

**PROPERTY FILE**

OTHER RELEVANT FILES:

PROPERTY SITUATE

POINT NEPEAN ROAD 607-609  
57475.00000

055286 148725

01

GRACE RECORDS MANAGEMENT  
 VIC0559234



148725

# HISTORY FILES

114627 ✓

114628

**WARNING**  
THIS FILE HAS A HISTORY  
PLEASE CHECK RELATED FILES

# **This file**

- **is closed**

Documents received since  
1<sup>st</sup> April 1999 have been  
scanned.

- The images are available  
on Ausinfo.



B 64/96

607-609 POINT NEPEAN ROAD  
MCCRAE 3938

PS 310930 Lot 1

R.F.  
OK-14/5/96.

64/96

44971  
148725



BUILDING ACT 1993  
BUILDING REGULATIONS 1994  
*Regulations 7.3*

FORM 8

**CERTIFICATE OF FINAL INSPECTION B 64/96**

TO:

Owner or Agent: WOODVILLE HOUSE & GARDEN SERVICE  
PO BOX 366  
ROSEBUD 3939

Property Details: PS 310930 Lot 1 – 607-609 Point Nepean Road, Rosebud

MUNICIPAL DISTRICT: MORNINGTON PENINSULA SHIRE COUNCIL

**Description of Building Works**

Part of Building: As per approved plans  
Permitted Use: Fence  
BCA Class: 10b

Any directions under Part 4 of the Building Act 1993 have been complied with.

Building Surveyor

NAME: **Daryl Woods**

Registration Number: 1267

POSTAL ADDRESS:

MORNINGTON PENINSULA SHIRE  
COUNCIL  
PRIVATE BAG 9  
MORNINGTON 3931

Signature:

Irrelevant / Sensitive

DATE OF ISSUE: 22/06/99

NOTE: This Certificate of Final Inspection is not evidence that the building, part of building or Building work listed above complies with the Building Act 1993 or Building Regulations 1994

PROPERTY: L 4071.5403

PS 310930 Lot 1

607-609 POINT NEPEAN ROAD, MCCRAE

Builder: WOODVILLE HOUSE AND GARDEN SI

P O BOX 366

ROSEBUD 3939

Owner: J & A F RADCLIFFE

607 POINT NEPEAN ROAD

MCCRAE 3938

Permit: B 64/96

Date: 14 MAY 1996

Value: \$3,000

Type: NEW

Description: FENCE

Walls:

Roofs:

Floors:

DATE RECEIVED

[illegible]



FORM 14

**BUILDING ACT 1993  
BUILDING REGULATIONS 1994  
REGULATION 15(2)**

## CERTIFICATE OF COMPLIANCE-INSPECTION

To: THE RELEVANT BUILDING SURVEYOR .....  
POSTAL ADDRESS .....

From:  
CRAIG MATHESON  
5 BOLTON COURT  
LANGWARRIN 3910  
MOB 0416 006 219

BUILDING INSPECTOR  
REGISTRATION No. LN.1588

### Property Details:

SITUATED AT  
No. 607 LOT No. .... STREET PT NEPEAN RD  
SUBURB MCCRAE MUNICIPAL DISTRICT M.P.S.C.

**Compliance:**

I CERTIFY THAT THE PART OF THE BUILDING WORK DESCRIBED AS ( NOTED BELOW )

**BUILDING DESCRIPTION** FENCE  
Has been inspected by me and complies with the approved plans, the Building Code of Australia 1996 including part B 1.3.

## DATE AND TYPE OF INSPECTION:

|                                  |                |          |                       |
|----------------------------------|----------------|----------|-----------------------|
| PRE-POLYTHENE SLAB               | Date approved: |          | Inspector: C Matheson |
| PRE-POUR SLAB>>>>>>>>>>>>>>>>>>  |                |          | C Matheson            |
| FOOTING/TRENCH/PRE-POUR>>>>>>>>> |                |          | C Matheson            |
| STUMP HOLE>>>>>>>>>>>>>>>>>>     |                |          | C Matheson            |
| PADS>>>>>>>>>>>>>>>>>>>>>>       |                |          | C Matheson            |
| SUB-FLOOR>>>>>>>>>>>>>>>>>>      |                |          | C Matheson            |
| FRAME>>>>>>>>>>>>>>>>>>>>>       |                |          | C Matheson            |
| FINAL>>>>>>>>>>>>>>>>>>>>>       |                | 22.6.99. | C Matheson            |
| OTHER:                           |                |          | C Matheson            |

DATE: 22.6.99

TERMITE AREA--PART:A.....  
PART:B.....

**SIGNED:** Irrelevant / Sensitive

ANY COMMENTS: .....

**Form 2**  
**BUILDING ACT 1993**  
**BUILDING REGULATIONS 1994**  
*Regulation 2.6*  
**BUILDING PERMIT B64/95**

**Owner/Agent :** WOODVILLE HOUSE & GARDEN SERVICE  
 PO BOX 366  
 ROSEBUD 3939

**Property Details :** - LOT 1 PS310930 - 607-609 POINT NEPEAN ROAD, MCRAE  
**Municipal District :** Mornington Peninsula Shire Council

**Nature of Building Work :** PROPOSED NEW FENCE  
**Allotment Area (new dwellings only) :** 0.000m<sup>2</sup>  
**Stage of Building Work Permitted :** N/A **Cost of building work :** \$3,000.00

**Building details :**

|                             |   |                |
|-----------------------------|---|----------------|
| Class                       | : | 10 OUTBUILDING |
| Type                        | : | NEW            |
| Description                 | : | FENCE          |
| Area (m <sup>2</sup> )      | : | N/A            |
| Walls                       | : | N/A            |
| Roof                        | : | N/A            |
| Floors                      | : | N/A            |
| Existing Dwellings          | : | 1              |
| Dwellings to be constructed | : | 0              |
| Dwellings to be demolished  | : | N/A            |
| No of storeys               | : | 1              |

**Inspection Requirements :**

Mandatory notification stages are footings, prior to pouring insitu reinforced concrete, framework and final.

**Occupation of building :**

\* *Cross out if not applicable*

An occupancy permit/certificate of final inspection\* is required prior to the occupation of this building.

**Commencement and completion :**

This building work must commence by 14/05/97 and must be completed by 14/05/98 .

**Building Supervisor :** [Redacted] Knoweth

**Registration No :** 1040

**Signature :** [Redacted]

Irrelevant / Sensitive

**Date of Issue :** 14/05/96

**NOTE**

No alteration to or variation from stamped Plans and Specifications may be made without written consent of Building Surveyor.

"This building approval is granted ONLY in respect of building work to be carried out in accordance with the Building Act 1993 and the Building Regulations 1994. Before building work is commenced additional permits or approvals may need to be obtained under other Acts or other Regulations - including the Planning and Environment Act 1987. Where registration with the Housing Guarantee Fund is required all provisions of the House Contracts Guarantee Act 1987 apply"



JS:NT Bldg/general

## OUTBUILDINGS/HEATERS/FENCES/POOLS/ETC.

DATE LODGED 19/1/96B.A. NUMBER B 64/96

| Glossary<br>6 | Required Information                                    | No. of Copies | Items<br>Received | Fees Paid | Outstanding<br>Items |
|---------------|---|---------------|-------------------|-----------|----------------------|
|               | <b>HEATERS</b>  |               |                   |           |                      |
| 14            | Building Application Form                               | 1             |                   |           |                      |
|               | Building Permit Levy Fee                                |               |                   | \$        |                      |
|               | AS.2918 Test Report (if available)                      | 3             |                   |           |                      |
|               | Flue Diagram and Details                                | 3             |                   |           |                      |
|               | Hearth Requirements                                     | 3             |                   |           |                      |
| 105           | Smoke detector locations                                | 3             |                   |           |                      |
|               | Floor Plan of House                                     | 3             |                   |           |                      |
|               | <b>OUTBUILDINGS - garages, sheds,<br/>pools, fences</b> | 1             |                   |           |                      |
| 14            | Building Application Form                               | 1             | 1                 | \$ 60     | to 19/1/96           |
|               | Building Permit Levy Fee                                |               | -                 | \$ 2.25   |                      |
| 17            | Septic Tank Application Form                            | 1             | -                 | \$ -      |                      |
| 6             | HGFL Form 10  | 1             | -                 | -         |                      |
| 5             | Title   | 1             | 1                 |           |                      |
| 4             | Computations  | 3             | -                 |           |                      |
|               | If comps not submitted, ask<br>if comps required Y/N    |               |                   |           |                      |
|               | If no, advised .....,<br>fee not including comps. Y/N   |               |                   |           |                      |
| 3             | Plans - Structural                                      | 3             | -                 |           |                      |
| 2             | Plans - Architectural                                   | 3             | 3                 |           |                      |
| 62            | Pools - Safety Fencing Details                          | 3             | -                 |           |                      |
| 22            | Town Planning Application/Vic Code                      | PA/VC         | REQUIRED. P90/96  |           | LODGED<br>24/1/96.   |
| 9             | Melbourne Water Sewer Location Plan                     | 1             | NR.               |           | ISSUED<br>14/2/96    |
|               | Building Fees   |               |                   | \$        |                      |
|               | Planning Fees > \$8,000.00                              |               |                   | \$130.00  |                      |

Application received - counter/mail - date 19/1/96  
 Application advised - counter/mail - date .....

|    | Referrals       | Required<br>Yes/No | Date Sent | Date Returned |
|----|-----------------|--------------------|-----------|---------------|
| 44 | Comps Check     |                    |           |               |
| 48 | Fence on Corner | YES                | 24/1/96.  | 7/2/96.       |
| 53 | Drainage Check  |                    |           |               |

Other Comments OUTSTANDING ONLY - T/P & ENGINEERING CONSENT.







Intended use of building..... Privacy, Noise Reduction & Security .....

**If work is for prescribed building work<sup>2</sup>**

I intend to carry out all the work as an owner builder

[ ]

I intend to engage an approved builder/supervisor to carry out this work

[ ]

Certificate from approved guarantor attached

[ ]

Name of registered builder/supervisor if known.....

Postal Address.....

Telephone..... Fax.....

**Value of building work**

Estimated value of building work/contract sum

\$....

Irrelevant / Sensitive

Floor area.....(square metres) Allotment Area.....

**Stage of building work**

If application is to permit a stage of the building work:

Extent of stage:.....

Value of building work for this stage

\$.....

**Signature**

Signature of owner or agent .....

Irrelevant / Sensitive

.....Date..... 19.1.96 .....

BUILDING FEE (2) \$ 60:00

**PLANNING ADVICE**

**BUILDING SURVEYOR APPROVAL**

COMPUTATIONS (2) \$ :

PLANNING REQUIRED

BUILDING PERMIT  
LEVY<sup>3</sup> (98) \$ :

VIC CODE NOT REQUIRED

DATE..... 7/2/96 .....

SEPTIC FEE (4) \$ :

ZONING HILLSIDE RESIDENTIAL

CONSERVATION POLICY

DATE ..... 24/1/96 .....

SIGNED.....

ROAD OPENING (013) \$ :

SIGNED .....

TOTAL \$ 60:00

T.P.



Note 1 Building practitioner means:-

- (a) a building surveyor; or
- (b) a building inspector; or
- (c) a quantity surveyor; or
- (d) an engineer engaged in the building industry; or
- (e) a draftsman who carries on a business of preparing plans for building work or preparing documentation relating to permits and permit applications; or
- (f) a builder; or
- (g) a person who erects or supervises the erection of prescribed temporary structures; or
- (h) a person responsible for a building project or any stage of a building project and who belongs to a class of people prescribed to be building practitioners.

but does not include -

- (i) an architect except in Part 9 and sections 24(3) and 176(6); or
- (j) a person who does not carry on the business of building; or
- (k) a builder solely engaged in domestic building work within the meaning of the *House Contracts Guarantee Act 1987*.

Note 2 Prescribed building work means -

- (a) the construction of a new Class 1a building other than -
  - (i) a detached room not forming part of the original dwelling; or
  - (ii) a building that has been moved from one allotment to another ; or
- (b) the construction of a new garage or carport attached to a Class 1a building; or
- (c) the alteration of an existing building referred to in paragraph (a) or (b) if the value of the work exceeds \$3000; or
- (d) the alteration of any dwelling in a Class 2 building or a Class 4 dwelling in a building (other than a Class 4 dwelling in a Class 9 building) where -
  - (i) the work is carried out wholly or substantially within the space bounded by the floor, external walls and roof of the dwelling; and
  - (ii) the value of the work exceeds \$3000.

Note 3 Building permit levy

Notice is given that in accordance with section 201 of the Act, a building permit levy is required to be paid to the Building Administration Fund (to be collected by the relevant building surveyor) prior to the issue of the building permit and that the basis for calculation of that fee is 0.064 cents in every dollar of the cost of the building work for which the permit is sought.



**MORNINGTON PENINSULA SHIRE COUNCIL**

BONEO ROAD, (PRIVATE BAG 1000) ROSEBUD, 3939

**OFFICIAL RECEIPT**

TELEPHONE: (059) 81 1500

IF PAYMENT HAS BEEN MADE BY CHEQUE  
OR CREDIT CARD, THIS RECEIPT IS ISSUED  
SUBJECT TO PAYMENTS BEING CLEARED.

| REFERENCE       | ACCOUNT NUMBER | AMOUNT PAID |
|-----------------|----------------|-------------|
| BUILDING PERMIT | B64/95         | 60.00       |

WOODVILLE HOUSE &amp; GARAGE

0000

|                 |          |
|-----------------|----------|
| TOTAL           | 60.00    |
| PAID:           | 19/01/96 |
| DATE:           | 15034    |
| RECEIPT No.:    |          |
| REMITTANCE No.: |          |

# Memo

MORNINGTON PENINSULA SHIRE COUNCIL

To : Building / Planning / Health : TERRY BOYD MORNINGTON  
 From : Development Advice and Approvals  
 Subject : BA / PA 64/96  
 Address : 607-609 POINT NEPEAN ROAD McCRAE.  
 Property No : 2697-3265  
 Date : 24/1/96

Please check amended plans / comps or comment on the attached.

## COMMENTS:

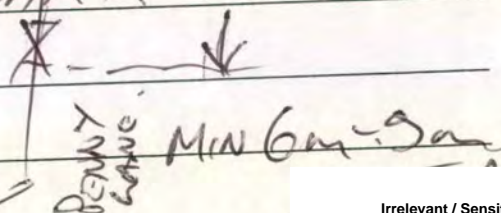
TERRY, COULD YOU PLEASE ASSESS THIS APPLICATION  
 FOR THE ERECTION OF A FRONT FENCE OVER 1.2m  
 WITHIN 9m OF THE INTERSECTION. COPY OF TITLE  
 AND RELEVANT PLANS ATTACHED

REGARDS DANNY REH

EXT 129.

DANNY,

ACCESS IS INAPPROPRIATE.  
 SHOULD BE BACK ALONG PENNY  
 LANE. HEIGHT OF FENCE IS  
 OK. ALL ROUND BUT ENSURE  
 GATES ARE 6m - 9m FROM  
 NEPEAN RD. BOUNDARY.



NEPEAN HWAY. ↑

6/2/96.





REGISTER BOOK

VOL. 10052 FOL. 415

# Certificate of Title

UNDER THE "TRANSFER OF LAND ACT"

JOSEPH RADCLIFFE and AGNESS FLINT FORRESTER RADCLIFFE both of 607  
Nepean Highway McCrae are proprietors as TENANTS IN COMMON IN EQUAL  
SHARES of an estate in fee simple subject to the encumbrances notified  
hereunder in all that land in the Parish of Wannaeue being  
Lot 2 on Plan of Subdivision No. 310930Y-

Issued under Section 24 of  
the Subdivision Act 1988-

Derived From  
Vol. 5893 Fol. 553 Vol. 5922 Fol. 314

21/1/92



*J. Moore*  
Assistant Registrar of Titles

## ENCUMBRANCES REFERRED TO

Any encumbrances created by Section 98 of the Transfer of Land Act 1958  
or Section 24 of the Subdivision Act 1988-

Any other encumbrances shown or entered on the said Plan-

SEE PS310930Y FOR BOUNDARIES AND OTHER DETAILS

# PLAN OF SUBDIVISION

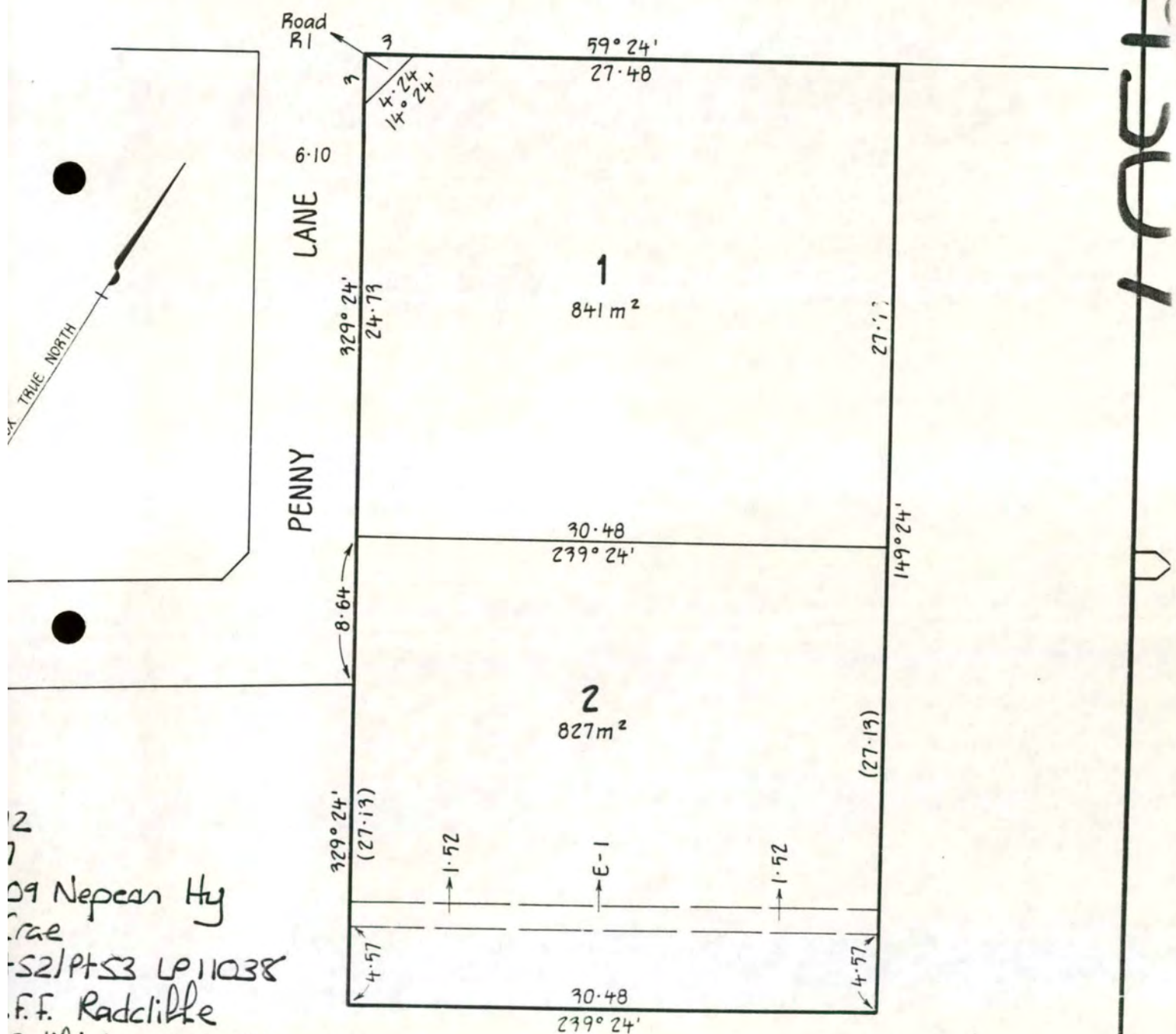
STAGE No.

PLAN NUMBER

PS 310930 Y

NEPEAN

HIGHWAY



12  
7  
09 Nepean Hy  
rae  
-S2/Pt53 LP11038  
F.F. Radcliffe  
Certified: 23rd July 1991



# WOODVILLE

HOUSE AND GARDEN

• FENCES • GATES • LANDSCAPES • CARPENTRY

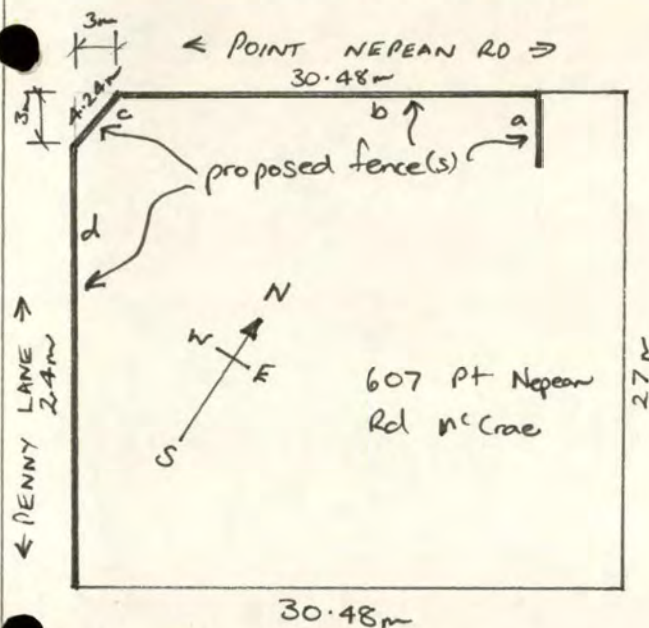
WARREN WOOD,  
58 KENNINGTON ROAD,  
P.O. BOX 366  
ROSEBUD, (VIC) 3939  
PHONE: (059) 86 7621  
MOBILE: 018 105 510



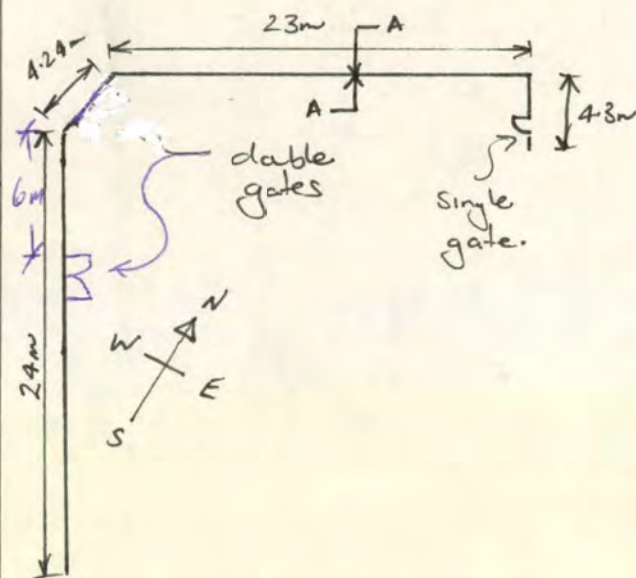
SEE OUR DISPLAY AT  
ROSEBUD GARDEN SHEDS & CARPORTS  
CNR. BONEQ RD & NEPEAN HWY.  
ROSEBUD

PROPOSED FENCE AT 607 POINT NEPEAN ROAD, M<sup>c</sup> CRAE 3938

Site Plan (Scale 1:400)

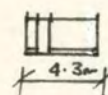


Plan of Fence (Scale 1:400)

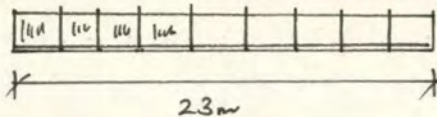


ELEVATION OF FENCE (Scale 1:400)

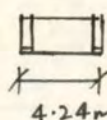
(a)



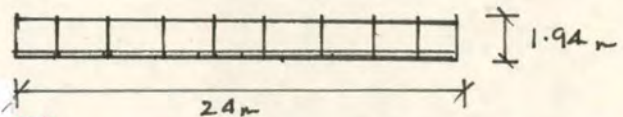
(b)



(c)



(d)



MUNICIPAL BUILDING SURVEYOR  
MORNINGTON PENINSULA  
SHIRE COUNCIL

Building Permit is granted subject  
to compliance with the provisions  
of the Building Regulations 1994  
and the Building Act 1993.

Date: 14/MAY/1996

NOTE:  
THE LOCATION OF PROPERTY BOUNDARIES  
AND THE SITING OF THE BUILDING IN  
COMPLIANCE WITH THE VICTORIA BUILDING  
REGULATIONS AND THE ACT TO DRAW-  
INGS IS THE RESPONSIBILITY OF THE  
BUILDER/OWNER.

PLANNING  
PERMIT  
APPLIES



# WOODVILLE

HOUSE AND GARDEN

• FENCES • GATES • LANDSCAPES • CARPENTRY

WARREN WOOD,  
58 KENNINGTON ROAD,  
P.O. BOX 366  
ROSEBUD, (VIC) 3939  
PHONE: (059) 86 7621  
MOBILE: 018 105 510



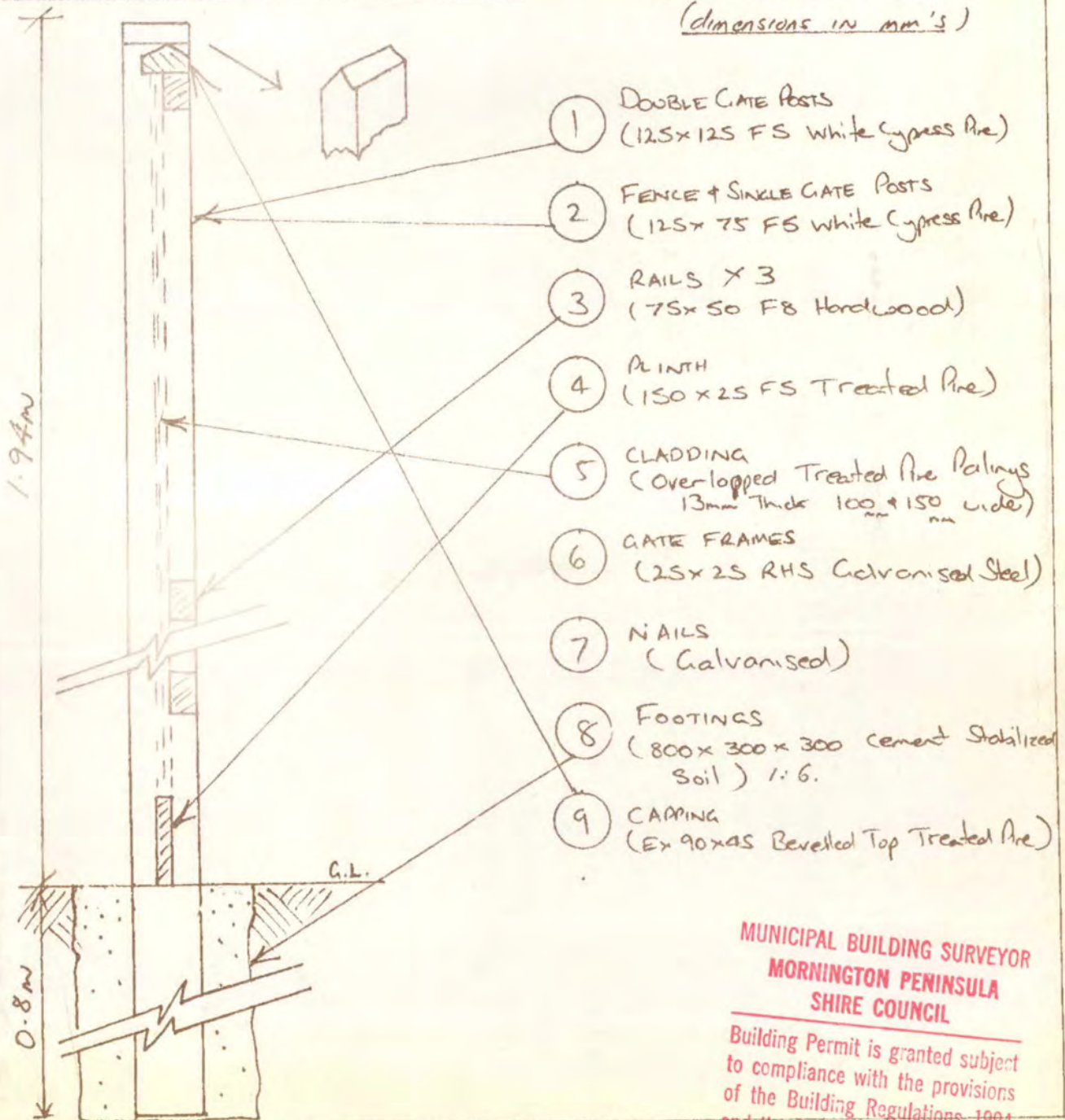
SEE OUR DISPLAY AT  
ROSEBUD GARDEN SHEDS & CARPORTS  
CNR. SONIC RD & NEPEAN HWY.  
ROSEBUD

PROPOSED FENCE AT 607 POINT NEPEAN ROAD M' CRAE 3938

SECTION DETAIL A:A (Scale 1:100)

MATERIALS LIST

(dimensions in mm's)



- 1 DOUBLE GATE POSTS  
(125x125 FS White Cypress Pine)
- 2 FENCE & SINGLE GATE POSTS  
(125x75 FS White Cypress Pine)
- 3 RAILS X 3  
(75x50 F8 Hardwood)
- 4 PLINTH  
(150x25 FS Treated Pine)
- 5 CLADDING  
(Overlapped Treated Pine Palings  
13mm Thick 100 & 150 mm wide)
- 6 GATE FRAMES  
(25x25 RHS Galvanised Steel)
- 7 NAILS  
(Galvanised)
- 8 FOOTINGS  
(800x300x300 cement Stabilized  
Soil) 1:6.
- 9 CAPPING  
(Ex 90x45 Bevelled Top Treated Pine)

**MUNICIPAL BUILDING SURVEYOR  
MORNINGTON PENINSULA  
SHIRE COUNCIL**

Building Permit is granted subject  
to compliance with the provisions  
of the Building Regulations 1994  
and the Building Act 1993.

Date: 14 MAY 1996







DEPARTMENT OF  
NATURAL RESOURCES  
& ENVIRONMENT  
VICTORIA

|                             |       |               |
|-----------------------------|-------|---------------|
| FILE NO. <b>42500</b>       |       |               |
| RECEIVED <b>27 MAY 1996</b> |       |               |
| CPT. No.                    | DEPT. | OFFICER       |
| <b>145600</b>               |       | <b>S. Jay</b> |
| FOR                         |       |               |
| DRAFT REPLY FOR C.E.        |       |               |
| DEPARTMENTAL REPLY          |       |               |
| COUNCIL COMMITTEE           |       |               |
| INFORMATION ONLY            |       |               |

607-609 Point  
Nepean Rd  
MCC 2897-3265

**LAND TITLES OFFICE**

283 Queen Street, Melbourne 3000  
Telephone (03) 96035555  
Facsimile (03) 96035556  
DX 25

Shire of Mornington Peninsula  
Private Bag 1000  
Rosebud **3939**

DATE 24/05/96

PAGE NO. 1

PLAN NUMBER : PS348585B STAGE:

DATE APPROVED/REGISTERED : 23/05/96

APPLICANT

: F+V Dimopoulos + J + A Radcliffe

COUNCIL REF.

: S 2153/95

FROM DEALING NUMBER PS348585B THE FOLLOWING NEW TITLE  
REFERENCES HAVE BEEN ALLOCATED

PARENT TITLE DETAILS  
VOL/FOL

NEW TITLE DETAILS  
LOT/UNIT NO. VOL-FOL

10052 414  
10052 415

0003 10283 264  
0004 10283 265

//



## NATURE OF SUBDIVISION

REALIGN BOUNDARIES

NO. OF ALLOTMENTS

2

SUBDIVISION  
APPLICATIONPS 348585B  
MATTHEW

NO. .S. 2153/95

## APPLICANT

J. &amp; A. RADCLIFFE

CL-WATSONS P/L.

DX 93118

MORNINGTON

## RECORDED OWNER

2690-105

2697-3265 148725 ~~114627~~ 148726

607-609 POINT NEPEAN RD. &amp;

3 PENNY LA. M'CRAE

LOTS 1 &amp; 2 PS 3109307

LOT 3 = 607 P.N.

LOT 4 = 3 PENNY LA.

## ZONING

AR

ZONING SKETCH PREPARED

CHECKED

DATE

## SUBDIVISION FEE

|               | FEE | RECEIVED | RECEIPT<br>ISSUED |
|---------------|-----|----------|-------------------|
| P.PERMIT      |     |          |                   |
| CERTIFICATION |     |          |                   |

FORM 1

FORM 19

## STATUTORY AUTHORITIES

| REFERRED TO:  | CERTIFICATION<br>P.PERMIT |               | CERTIFICATION |               |
|---------------|---------------------------|---------------|---------------|---------------|
|               | DATE                      | REPLY<br>DATE | DATE          | REPLY<br>DATE |
| VIC ROAD      | 3-11-95                   |               |               |               |
| R.W.C.        |                           |               |               |               |
| S.E.C.        | 11                        |               |               |               |
| TELECOM       |                           |               |               |               |
| C.F.A         |                           |               |               |               |
| GAS & FUEL    | 11                        |               |               |               |
| M.P. & D.W.B. | 11                        |               |               |               |
| OTHER         |                           |               |               |               |

## REQUIREMENTS

|                 |              |
|-----------------|--------------|
| STREET CONST.   | SEWERAGE     |
| DRAINAGE        | WATER SUPPLY |
| OPEN SPACE-CASH | LAND         |
| OTHER           |              |

## REPORT

TO COUNCIL

P.PERMIT SEE 114627

ISSUED NPR

AMENDED PLANS REQUESTED

REQUIREMENTS FINALISED

NOTICES SERVED

RESERVES TRANSFERE  
OR 5% PAID (CASH CONT.)

PLAN CERTIFIED

## APPEALS

NOTIFICATION RECEIVED

TIME OF APPEAL

ATTENDED BY

APPEAL DECISION

GRANTED

REFUSED

WORKS

CONSTRUCTION PLAN LODGED

APPROVED

REQUIREMENT RELEASED



J. &amp; A. RADCLIFFE

| Lot<br>Number | Floor<br>Level | Flat<br>Unit | Street<br>Number | Street Name  | Street<br>Road etc. | Suburb |
|---------------|----------------|--------------|------------------|--------------|---------------------|--------|
| 3             |                |              | 607              | POINT NEPEAN | ROAD                | McCRAE |
| 4             |                |              | 3                | PENNY        | LANE                | McCRAE |



|  |                     |   |   |   |
|--|---------------------|---|---|---|
| <b>PLAN OF SUBDIVISION</b>   |                     | STAGE No.<br>—  | LTO USE ONLY<br><b>EDITION</b>  | PLAN NUMBER<br><b>PS 348585 B</b>   |
| <b>LOCATION OF LAND</b><br>PARISH: WANNAEUE<br>TOWNSHIP: —<br>SECTION: B<br>CROWN ALLOTMENT: —<br>CROWN PORTION: 1 (PART)<br><br>LTO BASE RECORD:<br>TITLE REFERENCES: VOL.10052 FOL.414<br>VOL.10052 FOL.415<br>LAST PLAN REFERENCE: P.S.310930Y<br>LOTS 1 & 2<br>POSTAL ADDRESS: 607-609 POINT NEPEAN<br>AMG Co-ordinates ROAD, McCRAE<br>N 575 3600 ZONE 55<br>(of approx. centre of plan) E 319400                       |                     | <b>COUNCIL CERTIFICATION AND ENDORSEMENT</b><br>MORNINGTON<br>COUNCIL NAME: PENINSULA REF: S 2153/95<br>1. This plan is certified under section 6 of the Subdivision Act 1988<br><del>2. This plan is certified under section 11(7) of the Subdivision Act 1988</del><br><del>Date of original certification under section 6</del><br>3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988<br><b>OPEN SPACE</b><br>(i) A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made.<br>(ii) The requirement has been satisfied.<br><del>(iii) The requirement is to be satisfied in Stage</del><br><br>Council Delegate<br><del>Council Seal</del><br>Date <b>15/12/95</b><br><br>Re-certified under section 11(7) of the Subdivision Act 1988<br>Council Delegate<br>Council Seal<br>Date / / |   | LTO USE ONLY<br>STATEMENT OF COMPLIANCE/<br>EXEMPTION STATEMENT<br>RECEIVED <input type="checkbox"/> DATE / /<br><br>LTO USE ONLY<br>PLAN REGISTERED<br>TIME<br>DATE / /<br><br>Assistant Registrar of Titles |
| <b>VESTING OF ROADS OR RESERVES</b>  |                     | Irrelevant / Sensitive  |   |   |
| IDENTIFIER   | COUNCIL/BODY/PERSON |   |   |   |
| NIL  | NIL                 |   |   |   |
| <b>EASEMENT INFORMATION</b>  |                     |   |   |   |
| LEGEND    A - Appurtenant Easement    E - Encumbering Easement    R - Encumbering Easement (Road)  |                     |   |   |   |
| SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO ALL THE LAND IN THE PLAN.   |                     |   |   |   |
| Easement Reference   | Purpose             | Width (Metres)  | Origin  | Land Benefitted In Favour Of  |
| E-1  | DRAINAGE            | 1.52  | L.P. 11038  | LOTS IN L.P. 11038  |
| <div style="display: flex; justify-content: space-around; align-items: center;"> <div style="text-align: center;"> <p style="text-align: center;"><b>POINT NEPEAN ROAD</b></p> <p style="text-align: center;"><b>PENNY LANE</b></p> <p style="text-align: center;">APPROX. TRUE NORTH</p> </div> <div style="text-align: center;"> <p><b>3</b><br/>840 m<sup>2</sup></p> <p><b>4</b><br/>827 m<sup>2</sup></p> </div> </div> |                     |   |   |   |
| <b>WATSONS PTY. LTD.</b><br><br><b>ENGINEERS</b><br>SURVEYORS · TOWN PLANNERS<br>5 MAIN ST. MORNINGTON 3931<br>059 75 4644   |                     | Sheet 1 of 1 Sheet  |   |   |
| SCALE<br>0 5 10 15 20 25<br>LENGTHS ARE IN METRES  |                     | ORIGINAL<br>SCALE<br>1:500<br>SHEET SIZE<br>A3  | LICENSED SURVEYOR (PRINT) <b>Ian Thomas Muir</b><br>SIGNATURE <b>Irrelevant / Sensitive</b> <b>10-95</b><br>REF 29188A    VERSION 1 |   |
|  |                     | DATE <b>Irrelevant / Sensitive</b><br>COUNCIL DELEGATE SIGNATURE  |   |   |



| PLAN OF SUBDIVISION   |                     | STAGE No<br>—   | LTO USE ONLY<br><b>EDITION</b> | PLAN NUMBER<br><b>PS 348585 B</b> |  |  |  |  |
|---|---------------------|---|--------------------------------|-----------------------------------|--|--|--|--|
| <b>LOCATION OF LAND</b><br>PARISH: WANNAEUE<br>TOWNSHIP: —<br>SECTION: B<br>CROWN ALLOTMENT: —<br>CROWN PORTION: 1 (PART)<br><br><b>LTO BASE RECORD:</b><br>TITLE REFERENCES: VOL.10052 FOL. 414<br>VOL.10052 FOL. 415<br>LAST PLAN REFERENCE: P.S. 310930 Y<br>LOTS 1 & 2<br>POSTAL ADDRESS: 607-609 POINT NEPEAN<br>AMG Co-ordinates ROAD, McCRAE<br>N 575 3600 ZONE 55<br>(of approx. centre of plan) E 319400 |                     | <b>COUNCIL CERTIFICATION AND ENDORSEMENT</b><br>MORNINGTON<br>COUNCIL NAME: PENINSULA REF: <b>S 2153 / 95</b><br>1. This plan is certified under section 6 of the Subdivision Act 1988<br><del>2. This plan is certified under section 11(7) of the Subdivision Act 1988</del><br><del>Date of original certification under section 6</del> / /<br>3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988.<br><b>OPEN SPACE</b><br>(i) A requirement for public open space under section 18 of the Subdivision Act 1988 has not been made.<br>(ii) The requirement has been satisfied.<br><del>(iii) The requirement is to be satisfied in Stage</del> / /<br><br>Council Delegate<br><del>Council Seal</del><br>Date <b>15/12/95</b><br><br>Re-certified under section 11(7) of the Subdivision Act 1988<br>Council Delegate<br>Council Seal<br>Date / / |                                |                                   | <b>LTO USE ONLY</b><br>STATEMENT OF COMPLIANCE/<br>EXEMPTION STATEMENT<br>RECEIVED <input type="checkbox"/> DATE: / /<br><br><b>LTO USE ONLY</b><br>PLAN REGISTERED<br>TIME<br>DATE / /<br><br>Assistant Registrar of Titles |  |  |  |
| <b>VESTING OF ROADS OR RESERVES</b><br><table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">IDENTIFIER</th> <th style="width: 50%;">COUNCIL/BODY/PERSON</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;">NIL</td> <td style="text-align: center;">NIL</td> </tr> </tbody> </table>   |                     | IDENTIFIER  | COUNCIL/BODY/PERSON            | NIL                               | NIL  | <b>NOTATIONS</b><br>DEPTH LIMITATION: DOES NOT APPLY.<br>STAGING<br>This is not a staged subdivision.<br>Planning Permit No.<br>SURVEY<br>This plan is not based on survey.<br><b>LOTS 1 AND 2 HAVE BEEN OMITTED FROM THIS PLAN.</b> |  |  |
| IDENTIFIER  | COUNCIL/BODY/PERSON |   |                                |                                   |  |  |  |  |
| NIL   | NIL                 |   |                                |                                   |  |  |  |  |
| <b>EASEMENT INFORMATION</b>   |                     |   |                                |                                   |  |  |  |  |
| LEGEND    A - Appurtenant Easement    E - Encumbering Easement    R - Encumbering Easement (Road)   |                     |   |                                |                                   |  |  |  |  |
| SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO ALL THE LAND IN THE PLAN.  |                     |   |                                |                                   |  |  |  |  |
| Easement Reference  | Purpose             | Width (Metres)  | Origin                         | Land Benefitted/In Favour Of      |  |  |  |  |
| E-1   | DRAINAGE            | 1.52  | L.P. 11038                     | LOTS IN L.P. 11038                |  |  |  |  |
| <div style="display: flex; justify-content: space-around;"> <div style="text-align: center;"> </div> <div style="text-align: center;"> <p><b>POINT NEPEAN ROAD</b></p> </div> </div>  |                     |   |                                |                                   |  |  |  |  |
| <b>WATSONS PTY. LTD.</b><br>ENGINEERS<br>SURVEYORS • TOWN PLANNERS<br>5 MAIN ST. MORNINGTON 3931<br>059 75 4644   |                     |   |                                |                                   |  |  |  |  |
| SCALE<br>0    5    10    15    20    25<br>LENGTHS ARE IN METRES  |                     | ORIGINAL<br>SCALE    SHEET<br>1:500    SIZE<br>A3<br><br>LICENSED SURVEYOR (PRINT) <b>Ian Thomas Muir</b><br>SIGNATURE <b>Irrelevant / Sensitive</b> DATE <b>31-10-95</b><br>REF <b>29188A</b> VERSION <b>1</b>   |                                |                                   |  |  |  |  |
| DATE <b>15/12/95</b><br>COUNCIL DELEGATE SIGNATURE <b>Irrelevant / Sensitive</b>  |                     |   |                                |                                   |  |  |  |  |



**DELEGATE REPORT**

**OFFICER:** Stephen Joy **FILE No:** S 2153/95  
**APPLICATION:** Certify plan & issue S of C **DATE:** December 15, 1995  
**APPLICANT:** J. & A. Radcliffe  
**ADDRESS:** 607 Point Nepean Rd. Mc Crae  
**RECOMMENDATION:** Approval

---

**SCHEME PROVISIONS:**

**ZONE:** HR **SECTION:** 6(1) & 21

**FORM 19 LODGED:** December 15, 1995 (No Public Works)

**REPORT:**

The planning permit for this subdivision was issued previously and did not contain a condition which needed to be satisfied prior to certification.

All referral authorities have consented to the certification of the plan.

The permit does not contain any conditions which would prevent the issue of a Statement of Compliance at this time.

The plan is considered reasonable and may be certified together with the issue of a Statement of Compliance.

**RECOMMENDATION:**

That the plan be certified and the Statement of Compliance be issued.  
**Form 7**

Irrelevant / Sensitive

STEPHEN JOY



MEMO TO : ENGINEERING  
BUILDING SURVEYOR  
HEALTH OFFICER

FROM : STEVE Joy

SUBJECT : APPLICATION NO: S 5057/95  
FOR PLANNING PERMIT

ADDRESS : 34 BELEURA Hill Ro. Milton

DATE : 11-12-95

WOULD YOU PLEASE ADVISE AS SOON AS POSSIBLE ANY MATTERS YOU THINK REQUIRE ATTENTION IN CONNECTION WITH THE ABOVE MENTIONED APPLICATION. THANK-YOU.

TO PLANNING OFFICER:



**FORM 19****REGULATION 56 SUBDIVISION (PROCEDURE) REGULATIONS 1989****SECTION 20 A****SUBDIVISION ACT 1988****Advice by Licensed Surveyor**

This is the written advice by a licensed surveyor required by Section 20A of the SUBDIVISION ACT 1988  
It relates to Plan Number: **P.S. 348585B**

1. All roads, reserves and where appropriate boundaries of the land in the plan, the lots and common property have been marked or identified and supporting survey monumentation is in place on the Plan of Subdivision referred to above as is required under the Surveyors (Cadastral Surveys) Regulations 1985.
  2. The accuracy of the plan and the boundary determination is in accord with the accuracy requirements of the above regulations.
  3. \*A. The plan represents the adopted boundaries and no substantial discrepancy exists.
- or
- \*B. A substantial discrepancy exists between a boundary and the boundary as shown on the plan. Details of these discrepancies are provided on the attached plan.
  4. \* The relationships between survey monumentation and lot boundaries (including any requirements to tie to monuments placed under the Survey Co-ordination Act) are shown on the attached survey information sheet/sheets.

\* Delete if inapplicable.

Irrelevant / Sensitive

..... / IAN T. MUIR .....

Licensed Surveyor

Date: **15.12.95**

WATSONS PTY.LTD.  
5 Main Street  
Mornington 3931  
Phone (059) 75 4644

Watsons Pty.Ltd. Ref:

Copy for - Watsons P/L

UNITED ENERGY LTD

ACN 064 651 029

4 Baxter Street

Frankston Victoria 3199

PO Box 305

Service &amp; Accounts Enquiries 13 3000

Power Failure &amp; Faults 13 2099

Business Enquiries 13 3835



Our Ref: D26-19/Q58

20 November 1995

Municipal Ref: S2153/95

Chief Executive Officer  
 Mornington Peninsula Shire Council  
 Private Bag 1000  
 ROSEBUD 3939

Dear Sir/Madam

|                     |                       |
|---------------------|-----------------------|
| PLAN OF SUBDIVISION | : 348585B             |
| APPLICANT           | : RADCLIFFE J & A F F |
| DESCRIPTION OF LAND | : NEPEAN HWY, MCCRAE  |

#### CONSENT TO CERTIFICATION & COMPLIANCE

The abovementioned plan of subdivision, which has been referred in accordance with Section 8 of the Subdivision Act 1988, has been examined with regard to United Energy requirements for an overhead supply of electricity.

UE has no objection to the certification of the plan and the issue of a Statement of Compliance.

Yours faithfully

Irrelevant / Sensitive

Robert Schwieger  
 ASSET MANAGER, NEPEAN

INQUIRIES: Mark Thomas Telephone: 9784-9235





Chief Executive Officer  
Mornington Peninsula Shire Council  
Private Bag 1000  
ROSEBUD Vic 3939

ATTENTION: Steve Joy

Dear Sir

**MORNINGTON PENINSULA SHIRE COUNCIL**  
**PERMIT APPLICATION NO. S2153/95**  
**PLAN OF SUBDIVISION PS 348585B**  
**607-609 POINT NEPEAN ROAD, McCRAE**


Thank you for your letter dated 3 November 1995 concerning the above Permit Application.

VicRoads consents to the certification of the plan of subdivision numbered PS 348585B.

Should you have any enquiries regarding the above matter, please contact Mr Allan Armstrong of this office on telephone number (03) 9875 6082.

Yours faithfully

Irrelevant / Sensitive

 **JOHN COLES**  
**REGIONAL MANAGER**

Contact : A Armstrong  
Telephone : 9 875 6082  
Our Ref : SY MRP 035 R27  
Your Ref : S2153/95  
Date : 5 December 1995

|                        |       |               |
|------------------------|-------|---------------|
| FILE NO. <i>A25/00</i> |       |               |
| RECEIVED - 7 DEC 1995  |       |               |
| CPT. No.               | DEPT. | OFFICER       |
| <i>40/00</i>           |       | <i>S. Joy</i> |
| FOR                    |       |               |
| DRAFT REPLY FOR C.E.   |       |               |
| DEPARTMENTAL REPLY     |       |               |
| COUNCIL COMMITTEE      |       |               |
| INFORMATION ONLY       |       |               |

ppr3391.cl

Metropolitan South East Region. 360 Whitehorse Road, Nunawading. P.O. Box 78, Nunawading Victoria 3131.  
Telephone: (03) 9875 6000. Facsimile: (03) 9894 3215, (03) 9877 6686. Ausdoc DX 27 Melbourne.

**UNITED ENERGY LTD**

ACN 064 651 029

4 Baxter Street

Frankston Victoria 3199

PO Box 305

Service &amp; Accounts Enquiries 13 3000

Power Failure &amp; Faults 13 2099

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607 P.T.N

148 725



Our Ref: D26-19/Q58

20 November 1995

Municipal Ref: S2153/95

Chief Executive Officer  
 Mornington Peninsula Shire Council  
 Private Bag 1000  
 ROSEBUD 3939

Dear Sir/Madam

PLAN OF SUBDIVISION : 348585B  
 APPLICANT : RADCLIFFE J & A F F  
 DESCRIPTION OF LAND : NEPEAN HWY, MCCRAE

|                      |       |         |
|----------------------|-------|---------|
| FILE NO. 425/00      |       |         |
| RECEIVED 21 NOV 1995 |       |         |
| CPT. No.             | DEPT. | OFFICER |
| 26000                |       | S. Joy  |
| FOR                  |       |         |
| DRAFT REPLY FOR C.E. |       |         |
| DEPARTMENTAL REPLY   |       |         |
| COUNCIL COMMITTEE    |       |         |
| INFORM               |       |         |

**CONSENT TO CERTIFICATION & COMPLIANCE**

The abovementioned plan of subdivision, which has been referred in accordance with Section 8 of the Subdivision Act 1988, has been examined with regard to United Energy requirements for an overhead supply of electricity.

UE has no objection to the certification of the plan and the issue of a Statement of Compliance.

Yours faithfully

Irrelevant / Sensitive

Robert Schwieger  
 ASSET MANAGER, NEPEAN

INQUIRIES: Mark Thomas Telephone: 9784-9235





17 November, 1995

Subdivisions Officer  
Mornington Peninsula Shire Council  
DX 30059  
Rosebud

|                             |       |                          |
|-----------------------------|-------|--------------------------|
| FILE NO. <b>425/00</b>      |       |                          |
| RECEIVED <b>21 NOV 1995</b> |       |                          |
| CPI. No.<br><b>25700</b>    | DEPT. | OFFICER<br><b>S. Joy</b> |
| FOR                         |       |                          |
| DRAFT REPLY<br>FOR C.E.     |       |                          |
| DEPARTMENTAL<br>REPLY       |       |                          |
| COUNCIL<br>COMMITTEE        |       |                          |
| INFORMATION<br>ONLY         |       |                          |

Dear Sir/Madam,

**APPLICATION FOR CERTIFICATION: 607-609 POINT NEPEAN ROAD, McCRAE**  
**YOUR REFERENCE: S 2153/95**  
**PLAN NUMBER: PS 348585 B**  
**SURVEYOR'S REFERENCE: 29188A VERSION: (1)**  
**OUR REFERENCE: 801/202/0328**

Thank you for your letter of 3 November 1995. Pursuant to Section 9 of the Subdivision Act 1988, South East Water Limited consents to the plan of subdivision being certified.

Your Council **may** issue a statement of compliance to the applicant at this stage.

If you require further information please contact South East Water Limited's Frank Kalogiros on telephone 552 3336.

Yours faithfully

Irrelevant / Sensitive

**John Sacco**  
**DEVELOPER SERVICES**


**Gas and Fuel**

 Telephone: (03) 652 4222  
 Facsimile: (03) 652 4930

 171 Flinders Street, Melbourne Victoria 3000. Address all mail to: G.P.O. Box 1841Q, Melbourne Victoria 3001  
 'Gas and Fuel' is the trading name of GASCOR

## Technical Services Group

Our Reference: 41/S-95-5917

Your Reference: 114627

Enquiries: Eddie S Kozlowski

Extension: 5060

**Strategic Planning Manager**  
**Mornington Peninsula Shire**  
**Private Bag 1000**  
**Rosebud 3939**

|                             |       |                        |
|-----------------------------|-------|------------------------|
| FILE NO. <b>625/00</b>      |       |                        |
| RECEIVED <b>15 NOV 1995</b> |       |                        |
| CPT. No.<br><b>23200</b>    | DEPT. | OFFICER<br><b>SSBY</b> |
| DRAFT REPLY FOR C.E.        |       | <b>13/11/1995</b>      |
| DEPARTMENTAL REPLY.         |       |                        |
| COUNCIL COMMITTEE           |       |                        |
| INFORMATION ONLY.           |       |                        |

Systems Engineering

Dear Sir,

Re: **APPLICATION FOR CERTIFICATION**  
 607 - 609 POINT NEPEAN ROAD, Mc CRAE  
 PS No. 348585B

Reference is made to the above correspondence dated 03/11/1995 and accompanying plan.

The Gas and Fuel pursuant to Section 9 of the Subdivision Act 1988 has no objection to the proposed subdivision and consents to the Council issuing a statement of compliance.

Yours faithfully,

Irrelevant / Sensitive

+ **C. M. BICKELL**  
 Manager, Systems Engineering



03 November 1995 Steve Joy

alc/sj  
114627  
S 2153/95

J. & A. Radcliffe  
C/- Watsons P/L.  
DX 93118  
P.O. Box 171  
Mornington 3931

Dear Sir,

Re: **Plan of Subdivision No. PS 348585 B**  
**607-609 Point Nepean Road, McCrae**

Pursuant to Section 27 (2) of the Subdivision (Procedures) Regulations 1989, please find enclosed copy of Form 1 Notice.

Yours faithfully,

Irrelevant / Sensitive

**Stephen Joy**  
**SUBDIVISIONS OFFICER**

(pssl012r)

03 November 1995 Steve Joy

alc/sj  
114627

**FILE COPY**

Dear Sir,

Re: **APPLICATION FOR CERTIFICATION OF A PLAN OF  
SUBDIVISION**

The following details concern an amended plan of subdivision which is submitted for Certification.

|                                    |   |
|------------------------------------|---|
| <b>Council Planning Permit No:</b> | 15043   |
| <b>Council Subdivision Ref No:</b> | S 2153/95   |
| <b>Stage No. (if applicable):</b>  | -   |
| <b>Land Titles Office Ref No:</b>  | PS 348585 B   |
| <b>Property File No:</b>           | 114627  |
| <b>Description of Land:</b>        | Lots 1 & 2 PS 310930 Y                                      |
| <b>Parish:</b>                     | Moorooduc   |
| <b>Location of Subdivision:</b>    | 607-609 Point Nepean Road, McCr                             |
| <b>Owner's Name:</b>               | J. & A. Radcliffe   |
| <b>Consultant:</b>                 | Watsons P/L.<br>DX 93118<br>P.O. Box 171<br>Mornington 3931 |

Advice of your Authority's consent to Certification is requested.

Yours faithfully,



**Stephen Joy**  
**SUBDIVISIONS OFFICER**

(pssl012r)



| <b>PLAN OF SUBDIVISION</b>   |                     | STAGE No.<br>—  | LTO USE ONLY<br><b>EDITION</b> | PLAN NUMBER<br><b>PS 348585 B</b>  |     |  |  |  |
|--|---------------------|---|--------------------------------|--|-----|--|--|--|
| <b>LOCATION OF LAND</b><br>PARISH: WANNAEUE<br>TOWNSHIP: —<br>SECTION: B<br>CROWN ALLOTMENT: —<br>CROWN PORTION: 1 (PART)<br><br><b>LTO BASE RECORD:</b><br>TITLE REFERENCES: VOL.10052 FOL. 414<br>VOL.10052 FOL. 415<br>LAST PLAN REFERENCE: P.S. 310930 Y<br>LOTS 1 & 2<br>POSTAL ADDRESS: 607-609 POINT NEPEAN<br>ROAD, MCCRAE<br>AMG Co-ordinates N 575 3600 ZONE: 55<br>(of approx. centre of plan) E 319400 |                     | <b>COUNCIL CERTIFICATION AND ENDORSEMENT</b><br>MORNINGTON<br>COUNCIL NAME: PENINSULA REF:<br>1. This plan is certified under section 6 of the Subdivision Act 1988<br>2. This plan is certified under section 11(7) of the Subdivision Act 1988<br>Date of original certification under section 6 . . . / . . . / . . .<br>3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988.<br><b>OPEN SPACE</b><br>(i) A requirement for public open space under section 18 of the Subdivision Act 1988 has/has not been made.<br>(ii) The requirement has been satisfied.<br>(iii) The requirement is to be satisfied in Stage . . . . .<br><br>Council Delegate<br>Council Seal<br>Date / /<br><br>Re-certified under section 11(7) of the Subdivision Act 1988.<br>Council Delegate<br>Council Seal<br>Date / / |                                | LTO USE ONLY<br>STATEMENT OF COMPLIANCE/<br>EXEMPTION STATEMENT<br>RECEIVED <input type="checkbox"/> DATE: / /<br><br>LTO USE ONLY<br>PLAN REGISTERED<br>TIME<br>DATE / /<br><br>Assistant Registrar of Titles |     |  |  |  |
| <b>VESTING OF ROADS OR RESERVES</b><br><table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">IDENTIFIER</th> <th style="width: 50%;">COUNCIL/BODY/PERSON</th> </tr> <tr> <td style="text-align: center;">NIL</td> <td style="text-align: center;">NIL</td> </tr> </table>  |                     | IDENTIFIER  | COUNCIL/BODY/PERSON            | NIL  | NIL | <b>NOTATIONS</b><br><br>DEPTH LIMITATION: DOES NOT APPLY.<br><br>STAGING:<br>This is not a staged subdivision.<br><br>Planning Permit No.<br><br>SURVEY:<br>This plan is not based on survey.<br><br>LOTS 1 AND 2 HAVE BEEN<br>OMITTED FROM THIS PLAN. |  |  |
| IDENTIFIER   | COUNCIL/BODY/PERSON |   |                                |  |     |  |  |  |
| NIL  | NIL                 |   |                                |  |     |  |  |  |
| <b>EASEMENT INFORMATION</b>  |                     |   |                                |  |     |  |  |  |
| LEGEND    A - Appurtenant Easement                      E - Encumbering Easement                      R - Encumbering Easement (Road)  |                     |   |                                |  |     |  |  |  |
| SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO ALL THE LAND IN THE PLAN.   |                     |   |                                |  |     |  |  |  |
| Easement Reference   | Purpose             | Width (Metres)  | Origin                         | Land Benefitted/In Favour Of   |     |  |  |  |
| E-1  | DRAINAGE            | 1.52  | L.P. 11038                     | LOTS IN L.P. 11038   |     |  |  |  |

### POINT NEPEAN ROAD

APPROX. TRUE NORTH

PENNY LANE 6.10

Lot 3: 840 m², 27.48m x 27.72m

Lot 4: 827 m², 27.14m x 27.14m

Easement E-1: 1.52m wide drainage easement

|  |  |  |   |  |
|--|--|--|---|--|
| <b>WATSONS PTY. LTD.</b><br><br><b>ENGINEERS</b><br>SURVEYORS • TOWN PLANNERS<br>5 MAIN ST. MORNINGTON 3931<br>059 75 4644 |  | ORIGINAL<br>SCALE    SHEET SIZE<br>1:500    A3 | LICENSED SURVEYOR (PRINT) Ian Thomas Muir<br>SIGNATURE    Irrelevant / Sensitive    DATE 31-10-95<br>REF 29100 H    VERSION 1 | Sheet 1 of 1 Sheet<br><br>DATE / /<br>COUNCIL DELEGATE SIGNATURE |
|--|--|--|---|--|

SCALE  
 0    5    10    15    20    25  
 LENGTHS ARE IN METRES



|                            |  |                |                                |                                  |
|----------------------------|--|----------------|--------------------------------|----------------------------------|
| <b>PLAN OF SUBDIVISION</b> |  | STAGE No.<br>— | LTO USE ONLY<br><b>EDITION</b> | PLAN NUMBER<br><b>PS 310930Y</b> |
|----------------------------|--|----------------|--------------------------------|----------------------------------|

|   |   |
|---|---|
| <p style="text-align: center;"><b>LOCATION OF LAND</b></p> <p>PARISH: <i>Wannaeue</i></p> <p>TOWNSHIP: —</p> <p>SECTION: <i>B</i></p> <p>CROWN ALLOTMENT: —</p> <p>CROWN PORTION: <i>1 (Part)</i></p> <p>LTO BASE RECORD:<br/>TITLE REFERENCES: <i>Vol. 5893 Fol. 553</i><br/><i>Vol. 5922 Fol. 314</i></p> <p>LAST PLAN REFERENCE/S: <i>Lots 8 &amp; 9, Pts.</i><br/><i>Lots 52 &amp; 53, L.P. 11038</i></p> <p>POSTAL ADDRESS:<br/>(At time of subdivision) <i>607-609 Nepean Highway</i><br/><i>McCrae</i></p> <p>AMG Co-ordinates<br/>(of approx centre of land<br/>in plan) <i>E 319400</i> <i>N 5753600</i> <i>ZONE: 55</i></p> | <p style="text-align: center;"><b>COUNCIL CERTIFICATION AND ENDORSEMENT</b></p> <p>COUNCIL NAME: <i>Shire of Flinders</i> REF: <i>P.S. 4772</i></p> <p>1. This plan is certified under Section 6 of the Subdivision Act 1988.</p> <p><del>2. This plan is certified under Section 11(7) of the Subdivision Act 1988.</del><br/><del>Date of original certification under Section 6: / /</del></p> <p><del>3. This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.</del></p> <p>OPEN SPACE</p> <p>(i) A requirement for public open space under Section 18 of the Subdivision Act 1988 <del>has</del>/has not been made.</p> <p><del>(ii) The requirement has been satisfied.</del></p> <p><del>(iii) The requirement is to be satisfied in Stage /</del></p> <p>Council Delegate <i>K. Webb</i><br/><del>Council Seal</del><br/>Date <i>23/ 7 / 91</i></p> <p><i>FILE 114627</i></p> <p><del>Re-certified under Section 11(7) of the Subdivision Act 1988.</del></p> <p><del>Council Delegate</del><br/><del>Council Seal</del><br/><del>Date / /</del></p> <p><i>PERMIT 5043</i></p> |
|---|---|

|   |                          |
|---|--------------------------|
| <b>VESTING OF ROADS AND/OR RESERVES</b> |                          |
| IDENTIFIER                              | COUNCIL/BODY/PERSON      |
| <i>Road R1</i>                          | <i>Shire of Flinders</i> |

|                  |   |
|------------------|---|
| <b>NOTATIONS</b> |   |
| STAGING          | This <del>is</del> is not a staged subdivision.<br>Planning permit No. <i>15049</i> |
| DEPTH LIMITATION | <i>Does not apply.</i><br><i>Lot 2 is not subject to survey.</i>                    |

SURVEY THIS PLAN IS ~~IS NOT~~ BASED ON SURVEY  
THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No (s)  
IN PROCLAIMED SURVEY AREA No.

|  |   |                    |                   |                             |   |
|--|---|--------------------|-------------------|-----------------------------|---|
| <b>EASEMENT INFORMATION</b>  |   |                    |                   |                             | <b>LTO USE ONLY</b>                             |
| LEGEND A Appurtenant Easement E Encumbering Easement R Encumbering Easement (Road) |   |                    |                   |                             | STATEMENT OF COMPLIANCE/<br>EXEMPTION STATEMENT |
|  |   |                    |                   |                             |   |
| Easement Reference   | Purpose   | Width (Metres)     | Origin            | Land Benefited/In Favour Of | RECEIVED <input type="checkbox"/><br><br>DATE   |
| <i>E - 1</i>   | <i>Drainage</i>   | <i>1.52</i>        | <i>L.P. 11038</i> | <i>Lots on L.P. 11038</i>   |   |
| <i>R1</i>  | <i>Way, Drainage, Sewerage and supply of Gas, Water, Electricity and Telephone Services</i> | <i>See Diagram</i> | <i>This Plan</i>  | <i>Lots on This Plan</i>    |   |

|                                     |  |  |  |  |
|-------------------------------------|--|--|--|--|
| <b>LTO USE ONLY</b>                 |  |  |  |  |
| PLAN REGISTERED<br>TIME<br>DATE / / |  |  |  |  |
| Assistant Registrar of Titles       |  |  |  |  |
| SHEET 1 OF 2 SHEETS                 |  |  |  |  |

|   |  |
|---|--|
| <p><b>WATSONS PTY. LTD.</b><br/>LICENSED SURVEYORS<br/>5 MAIN STREET, MORNINGTON 3931 PH. (059) 75 4644</p> | <p>LICENSED SURVEYOR (PRINT) <i>Ian Thomas Muir</i></p> <p>SIGNATURE <i>K. Webb</i> Irrelevant / Sensitive DATE <i>5/6/91</i></p> <p>REF <i>29188</i> VERSION <i>1</i></p> |
|---|--|

|  |
|--|
| <p>DATE <i>23/ 7 / 91</i></p> <p>COUNCIL DELEGATE SIGNATURE</p> <p>ORIGINAL SHEET SIZE <i>A3</i></p> |
|--|



## PLAN OF SUBDIVISION

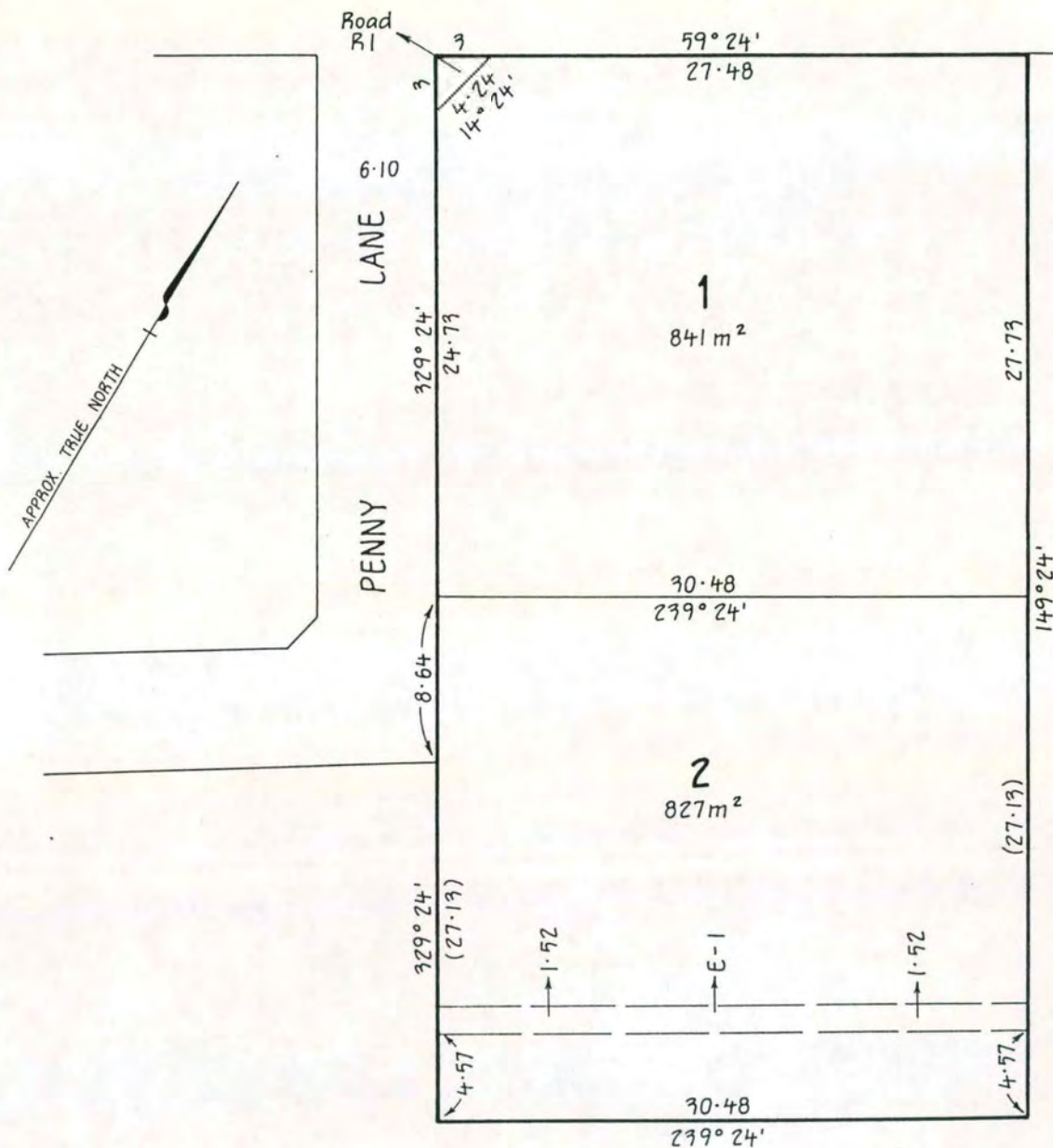
STAGE No.

PLAN NUMBER

PS 310930 Y

NEPEAN

HIGHWAY



WATSONS PTY. LTD.

LICENSED SURVEYORS

5 MAIN STREET, MORNINGTON 3931 PH. (059) 75 4644

2.5 0 2.5 5.0 7.5 10 12.5

LENGTHS ARE IN METRES

ORIGINAL  
SCALE  
1:250  
SHEET  
SIZE  
A3

LICENSED SURVEYOR (PRINT) Ian Thomas Muir

SIGNATURE Irrelevant / Sensitive DATE 5 / 6 / 91

REF 29188 VERSION 1

SHEET 2 OF 2 SHEETS

Irrelevant / Sensitive

DATE 23 / 7 / 91

COUNCIL DELEGATE SIGNATURE

Please Reply To: Mornington

Ref: 29188itm1

October 23, 1995

Mr. Todd Martin  
South East Water Limited  
DX 36006  
Moorabbin

Dear Todd,

**P.S. 310930Y**  
**Cnr Nepean Highway & Penney Lane**  
**McCrae**  
**Owners J. & A. Radcliffe**

We refer to your recent discussions with Mr. John Wright of our office regarding a water supply to lot 2 on the enclosed plan of subdivision.

P.S.310930Y was registered by the Title Office in 1992. Houses are constructed on each lot. Water supply to the two lots is obtained from the one point of supply. We understand each lot is separately metered.

We note your advice that the present water supply arrangement is satisfactory provided a Section 12(2) easement is shown on the plan of subdivision.

The Titles Office has advised that it is not possible to create a Section 12 (2) easement other than by a plan of subdivision. Consequently we propose preparing a new plan of subdivision showing a Section 12(2) easement and having the plan certified by Council and registered by the Titles Office. Prior to preparing the new plan would you please confirm that the existing method of water supply to the two lots is satisfactory subject to a Section 12 (2) easement being added to the plan.

Yours faithfully  
**Watsons Pty.Ltd.**

Irrelevant / Sensitive

**Ian T. Muir**  
**Licensed Surveyor**

encl



**Watsons**  
**Pty. Ltd.**

ACN : 005 522 421

- TOWN PLANNERS
- CIVIL ENGINEERS
- SURVEYORS
- PROJECT MANAGERS
- LANDSCAPE DESIGNERS

**MORNINGTON**  
5 Main Street,  
P.O. Box 171, 3931.  
Phone: (059) 75 4644.  
Fax: (059) 75 3916.  
DX 93118 Mornington.

**MELBOURNE**  
Suite 17  
431 St. Kilda Road,  
P.O. Box 7223,  
Melbourne, 3004.  
Phone: (03) 820 8144.  
Fax: (03) 820 3574.

**WONTHAGGI**  
177 Graham Street,  
P.O. Box 2, 3995.  
Phone: (056) 72 2722.  
Fax: (056) 72 3993.

**DIRECTORS:**  
K. Hansen, L.S., M.I.S. Aust., M.N.Z.I.S.,  
R.S. Fiji.  
J. G. Wright, Cert. Civil Eng. (Surv.),  
A.I.E. Aust., M.S.E.A.

**ASSOCIATE DIRECTORS**  
I.T. Muir, L.S., M.I.S. Aust.  
C.D. Taylor, B.P.D., B.T.R.P.  
C.L. White, Dip. C.E., E.W.S., M.I.E. Aust.  
C.P. Eng.

**ASSOCIATE**  
T.R. Pampa, L.S., M.I.S. Aust.,  
B.App.Sci.(Surv.).

**COMPANY SECRETARY**  
J. G. Wright

**CONSULTANT**  
R. F. Fallaw, L.S., Dip. T.R.P. Grad  
Dip.L.D., M.I.S. Aust. M.R.A.P.I.





SOUTH EAST  
WATER

24 October, 1995

Watsons Pty Ltd  
DX 93118  
Mornington

ATT: Ian Muir

Dear Ian,

**RE: PROVISION OF WATER SUPPLY FACILITIES TO 607-609 NEPEAN HIGHWAY, McCRAE**  
**YOUR REFERENCE: 29188itm1**

I refer to your letter dated 23 October 1995 regarding the proposed subdivision of the above property.

We acknowledge that there are currently two meters serving the two existing houses on the land. Provided the plan of subdivision includes easements pursuant to Section 12(2) of the Subdivision Act, the existing services would be satisfactory.

If you require further information please contact South East Water Limited's Todd Martin on telephone 552 3261.

Yours faithfully,

Irrelevant / Sensitive

Bruce Johnson  
DEVELOPER SERVICES SUPERVISOR



# MORNINGTON PENINSULA SHIRE COUNCIL

BONEO ROAD, (PRIVATE BAG 000) ROSEBUD, 3939

## OFFICIAL RECEIPT

TELEPHONE: (059) 81 1500

IF PAYMENT HAS BEEN MADE BY CHEQUE  
OR CREDIT CARD, THIS RECEIPT IS ISSUED  
SUBJECT TO PAYMENTS BEING CLEARED.

| REFERENCE                  | ACCOUNT NUMBER | AMOUNT PAID |
|----------------------------|----------------|-------------|
| SUBDIVISION SEALING OF IAN | 002363         | 40.00       |

J & A RADCLIFFE  
C/- WATSONS P/L  
P O BOX 171  
MORNINGTON

3931

|                 |         |
|-----------------|---------|
| TOTAL           | 40.00   |
| PAID:           | 3/11/95 |
| DATE:           | 2363    |
| RECEIPT No.:    |         |
| REMITTANCE No.: |         |

RE 607-609 POINT NEPEAN ROAD MCCRAE



# MORNINGTON PENINSULA SHIRE COUNCIL

BONEO ROAD, (PRIVATE BAG 00) ROSEBUD, 3939

## OFFICIAL RECEIPT

TELEPHONE: (059) 81 1500

IF PAYMENT HAS BEEN MADE BY CHEQUE  
OR CREDIT CARD, THIS RECEIPT IS ISSUED  
SUBJECT TO PAYMENTS BEING CLEARED.

| REFERENCE                  | ACCOUNT NUMBER | AMOUNT PAID |
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| SUBDIVISION SEALING OF IAN | 002363         | 40.00       |

J & A RADCLIFFE  
C/- WATSONS P/L  
P O BOX 171  
MORNINGTON

3931

TOTAL 40.00  
PAID:  
DATE: 3/11/95  
RECEIPT No.: 2363  
REMITTANCE No.:

RE 607-609 POINT NEPEAN ROAD MCCRAE

COPY ONLY

## FORM 1

Reg. 25,27,29 Subdivision (Procedure) Regulations 1989

## SUBDIVISION ACT

## APPLICATION FOR CERTIFICATION

Plan No. P.S. 348585B

To: Chief Executive Officer  
Mornington Peninsula Shire Council  
Queen Street  
Mornington

We: J & A F F Radcliffe  
C/- Watsons Pty. Ltd.  
5 Main Street  
Mornington 3931

Apply to have the attached Plan of Subdivision Certified under the Subdivision Act 1988.

1. Situation of Land:  
607-609 Point Nepean Road  
McCrae
2. Names and address of registered proprietor of land:  
  
J & A F F Radcliffe  
C/- Watsons Pty. Ltd.  
5 Main Street  
Mornington 3931
3. Names and address of applicant:  
  
J & A F F Radcliffe  
C/- Watsons Pty. Ltd.  
5 Main Street  
Mornington 3931.

Irrelevant / Sensitive

Registered Proprietor: .

Irrelevant / Sensitive

Dated: 30 October 95.

RECEIVED 2-11-95

REFERRED

SE WATER  
U/ENERGY  
GAS & FUEL  
VIC ROADS

3-11-95

Watsons Pty.Ltd. Ref: 29188



Please Reply To: Mornington

Ref: 29188Ian T. Muir4

25

October 31, 1995

Mr. P. McWhinney  
Mornington Peninsula Shire Council  
DX 30059  
Rosebud

Dear Peter,

**607-609 Point Nepean Road  
McCrae  
J. & A.F.F. Radcliffe**

We refer to our recent telephone conversation regarding the water supply to the two lots at the above property.

On 23rd July 1991 Council certified a plan of subdivision P.S.310930Y, your reference PS4772, copy enclosed. At the time one water service supplied both lots. The Mornington Peninsula and District Water Board advised that such an arrangement was acceptable while the two lots remained in the same ownership. If either lot was sold it would be necessary for each lot to be supplied through its own water service. This involved the installation of a water main in Penny Lane to serve lot 2.

P.S.310930Y was registered by the Titles Office on 6th February 1992.

Colonel and Mrs. Radcliffe have recently negotiated the sale of lot 2. Both lots 1 and 2 still obtain their water through the same point of supply. However, with the advent of Section 12(2) easements South East Water will now accept the current water supply arrangements to the two lots provided a Section 12(2) easement is added to the plan.

We have discussed the inclusion of a Section 12(2) easement with the Titles Office. It appears that the only way to create a Section 12(2) easement is by a new plan of subdivision. Such a procedure whilst virtually duplicating the previously prepared plan of subdivision is substantially less expensive than installing a water main in Penny Lane.

We note your advice that a new planning permit will not be required for a new plan of subdivision and that certification of the new plan will be attended to as quickly as possible.

...../2



**Watsons  
Pty. Ltd.**

ACN : 005 522 421

- TOWN PLANNERS
- CIVIL ENGINEERS
- SURVEYORS
- PROJECT MANAGERS
- LANDSCAPE DESIGNERS

**MORNINGTON**  
5 Main Street,  
P.O. Box 171, 3931.  
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Fax: (059) 75 3916.  
DX 93118 Mornington.

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Suite 17  
431 St. Kilda Road,  
P.O. Box 7223,  
Melbourne, 3004.  
Phone: (03) 820 8144.  
Fax: (03) 820 3574.

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177 Graham Street,  
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**CONSULTANT**  
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Dip.L.D., M.I.S. Aust. M.R.A.P.I.

- 2 -

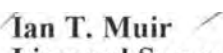


Copies of a new plan are enclosed together with a Form 1 and fee of \$40. We also enclose a copy of our letter to South East Water dated October 23rd and a copy of South East Water's reply dated October 24th regarding the acceptability of a Section 12(2) easement.

Your co-operation in this matter is appreciated by Col. & Mrs. Radcliffe.

Yours faithfully  
**Watsons Pty.Ltd.**

Irrelevant / Sensitive

  
**Ian T. Muir**  
Licensed Surveyor  
encl



P 64/96  
607-609 POINT NEPEAN ROAD  
MCCRAE 3938

PS 310930 Lot 1

PERMIT TO TYPING

ENTERED

64

February 14, 1996

Woodville House & Garden Service,  
58 Kennington Road,  
ROSEBUD. 3939

Dear Sir,

Re: **PROPOSED CONSTRUCTION OF A FENCE**  
**PLANNING APPLICATION NO. P 64/96**  
**607 POINT NEPEAN ROAD, MC CRAE**

The above application has been considered and approved.

Attached is a copy of Planning Permit P 64/96, subject to the stated conditions.

Prior to the commencement of any building works, building approval is also required.

If you have any questions the officer named below will be pleased to assist.

Yours faithfully,

Irrelevant / Sensitive

Lynton Shedden,  
**MANAGER DEVELOPMENT ADVICE & APPROVALS**

(Reference: P 64/96 : Brian Hammond - Direct Dial (059) 86 0238)



**PLANNING  
PERMIT**

Permit No:

**P 64/96**

Planning Scheme:

**Flinders**Responsible Authority: Mornington Peninsula Shire  
Council**ADDRESS OF THE LAND:****607 POINT NEPEAN ROAD, MC CRAE  
LOT 1, LP 310930****THE PERMIT ALLOWS:****FOR THE CONSTRUCTION OF A FENCE****THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

1. The layout of the site and the size and type of the proposed fence, including the materials of construction, as shown on the endorsed plan shall not be altered or modified without the consent in writing of the Responsible Authority.
2. This permit shall expire if the fence hereby permitted are not completed within 24 months of the date of this permit or any extension of such period the Responsible Authority may allow in writing on an application made before or within three months after such expiry.
3. The exterior finish of the fence hereby permitted shall be non reflective and of muted tones to the satisfaction of the Responsible Authority.
4. Prior to the sale or lease of any part of the land subject to this permit, a copy of the permit shall be given by the vendor, transferor or lessor, to the purchaser, transferee or lessee of that part of the land.

Date Issued: February 14, 1996

Signature For The  
Responsible Authority:  
Brian Hammond, Development Planner

Irrelevant / Sensitive



## IMPORTANT INFORMATION ABOUT THIS NOTICE

### WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.

### WHEN DOES A PERMIT BEGIN?

A permit operates:

- \* from the date specified in the permit, or
- \* if no date is specified, from :
  - (i) the date of the decision of the Administrative Appeals Tribunal, if the permit was issued at the direction of the Tribunal, or
  - (ii) the date on which it was issued, in any other case.

### WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if-
  - \* the development or any stage of it does not start within the time specified in the permit, or
  - \* the development requires the certification of a plan of subdivision or consolidation under the *Subdivision Act* 1988 and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
  - \* the development or any stage is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan of subdivision or consolidation under the *Subdivision Act* 1988.
2. A permit for the use of land expires if-
  - \* the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
  - \* the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if-
  - \* the development or any stage of it does not start within the time specified in the permit; or
  - \* the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
  - \* the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development, or
  - \* the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in section 6A(2) of the *Planning and Environment Act* 1987, or to any combination of use, development or any of those circumstances requires the certification of a plan under the *Subdivision Act* 1988, unless the permit contains a different provision -
  - \* the use or development of any stage is to be taken to have started when the plan is certified; and
  - \* the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

### WHAT ABOUT APPEALS?

- \* The person who applied for the permit may appeal against any condition in the permit unless it was granted at the direction of the Administrative Appeals Tribunal where, in which case no right of appeal exists.
- \* An appeal must be lodged within 60 days after the permit was issued, unless a Notice of Decision to grant a permit has been issued previously, in which case the appeal must be lodged within 60 days after the giving of that notice.
- \* An appeal is lodged with the Administrative Appeals Tribunal.
- \* An appeal must be made on a Notice of Appeal form which can be obtained from the Administrative Appeals Tribunal, and be accompanied by the prescribed fee.
- \* An appeal must state the grounds upon which it is based.
- \* An appeal must also be served on the Responsible Authority.
- \* Details about appeals and the fees payable can be obtained from the Administrative Appeals Tribunal



# WOODVILLE

HOUSE AND GARDEN

• FENCES • GATES • LANDSCAPES • CARPENTRY

WARREN WOOD,  
58 KENNINGTON ROAD,  
P.O. BOX 366  
ROSEBUD, (VIC) 3939  
PHONE: (059) 86 7621  
MOBILE: 018 105 510



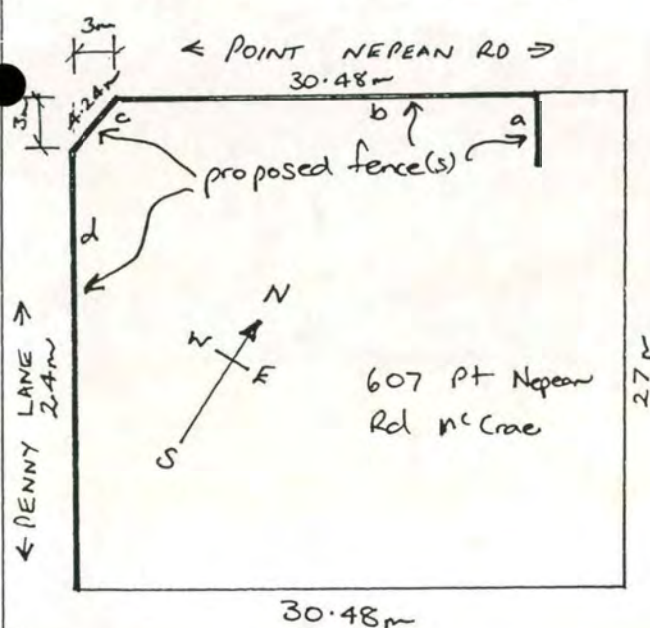
SEE OUR DISPLAY AT  
ROSEBUD GARDEN SHEDS & CARPORTS  
CNR. BONEO RD & NEPEAN HWY.  
ROSEBUD

Amended  
8/2/96

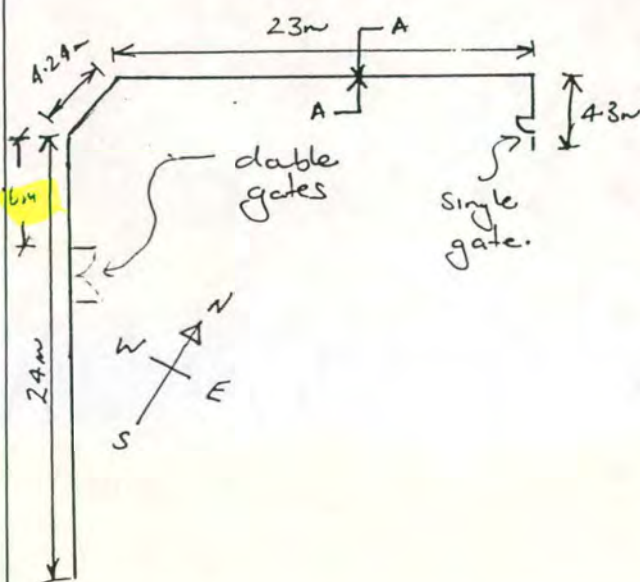
ALL EXTERNAL COLOURS MUST BE  
AS SHOWN ON THIS PLAN.  
ANY ALTERATIONS MUST BE TO  
THE SATISFACTION OF THE  
RESPONSIBLE AUTHORITY.

## PROPOSED FENCE AT 607 POINT NEPEAN ROAD, M<sup>C</sup>RAE 3938

### Site Plan (Scale 1:400)

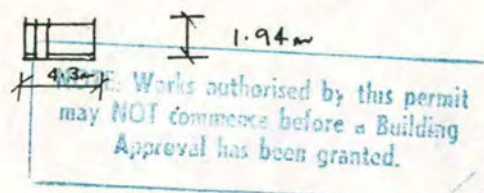


### Plan of Fence (Scale 1:400)

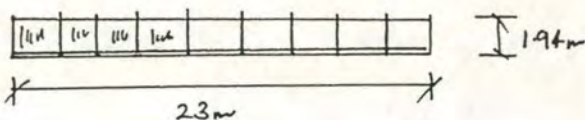


### ELEVATION OF FENCE (Scale 1:400)

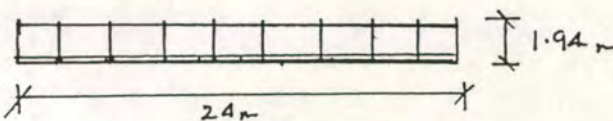
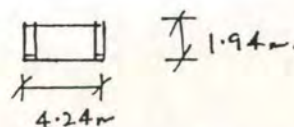
(a)



(b)



(d)



### ENDORSED PLAN FLINDERS PLANNING SCHEME

This development is subject to  
the provisions of

PLANNING PERMIT No. P64/96  
and to any conditions imposed thereby.

Irrelevant / Sensitive

17 4 FEB 1996

Date: .....

L. Shedden  
Manager - Development Advice  
and Approvals for and on behalf  
of the Responsible Authority.



# WOODVILLE

HOUSE AND GARDEN

• FENCES • GATES • LANDSCAPES • CARPENTRY

WARREN WOOD,  
58 KENNINGTON ROAD,  
P.O. BOX 366  
ROSEBUD, (VIC) 3939  
PHONE: (059) 86 7621  
MOBILE: 018 105 510



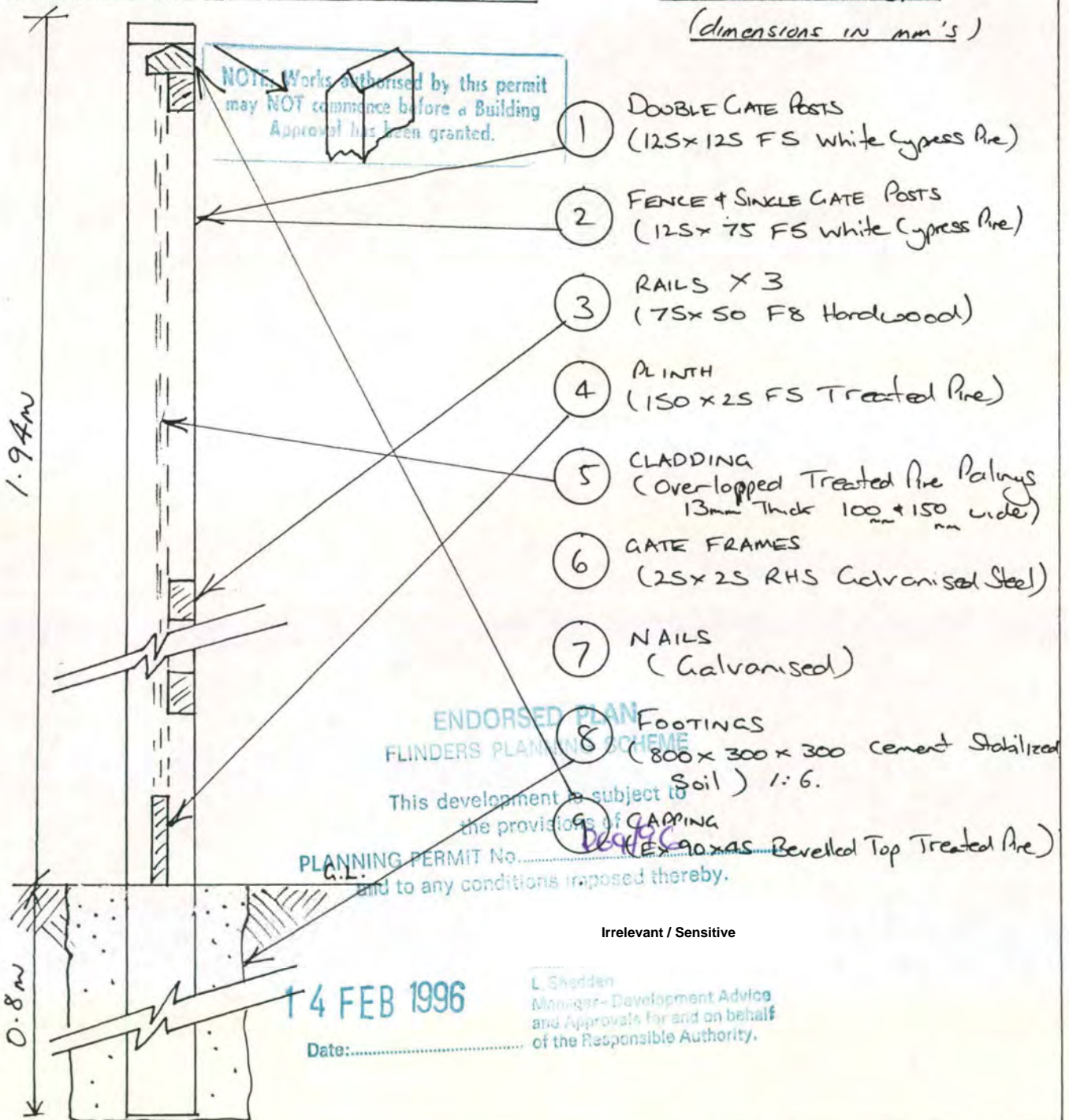
SEE OUR DISPLAY AT  
ROSEBUD GARDEN SHEDS & CARPORTS  
CNR. BONLEIGH & NEPEAN HWY.  
ROSEBUD  
THE SATISFACTION OF THE  
RESPONSIBLE AUTHORITY.

PROPOSED FENCE AT 607 POINT NEPEAN ROAD M' CRAE 3938

SECTION DETAIL A:A (Scale 1:100)

MATERIALS LIST

(dimensions in mm's)





**PLANNING  
PERMIT**

**Permit No:** **P 64/96**  
**Planning Scheme:** **Flinders**  
**Responsible Authority:** Mornington Peninsula Shire  
Council

**ADDRESS OF THE LAND:**

**607 POINT NEPEAN ROAD, MC CRAE**  
**LOT 1, LP 310930**

**THE PERMIT ALLOWS:**

**FOR THE CONSTRUCTION OF A FENCE**

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:**

1. The layout of the site and the size and type of the proposed fence, including the materials of construction, as shown on the endorsed plan shall not be altered or modified without the consent in writing of the Responsible Authority.
2. This permit shall expire if the fence hereby permitted are not completed within 24 months of the date of this permit or any extension of such period the Responsible Authority may allow in writing on an application made before or within three months after such expiry.
3. The exterior finish of the fence hereby permitted shall be non reflective and of muted tones to the satisfaction of the Responsible Authority.
4. Prior to the sale or lease of any part of the land subject to this permit, a copy of the permit shall be given by the vendor, transferor or lessor, to the purchaser, transferee or lessee of that part of the land.

**Date Issued:** February 14, 1996

**Signature For The  
Responsible Authority:**  
Brian Hammond, Development Planner

Irrelevant / Sensitive



## IMPORTANT INFORMATION ABOUT THIS NOTICE

### WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.

### WHEN DOES A PERMIT BEGIN?

A permit operates:

- \* from the date specified in the permit, or
- \* if no date is specified, from :
  - (i) the date of the decision of the Administrative Appeals Tribunal, if the permit was issued at the direction of the Tribunal, or
  - (ii) the date on which it was issued, in any other case.

### WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if-
  - \* the development or any stage of it does not start within the time specified in the permit, or
  - \* the development requires the certification of a plan of subdivision or consolidation under the *Subdivision Act* 1988 and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
  - \* the development or any stage is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan of subdivision or consolidation under the *Subdivision Act* 1988.
2. A permit for the use of land expires if-
  - \* the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
  - \* the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if-
  - \* the development or any stage of it does not start within the time specified in the permit; or
  - \* the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
  - \* the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development, or
  - \* the use is discontinued for a period of two years.
4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in section 6A(2) of the *Planning and Environment Act* 1987, or to any combination of use, development or any of those circumstances requires the certification of a plan under the *Subdivision Act* 1988, unless the permit contains a different provision -
  - \* the use or development of any stage is to be taken to have started when the plan is certified; and
  - \* the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

### WHAT ABOUT APPEALS?

- \* The person who applied for the permit may appeal against any condition in the permit unless it was granted at the direction of the Administrative Appeals Tribunal where, in which case no right of appeal exists.
- \* An appeal must be lodged within 60 days after the permit was issued, unless a Notice of Decision to grant a permit has been issued previously, in which case the appeal must be lodged within 60 days after the giving of that notice.
- \* An appeal is lodged with the Administrative Appeals Tribunal.
- \* An appeal must be made on a Notice of Appeal form which can be obtained from the Administrative Appeals Tribunal, and be accompanied by the prescribed fee.
- \* An appeal must state the grounds upon which it is based.
- \* An appeal must also be served on the Responsible Authority.
- \* Details about appeals and the fees payable can be obtained from the Administrative Appeals Tribunal



Amended  
8/2/96**WOODVILLE**

HOUSE AND GARDEN

• FENCES • GATES • LANDSCAPES • CARPENTRY

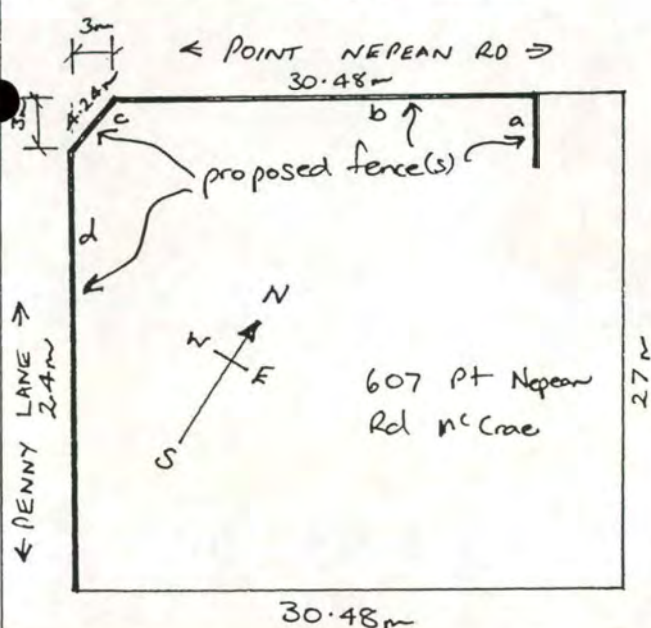
WARREN WOOD,  
58 KENNINGTON ROAD,  
P.O. BOX 366  
ROSEBUD, (VIC) 3939  
PHONE: (059) 86 7621  
MOBILE: 018 105 510



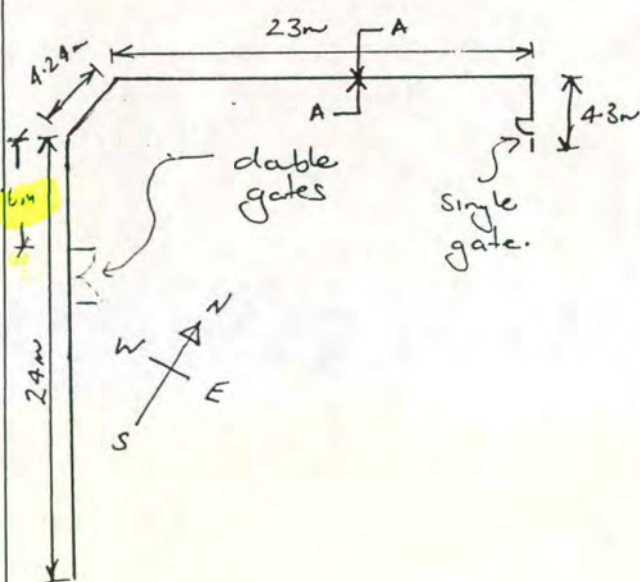
ALL EXTERNAL COLOURS MUST BE  
AS SHOWN ON THIS PLAN.  
ANY ALTERATIONS MUST BE TO  
THE SATISFACTION OF THE  
RESPONSIBLE AUTHORITY.  
SEE OUR DISPLAY AT  
ROSEBUD GARDEN SHEDS & CARPORTS  
CNR. EOWING RD & NEPEAN HWY.  
ROSEBUD

PROPOSED FENCE AT 607 POINT NEPEAN ROAD, M<sup>C</sup>RAE 3938

Site Plan (Scale 1:400)



Plan of Fence (Scale 1:400)



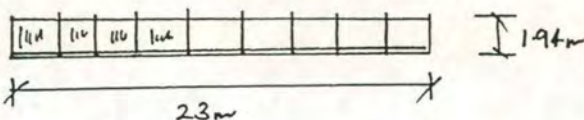
ELEVATION OF FENCE (Scale 1:400)

(a)

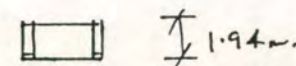


NOTE: Works authorised by this permit  
may NOT commence before a Building  
Approval has been granted.

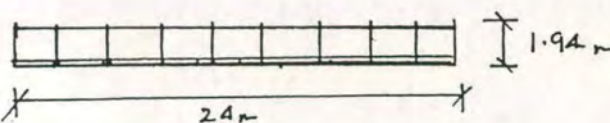
(b)



(c)



(d)



ENDORSED PLAN  
FLINDERS PLANNING SCHEME

This development is subject to  
the provisions of

PLANNING PERMIT No. P64/96  
and to any conditions imposed thereby.

Irrelevant / Sensitive

14 FEB 1996

L. Shadden  
Manager - Development Advice  
and Approvals for and on behalf  
of the Responsible Authority.

Date:.....



# WOODVILLE

HOUSE AND GARDEN

• FENCES • GATES • LANDSCAPES • CARPENTRY

WARREN WOOD,  
58 KENNINGTON ROAD,  
P.O. BOX 366  
ROSEBUD, (VIC) 3939  
PHONE: (059) 86 7621  
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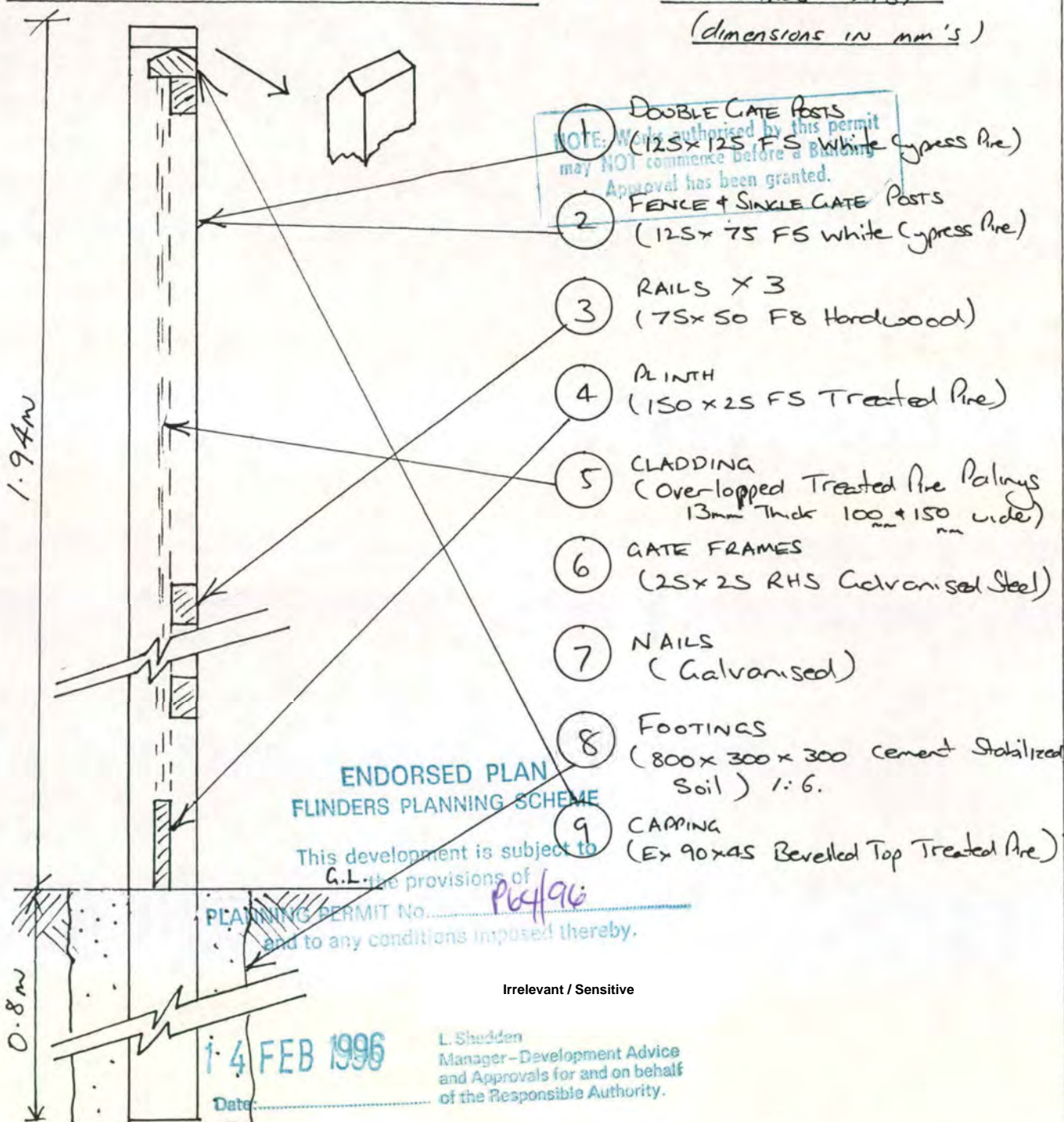
ALL EXTERNAL COLOURS MUST BE  
AS SHOWN ON THIS PLAN.  
ANY ALTERATIONS MUST BE TO  
THE SATISFACTION OF THE  
RESPONSIBLE AUTHORITY.  
ROSEBUD GARDEN SHEDS & CARPORTS  
CNR. EONEC RD & NEPEAN HWY.  
ROSEBUD

PROPOSED FENCE AT 607 POINT NEPEAN ROAD M' CRAE 3938

SECTION DETAIL A:A (Scale 1:100)

MATERIALS LIST

(dimensions in mm's)



Irrelevant / Sensitive



# WOODVILLE

HOUSE AND GARDEN

• FENCES • GATES • LANDSCAPES • CARPENTRY

WARREN WOOD,  
58 KENNINGTON ROAD,  
P.O. BOX 366  
ROSEBUD, (VIC) 3939  
PHONE: (059) 86 7621  
MOBILE: 018 105 510

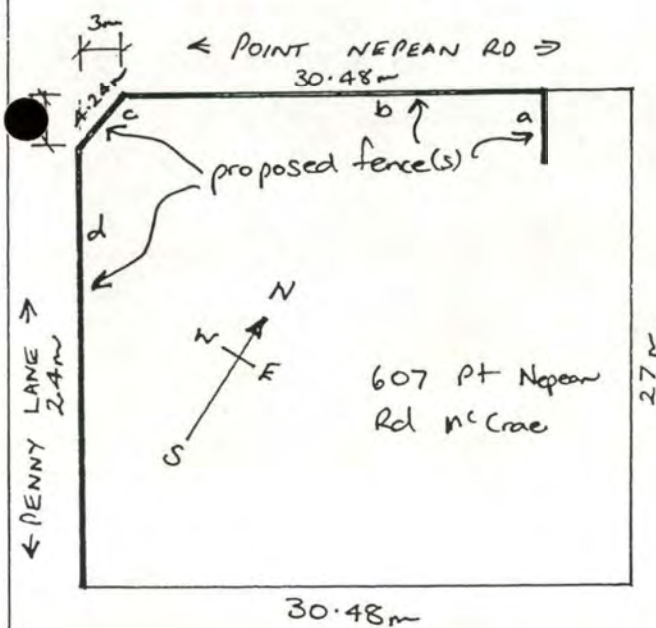


SEE OUR DISPLAY AT  
ROSEBUD GARDEN SHEDS & CARPORTS  
CNR. BONEG RD & NEPEAN HWY.  
ROSEBUD

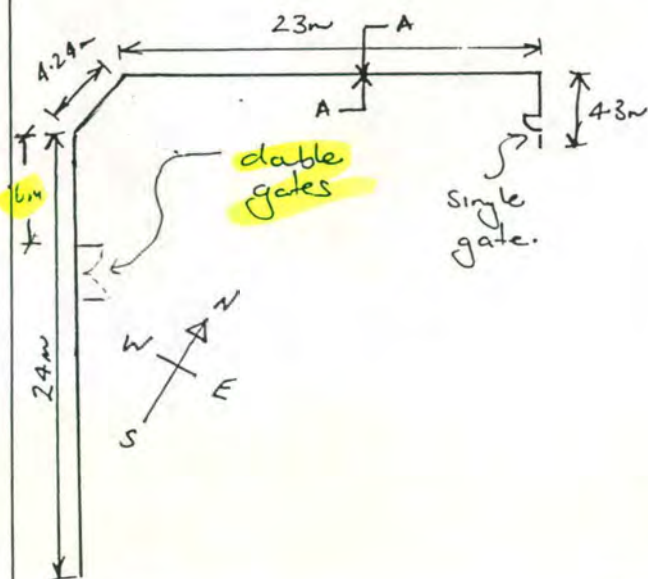
Amended  
8/2/96

PROPOSED FENCE AT 607 POINT NEPEAN ROAD, M<sup>C</sup>RAE 3938

Site Plan (Scale 1:400)

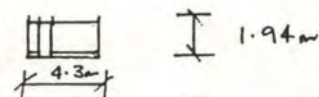


Plan of Fence (Scale 1:400)

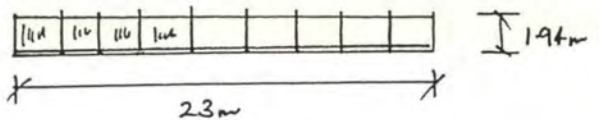


ELEVATION OF FENCE (Scale 1:400)

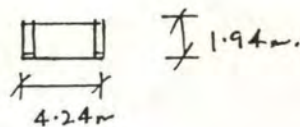
(a)



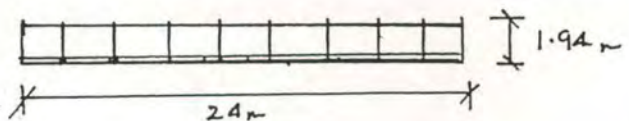
(b)



(c)



(d)



# Memo

MORNINGTON PENINSULA SHIRE COUNCIL

To : Building / Planning / Health : TERRY BOYD MORNINGTON  
 From : Development Advice and Approvals  
 Subject : BA / PA 64/96  
 Address : 607-609 POINT NEPEAN ROAD MCCRAE.  
 Property No : 2697-3265  
 Date : 24/1/96

Please check amended plans / comps or comment on the attached.

## COMMENTS:

TERRY, COULD YOU PLEASE ASSESS THIS APPLICATION  
 FOR THE ERECTION OF A FRONT FENCE OVER 1.2m  
 WITHIN 9m OF THE INTERSECTION. COPY OF TITLE  
 AND RELEVANT PLANS ATTACHED

REGARDS DANNY REIT

DANNY,

EXT 129.

ACCESS IS INAPPROPRIATE.  
 SHOULD BE BACK ALONG PENNY  
 LANE. HEIGHT OF FENCE IS  
 OK. ALL ROUND BUT ENSURE  
 GATES ARE 6m - 9m. FROM  
 NEPEAN RD. BOUNDARY.

↓  
 X  
 6m - 9m  
 PENNY LANE

NEPEAN HWY. ↑

6/4/96.



## MORNINGTON PENINSULA SHIRE COUNCIL

MORNING POST

To : ~~Building / Planning / Health~~ : TERRY BOYD

From : Development Advice and Approvals

Subject : BA / PA 64/96

Address : 607 POINT NEPEAN RD MCCRAE

Property No :

Date : 31/1/96

Please check amended plans / ~~comps~~ or comment on the attached.

COMMENTS:

COMMENTS:

Applicant want closer access

Counter / Mail

Comments to officer.

Delegated / Council

BH

| REQUIRED | RECEIVED |
|----------|----------|
| 4        | 4        |
| 1        | 1        |
| —        | —        |
|          |          |

## Plans

Town Planning application form

Permit fees rec no.

Carparking fee (commercial)

### Building application

yes / no

### Drainage check

yes / no

Site inspection required

yes / no

Building height over 4.5 m

yes / no

Advertising required

yes / no

Advertising prepared

Date .....

## Tree removal

yes/no

Colour on plan

yes/no

## Referrals

(yes)/no

Engineer

yes / no

### Road opening

yes / no

Health Dept.

yes / no

Building Surveyor

yes / no

Other



# APPLICATION FOR PLANNING PERMIT

Regulation 12

code 41 \$.....

APPLICATION NUMBER

P. 64/96

Planning and Environment Act 1987 Section 47,  
Planning and Environment Regulations, Regulation 12  
Please print clearly. Please read the notes on the back  
before completing this form.

DATE RECEIVED

19/1/96

**THE APPLICANT.** Who is making this application.

|         |  |   |
|---------|--|---|
| Name    | Warren Wood (Woodville House & Garden Service) |   |
| Address | 58 Kennington Road<br>Rosebud 3939.            | 018 105510<br>Phone during business hours |

**THE LAND.** Give the address and title particulars of the land, and attach a sketch plan

|   |
|---|
| 607 Point Nepean Road M <sup>c</sup> Crae, see attached plans & permit application. |
|---|

**THE PROPOSAL.** For what use, development or other matter do you require a permit?

|   |
|---|
| Privacy, Noise Reduction and Security. (Fence)    |
| Describe the way the land is used now Residential |

**THE COST OF THE DEVELOPMENT**

If a permit is required to undertake development, state the estimated cost of the proposed development. You may be required to verify this estimate.

Irrelevant / Sensitive

**THE OWNER** If the applicant is not the owner, give the name and address of the owner and complete box A or B.

|   |
|---|
| Name: Mrs Radcliff  |
| Address: 607 Point Nepean Road M <sup>c</sup> Crae<br>Phone during business hours: 863856 |

|  |  |
|--|--|
| A. I am the owner of the land. I have seen this application  | Owner's Signature<br>Date:             |
| B. I/ <del>we</del> the Applicant declare that I/ <del>we</del> have notified the owner about this application | Applicant's Signature<br>Date: 19.1.96 |

Irrelevant / Sensitive

**DECLARATION TO BE COMPLETED FOR ALL APPLICATIONS:**

|   |  |
|---|--|
| I declare that all the information I have given is true | Applicant's Signature<br>Date: 19.1.96 |
|---|--|

Irrelevant / Sensitive



## HOW TO APPLY FOR A PLANNING PERMIT

Applications must include the information required by Regulation 12 of the Planning and Environment Regulations 1988. This Application for Planning Permit is provided to assist applicants.

**YOU MUST GIVE FULL DETAILS** of your proposal and attach as many supporting documents as possible. If you do not give enough detail or give suitable description of the proposal, you will be asked for more information. This **WILL DELAY** your application.

- **THE APPLICANT**

- Give your full name or the name of the company.
- Give your full postal address and your contact phone number.

- **THE LAND**

- Give the street number, street name, town and postcode, **and** the lot number and lodged plan number or other Title particulars
- If you attach a plan, include:
  - the boundaries of the land and their measurements
  - the street it faces, the nearest intersecting street, the distance from this street and the name of all streets on the plan
  - the direction of north and the scale of the plan

- **THE OWNER**

- Complete this section if the applicant is not the owner; otherwise indicate "applicant".

- **THE PROPOSAL**

- Describe fully what you want to do with the land. The application must include a plain English description of the proposal which clearly conveys the nature of the proposal. This will be used in any notice about the application. Attach additional information if there is insufficient room.
- Attach a plan to show details of the proposed development.
- Briefly describe the current use of the land and any buildings.

- **THE COST OF THE DEVELOPMENT**

- If a permit is required to develop land, you must give the estimated cost of the development. This is used to assess the amount of any fee you may have to pay.
- Development here refers to the buildings and works you intend to construct on the land. If no buildings or works are proposed any you only intend to change the use in an existing building or on the land, the word 'NIL' should be written in this square.
- The Responsible Authority will tell you the fee you have to pay.

### HAVE YOU:

- Answered all the questions?
- included payment to cover the application fee, if required?
- attached all the maps, plans, photographs and other documents?
- included a list of all the documents?
- The Responsible Authority will tell you how many copies of each document it needs.

**REMEMBER** it is against the law to give false or misleading information. You may receive a heavy fine and your permit may be cancelled.

Send the completed form and all the documents to the Responsible Authority:  
 Mornington Peninsula Shire Council, Rosebud Office, Private Bag 1000, ROSEBUD 3939



✓  
607 Pt Nepean Rd.  
Mt Crac.

Victoria  
10.1.96.

(Mornington Peninsula Shire Council)

4- The Picket Fence Specialist  
58 Kennington Rd  
Rosebud 3939.

This is to certify that Mr Warren Wood  
has been contracted to build a fence  
at the above address.

Irrelevant / Sensitive



VICTORIA

REGISTER BOOK

VOL. 10052 FOL. 415

# Certificate of Title

UNDER THE "TRANSFER OF LAND ACT"

JOSEPH RADCLIFFE and AGNESS FLINT FORRESTER RADCLIFFE both of 607  
 Nepean Highway McCrae are proprietors as TENANTS IN COMMON IN EQUAL  
 SHARES of an estate in fee simple subject to the encumbrances notified  
 hereunder in all that land in the Parish of Wannaeue being  
 Lot 2 on Plan of Subdivision No. 310930Y-

Issued under Section 24 of  
 the Subdivision Act 1988-

Derived From  
 Vol. 5893 Fol. 553 Vol. 5922 Fol. 314

21/1/92



*J. Alford*  
 Assistant Registrar of Titles

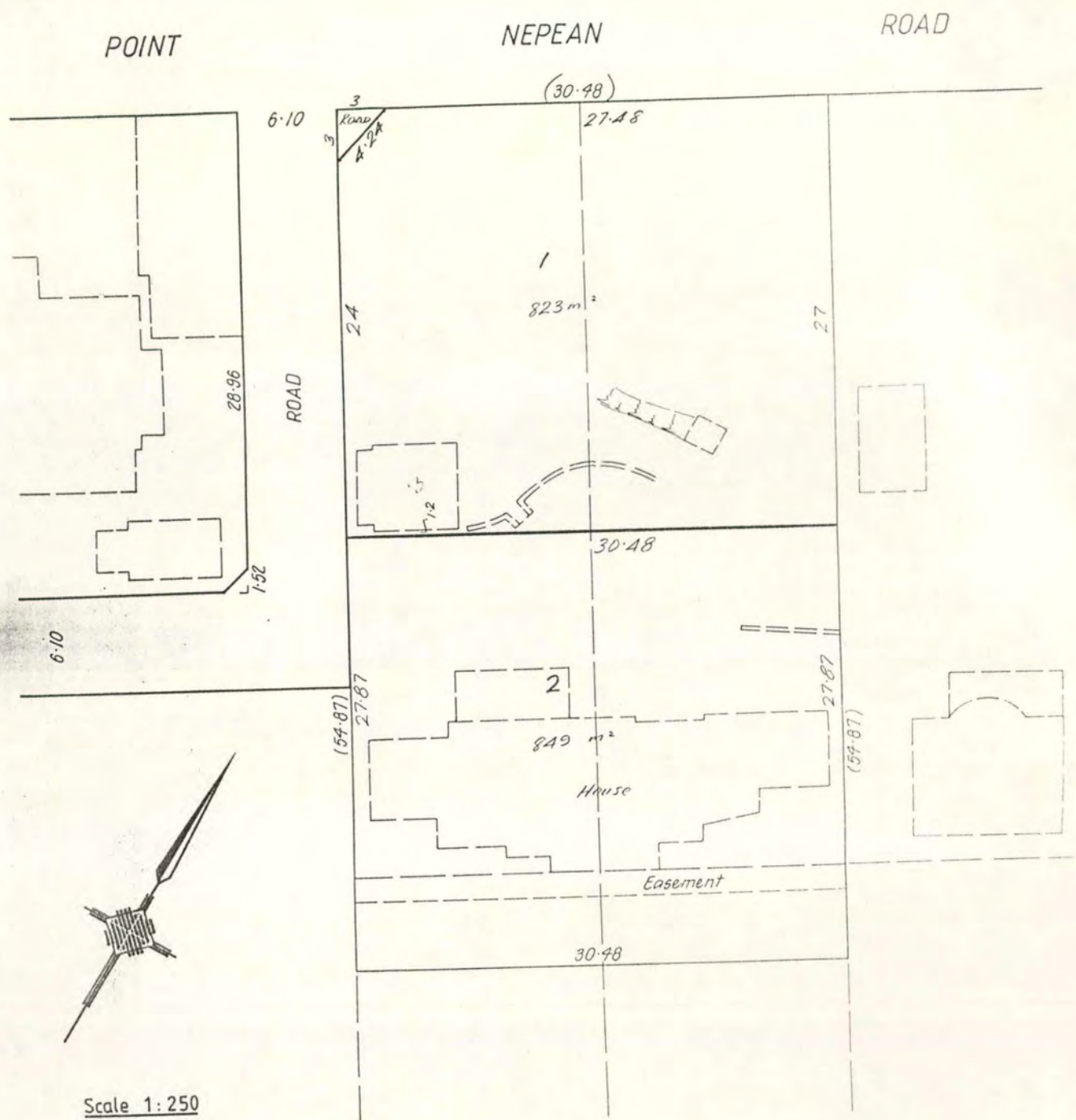
## ENCUMBRANCES REFERRED TO

Any encumbrances created by Section 98 of the Transfer of Land Act 1958  
 or Section 24 of the Subdivision Act 1988-

Any other encumbrances shown or entered on the said Plan-

SEE PS310930Y FOR BOUNDARIES AND OTHER DETAILS





• TOWN PLANNERS  
• ENGINEERS  
• SURVEYORS  
• PROJECT MANAGERS  
• BUILDING DESIGNERS  
• LANDSCAPE DESIGNERS

MORNINGTON  
5 Main Street,  
Phone: (050) 75 4644.

NORTH MELBOURNE  
172 Chelwynd Street,  
Phone: (03) 329 7999

ROSEBUD  
821 Nepean Highway,  
Phone: (059) 86 6709

WONTHAGGI  
177 Graham Street,  
Phone: (056) 72 2722

PROPOSED REALIGNMENT OF BOUNDARIES  
LOTS 1 & 2 AND PART LOTS 52 & 53  
L.P. 11038  
507 & 609 NEPEAN HIGHWAY  
MCCRAE

PLAN  
Ref. 291

# WOODVILLE

## HOUSE AND GARDEN

• FENCES • GATES • LANDSCAPES • CARPENTRY

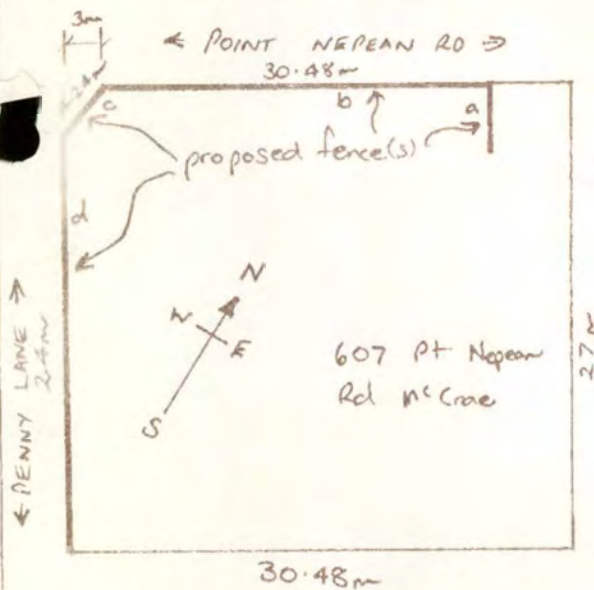
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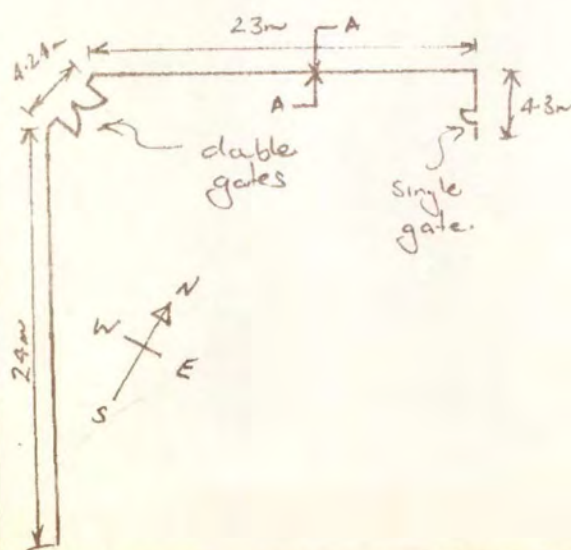
SEE OUR DISPLAY AT  
ROSEBUD GARDEN SHEDS & CARPORTS  
CNR. BONEO RD & NEPEAN HWY.  
ROSEBUD

PROPOSED FENCE AT 607 POINT NEPEAN ROAD, M<sup>c</sup>RAE 3938

Site Plan (Scale 1:400)

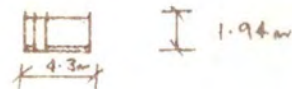


Plan of Fence (Scale 1:400)

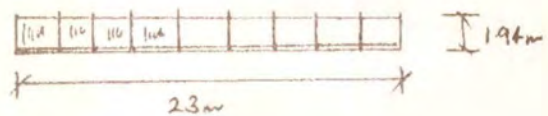


ELEVATION OF FENCE (Scale 1:400)

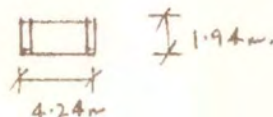
(a)



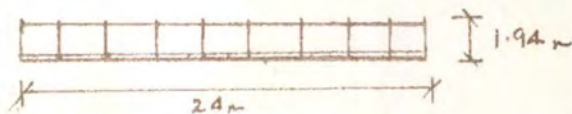
(b)



(c)



(d)





# WOODVILLE

## HOUSE AND GARDEN

• FENCES • GATES • LANDSCAPES • CARPENTRY

WARREN WOOD,  
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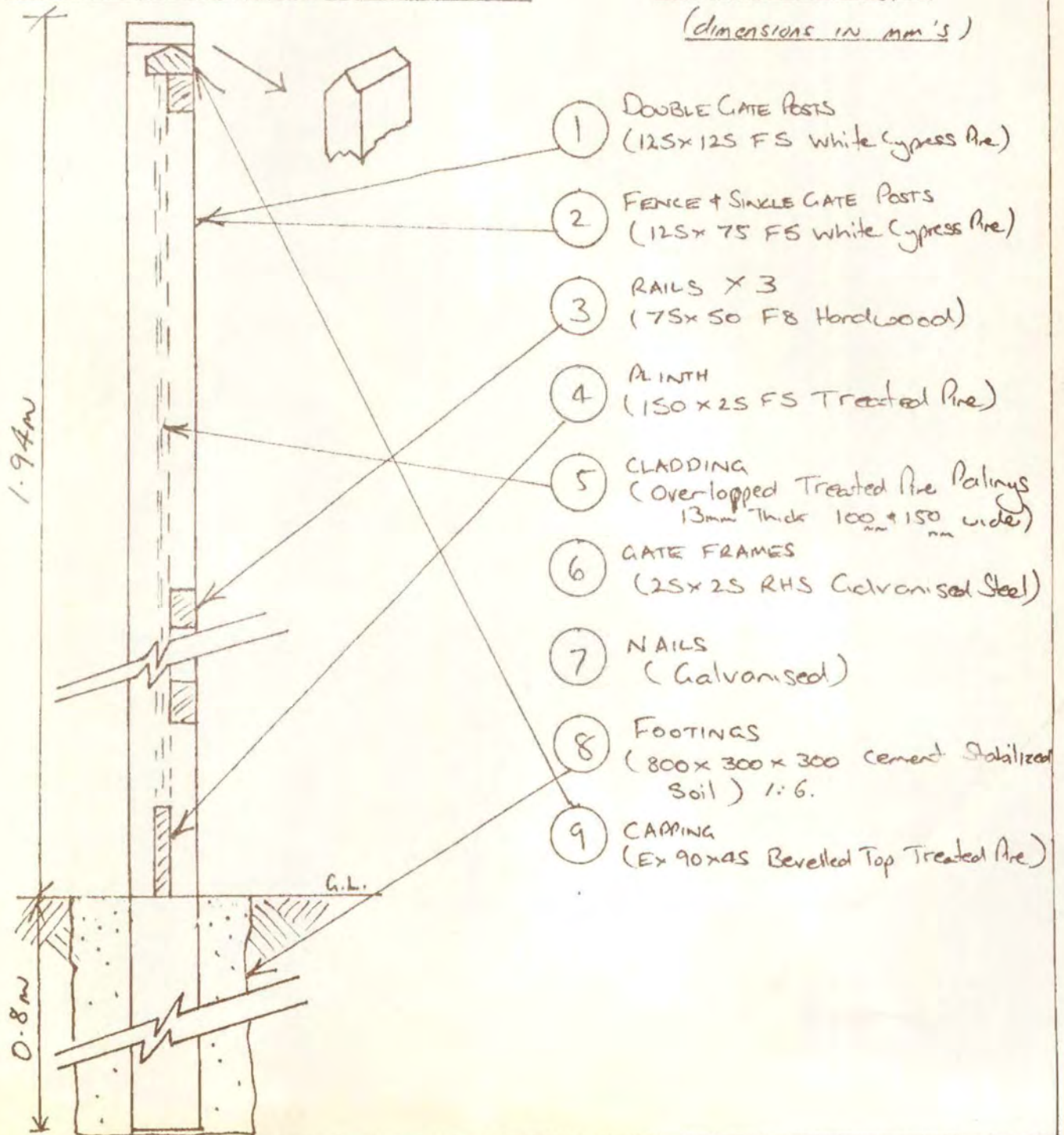
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ROSEBUD

PROPOSED FENCE AT 607 POINT NEPEAN ROAD M<sup>c</sup> CRAE 3938

SECTION DETAIL A:A (Scale 1:100)

MATERIALS LIST

(dimensions in mm's)



148725  
④

11 August 1993

Mr J & Mrs A Radcliffe  
607 Point Nepean Road  
MCCRAE 3938

Dear Mr &amp; Mrs Radcliffe

**607-609 POINT NEPEAN ROAD, MCCRAE & 3 PENNY LANE, MCCRAE**

Enclosed please find computer print outs for rate accounts in respect of both the above properties as requested by phone on 10 August 1993.

An explanation of these print outs is shown below.

**607-609 Point Nepean Road, McCrae**  
**Assessment 6.57475**

|                    |                 |
|--------------------|-----------------|
| Rate               | \$507.05        |
| Garbage Charge     | \$85.00         |
| State Deficit Levy | <u>\$50.00</u>  |
|                    | <b>\$642.05</b> |

|                     |          |
|---------------------|----------|
| Less Pension Rebate |          |
| Rate                | \$135.00 |
| State Deficit Levy  | \$18.50  |

|               |                 |
|---------------|-----------------|
| Less Payments |                 |
| 11/12/1992    | \$148.70        |
| 1/3/1993      | \$113.28        |
| 3/5/1993      | <u>\$148.70</u> |
|               | <b>\$77.87</b>  |

Balance to be paid by 31 August 1993.

Cont.../2

Ken



Page 2

**3 Penny Lane, McCrae**  
**Assessment 5.57476**

|                         |                 |
|-------------------------|-----------------|
| Rate                    | \$430.55        |
| Pro rata Garbage Charge | \$38.00         |
| State Deficit Levy      | <u>\$50.00</u>  |
|                         | <b>\$518.55</b> |

|              |                 |
|--------------|-----------------|
| Less Payment |                 |
| 1/3/1993     | <u>\$172.85</u> |
|              | <b>\$345.70</b> |

Balance to be paid by 31 August 1993

The two rate accounts replaced the one issued last November. The payment for 11 December 1992 was transferred from the original account. All notices were mailed to 607 Point Nepean Road, McCrae.

Please quote Assessment numbers when sending payment to Shire of Flinders, Private Bag 1000, Rosebud 3939.

Yours faithfully

John Humphris  
**RATE COLLECTOR**

(Reference: KSK:ME 148725,148726 : Kay Knowles - Direct Dial 86 0252)

## SHIRE OF FLINDERS

114627

228337

148725



## BUILDERS SANITARY SERVICE

APPLICATION FOR APPROVAL FOR  
SANITARY FACILITIES ON CONSTRUCTION SITES

This form is to be completed and lodged, prior to works commencing, with:-

The Chief Health Surveyor  
Shire of Flinders  
Boneo Road  
ROSEBUD 3939

or hand delivered during office hours to the Health Department at the above address.

Builders Name & Address : A. V. JENNINGS - 2 MARLBOROUGH  
PLC. HALLAM.  
.....  
..... POSTCODE 3803

Phone number : 215-1400 (Office Hours)

Site Address : LOT 1. NEARBY HIGHWAY (No. 607)  
MCCRAE  
.....  
..... POSTCODE 3938

Building (Application No.)  
or  
(Approval No.)

Estimated date for commencement of works FEB-MARCH-92.

I intend to use the following type of toilet facility on this site:-

A Fresh Water Flush chemical closet with water seal Yes/No

A toilet with temporary connection to sewer approved by the Mornington Peninsula & District Water Board Yes/No

A toilet with a temporary connection to a septic tank on site Yes/No

The toilet will be supplied and serviced by A. V. JENNINGS  
an approved supplier as listed. Yes/No

If yes complete this page If no complete page 2. (overleaf)

Signature: [Redacted] Irrelevant / Sensitive Date: 11-12-91.  
(Applicant)

DATE OF HEALTH SURVEYORS INSPECTION ..... SATISFACTORY/  
UNSATISFACTORY



Page 2

**COMPLETE THIS SECTION IF TOILET IS NOT HIRED**Description of Closet

Make &amp; Model: .....

Material of construction - fibreglass/aluminium/steel

- other (specify) .....

.....

Waste holding tank capacity .....

Pan throat - trap door type and water seal; Yes/No

- other (specify) .....

Hand Basin - Yes/No .....

Holding tank capacity .....

Name of Hire Company .....  
(where applicable)Maintenance & Servicing

Name &amp; Address of Service Company .....

Frequency of Service .....

Frequency of pumping out .....  
(as determined by Service Company)

Type &amp; quantity of chemical used .....

Approval to remove night soil must be obtained. The person/firm who pumps out the tank must hold a written permit to remove night soil issued by the Shire of Flinders under Section 63 (5) of the Health Act 1958. Such permit may be obtained from the Chief Health Surveyor.

.....

.....

Signature: ..... Date: .....  
(Applicant)DATE OF HEALTH SURVEYORS INSPECTION ..... SATISFACTORY/  
UNSATISFACTORY



BA228337

607-609 POINT NEPEAN ROAD  
MCCRAE

Lot: 1 Plan: PS310930

2

55937

ENTERED

148725

B-S.



Street No: 607-609 Prop. No: 148725  
 Lot No: 1 PS310930  
 607-609 POINT NEFFAN ROAD MCCRAE 3938  
 Builder: JENNINGS GROUP LTD  
 2-8 MARLO PL  
 HALLAM 3803

Owner: JOSEPH RADCLIFFE  
 MCCRAE 3938

Date 01 JUN 92 Permit No 55937 ✓

BA228337 Value \$115,000

Dwelling - new brick  
 Construction: Brick Veneer/Tile  
 Date

9/6/92 P/spray N/A. Not ready. PLU. O.S.  
 10/6/92 Blinding OK. C.O.S. subject to amended S.R. from  
 A. McGregor - spoke to him on phone - he wants  
 trenches down to 700-800 deep. Ok fill excavated  
 front N.W. corner to be 1.5 m deep adjacent  
 to gum tree which is staying - water table not  
 at 1.2 m deep - A. McGregor wasn't concerned  
 re: water table as long as trench is blinded.  
 C.O.S. OK to dig & pour this corner. Ok  
 collapsing sand. C.O.S. spoke to A. McGregor -  
 he is to come across front at 800-850 deep - will  
 provide root barrier at later date.  
 12/6/92 P/spray & P/pour OK. C.O.S. to complete drains.  
 subject to amended S.R. from A. McGregor.  
 sited by bldg.  
 11/6/92 P/spray OK. C.O.S. to compact a couple of soft  
 spots & to provide boxing.  
 17/6/92 Pads OK. C.O.S. to clearout.  
 26/6/92 Frame N/A. Llc.  
 y B1 to be 3 No 240x35 F27's + stress/grading  
 req'd ONLY 2 beams + not stress graded. ✓  
 2/ cleat running joins. ✓

PTO

- 3/ triple grip coupled rafters to ridge as per design. ✓
- 4/ provide tables for 300x50 LVL Larger over ~~sumps~~ ✓
- 5/ cleat ridge join. ✓
- 6/ collar tie both sides of far stent. ✓
- 7/ shield blocks to flat props. ✓
- 8/ hip barrup not to be supported off purlins. ✓

26/6/92 A spray on file.

30/6/92 Reframe OK C.O.S.

Item 1 OK as is span is only 1.8 in lieu of 3.8m.

30/6/92 tables submitted for item 4 & OK.

15/7/92 SWD OK. D.O.S. cut off drains to rear & sides placed.

16/7/92 P/tile OK. PA.O.S.

23/7/92: S/HOLE INSPECTION CALLED FOR RETAINING WALL TO REAR; HOLES ARE 400x400 SQUARE X 1.0m DEEP AT 900mm CENTRES. NO DESIGN IS ON FILE FOR THIS WALL (RETAINING 1400/1500 OF SOIL). I ADVISED CONTRACTOR ON-SITE THAT ENGINEERS DESIGN ON WALL TO COME A.S.A.P.

4/8/92 C/O CALLED - N/A - CARD TO OWNER O/S

- 1/ MELB WATER ✓
- 2/ PART B TERMITO SPRAY ✓
- 3/ ROOT BARRIER PLACED ??  
EVIDENCE REQUIRED - SEE Bob Pawells  
NOTES OF 10/6/92. ✓
- 4/ CONNECT POWER/WATER RISERS ✓
- 5/ MAXIMUM 190mm TO EXTERNAL DOORS ✓

5/8/92 Part B spray on file.

10/8/92 MW. OK.

12/8/92 final NA. item 3 to do.

24/8/92 final OK. plan rec'd - showing edge beams to 1.7 deep across front & side. ∴ Issue C/O.



# SHIRE OF FLINDERS

FORM 4

**Building Control Act 1981**

**Victoria Building Regulations 1983**

**Regulation 6.3**

## CERTIFICATE OF OCCUPANCY

**4205**

No. *55937*

Property No. *148725*

To: *J. Radcliffe*  
(name and address of owner)

*607-609 Point Nepean Road*

*McCrae*

The building/part of building situated at *the above address*  
is suitable for occupation.

Description of building or part of building: *dwelling*

Class of building or part of building: *1*

Use of building or part of building: *residence*

Persons deemed to be accommodated (regulation 24.28) *1*

Abnormal fire hazard (Schedule 6) *yes/no*

Maximum permissible live load *1.5* kPa

The use of part of the building for—

another classification; or

another use of the same classification for which the Regulations impose different requirements (unless the requirements are complied with)—

is an offence against these Regulations

Irrelevant / Sensitive

Co-ordinator

Dated *24/8/92*









Mornington Peninsula and District  
Water Board  
Private Bag 2  
49 Lawson Ave., Frankston 3199  
Telephone (03) 783 6677

BP 55937

## CERTIFICATE OF COMPLETION

No. 28411

### PRECISE LOCATION OF PROPERTY

LOT No. 607-9 L.P. No. HOUSE No. 607-9  
STREET NEPEAN HWY  
TOWN ROSEBUD

### DESCRIPTION OF WORK

SANITARY PLUMBING SANITARY DRAINAGE  
WATER INSTALLATION

### FIXTURES APPROVED

CLOSET WASHING MACHINE  
BATH TROUGH  
BASIN  
SINK  
SHOWER

You are advised that subject to the endorsements, if any, hereon, the work performed on the mentioned premises conforms to the consent given and has been accepted by the Mornington Peninsula and District Water Board as completed.

The issue of this notice does not derogate from the Board's power to order the owner to rectify, at his own cost, any defect if and when such may be found to exist.

### ENDORSEMENTS:

PROPER OFFICER

Irrelevant / Sensitive

DATE 7-8-19

55937.

\* concic copy \*

AUSTRALIAN STANDARD 2057—1986  
CERTIFICATE OF COMPLETION

RECEIVED DA COUNTER

Part B 25

- 5 AUG 1992

This Part B Certificate is to be read in conjunction with Part A Certificate(s) No(s) .....

TREATMENT AS DESCRIBED BELOW HAS BEEN CARRIED OUT ON THE SITE:—

CHEMICAL USED HEPTACHLOR .....VOLUME OF CONCENTRATE 1 LTR .....VOLUME OF EMULSION 80 LTRS .....AREA PROTECTED External perimeter .....

101, No 602 Nepean Hwy MCNAAB .....

AUTHORISED SIGNATURE [Signature] .....PEST CONTROL OPERATOR'S LICENCE No. 6930 DATE 5/8/92 .....TREATMENT NOTICE  
AFFIXED Yes/No

BP 55937

ATTENTION: ANY ADDITIONS, ALTERATIONS OR EARTH WORKS, INCLUDING GARDENING, ADJACENT TO THE BUILDING  
MAY RENDER THE CHEMICAL BARRIER INEFFECTIVE. SUCH ACTIVITY SHOULD BE REFERRED TO THE APPLICATOR.

COPYRIGHT



607 Nepean Hwy - M-CRAK

TABLE 10

**HANGING BEAMS**

Supporting Ceiling Joists

DESIGNED TO  
DEFLECTION LIMITSAS 1720  
D.L.  
SPAN/300  
OR 12.5 mmL.L.  
SPAN/270  
OR 15 mm

| HYSPAN<br>SECTION<br>D X B<br>(mm) | EFFECTIVE SPACING 'ES' (m) |     |     |     |     |     |     |     |     |     |
|------------------------------------|----------------------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|
|                                    | 1.2                        | 1.5 | 1.8 | 2.1 | 2.4 | 2.7 | 3.0 | 3.6 | 4.2 | 4.8 |
|                                    | MAXIMUM SPAN (m)           |     |     |     |     |     |     |     |     |     |
| 150 X 36                           | 3.9                        | 3.7 | 3.5 | 3.4 | 3.2 | 3.1 | 3.0 | 2.8 | 2.7 | 2.6 |
| 150 X 45                           | 4.1                        | 3.9 | 3.8 | 3.6 | 3.4 | 3.3 | 3.2 | 3.0 | 2.9 | 2.8 |
| 170 X 45                           | 4.5                        | 4.3 | 4.1 | 4.0 | 3.9 | 3.8 | 3.6 | 3.4 | 3.3 | 3.1 |
| 200 X 36                           | 4.8                        | 4.6 | 4.4 | 4.3 | 4.1 | 4.0 | 3.9 | 3.8 | 3.6 | 3.4 |
| 200 X 45                           | 5.0                        | 4.8 | 4.6 | 4.5 | 4.3 | 4.2 | 4.1 | 4.0 | 3.8 | 3.7 |
| 200 X 63                           | 5.4                        | 5.2 | 5.0 | 4.8 | 4.7 | 4.6 | 4.5 | 4.3 | 4.1 | 4.0 |
| 240 X 36                           | 5.5                        | 5.2 | 5.0 | 4.9 | 4.7 | 4.6 | 4.5 | 4.3 | 4.1 | 4.0 |
| 240 X 45                           | 5.7                        | 5.5 | 5.3 | 5.1 | 5.0 | 4.8 | 4.7 | 4.5 | 4.4 | 4.2 |
| 240 X 63                           | 6.1                        | 5.8 | 5.6 | 5.5 | 5.3 | 5.2 | 5.1 | 4.9 | 4.7 | 4.6 |
| 300 X 45                           | 6.7                        | 6.4 | 6.2 | 6.0 | 5.8 | 5.7 | 5.5 | 5.3 | 5.1 | 5.0 |
| 300 X 63                           | 7.1                        | 6.8 | 6.6 | 6.4 | 6.2 | 6.1 | 5.9 | 5.7 | 5.5 | 5.4 |
| 360 X 45                           | 7.6                        | 7.3 | 7.0 | 6.8 | 6.6 | 6.5 | 6.3 | 6.1 | 5.9 | 5.7 |
| 360 X 63                           | 8.0                        | 7.7 | 7.5 | 7.3 | 7.1 | 6.9 | 6.8 | 6.5 | 6.3 | 6.1 |
| 400 X 45                           | 8.1                        | 7.8 | 7.5 | 7.3 | 7.1 | 7.0 | 6.8 | 6.5 | 6.3 | 6.1 |
| 400 X 63                           | 8.6                        | 8.3 | 8.0 | 7.8 | 7.6 | 7.4 | 7.3 | 7.0 | 6.8 | 6.6 |
| 450 X 63                           | 9.2                        | 8.9 | 8.7 | 8.4 | 8.2 | 8.1 | 7.9 | 7.6 | 7.4 | 7.2 |



LOCATION 607 Ngr. H'way.

DATE 26/6/92

Inspections

Approved

Not Approved

|                  |          |              |
|------------------|----------|--------------|
| PRE-SPRAY (SLAB) |          |              |
| PRE-POUR (SLAB)  |          |              |
| STRIP FOOTINGS   |          |              |
| STUMP HOLE       |          |              |
| FLOOR JOISTS     |          |              |
| FRAMING          |          | ✓            |
| PRE-TILE         |          |              |
| S.W. DRAINS      |          |              |
| FINAL COMPLETION |          |              |
| Re-Inspection    | Required | Not Required |

8/kip backup not to be supported off purlin.

REMARKS

(Passing - Summary)

✓ B1 to be 3 No 240x35 F27's - stress grading right of angled comps.

2/ cleat purlin joints.

3/ triple grip rafters to ridge as per design - coupled roof area over eaves.

4/ provide tables for 300x50 LVL larger over eaves.

5/ cleat ridge joint.

6/ collar tie to both sides of fan strut.

7/ skid blocks to flat props.

Irrelevant / Sensitive



# BUILDING INSPECTION ADVICE



## SHIRE OF FLINDERS

MUNICIPAL OFFICES, BONEO ROAD, ROSEBUD, VIC. 3939

Phone: (059) 81 1500 OR (059) 86 0111

8.30 - 10.00am 4.30 - 5.10pm

N.B. PLEASE INDICATE BY SIGNBOARD UNTIL COMPLETION OF JOB  
THE STREET No. & OWNERS NAME

Building Surveyor

09779/19102  
FAC

AS 2057A—1986

BP 55937

## PRE-CONSTRUCTION TERMITE TREATMENT CERTIFICATE

STANDARDS ASSOCIATION OF AUSTRALIA  
AUSTRALIAN STANDARD 2057—1986

Part A—No 25

This Certificate refers to Clause 8 of Australian Standard 2057—1986... and that Standard should be read in conjunction with this Certificate.

COMPANY NAME ... AAA Termite & Pest Control Services  
COMPANY ADDRESS ... PO Box 395 Seaford

BUSINESS LICENCE NO. ....

POST CODE 3198

NAME OF BUILDER/CONTRACTOR/OWNER ... IAU Seannings  
TREATMENT SITE ADDRESS ... 1011 N°607 Nepean Highway  
M. CRAIG

POST CODE .....

CHEMICAL USED ... Heptachlor  
VOLUME OF CONCENTRATE ... 880-00  
VOLUME OF EMULSION ... 11  
AREA PROTECTED ... 126 m<sup>2</sup>REASON(S) FOR DEVIATION ...  
FROM STANDARD IN VOL. ...  
OF CONCENTRATE OR ...  
EMULSION (if applicable) ...TOTAL GROUND AREA OF BUILDING(S) ... m<sup>2</sup>

## PLAN OF SITE

(Show outline of treated area  
and dimensions. Indicate details  
using the code. Include  
plumbing etc.)

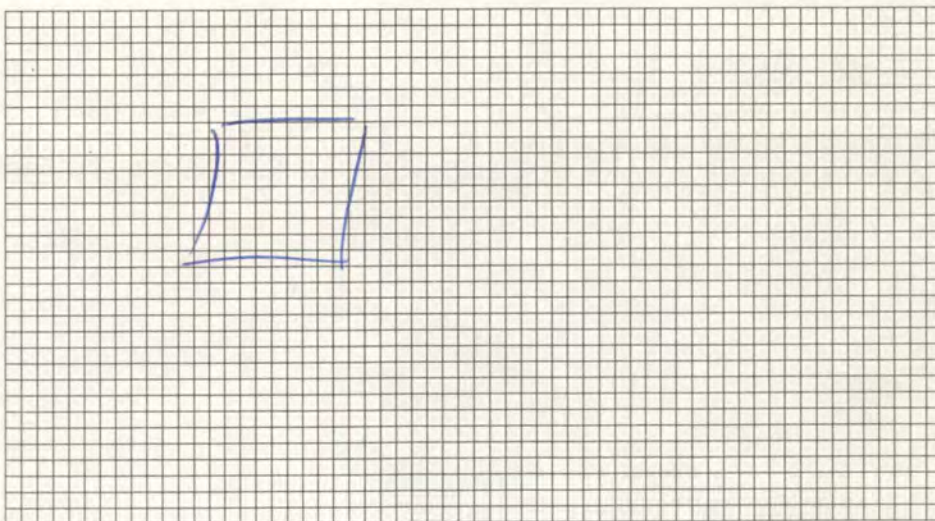
## LEGEND:

Plumbing line

Pier

Steps

Treated areas

NOTE: This Part A only applies to the areas treated above, and does not constitute final Certification.  
If alterations or additions are made to the protected area described in Part A then a further Part A Certificate  
may be required.

Irrelevant / Sensitive

APPLICATOR SIGNATURE

PEST CONTROL LICENCE NO ... 4930 ... DATE 18-6-92



FILE NO. 26 JUN 1992

RECEIVED 26 JUN 1992

TO: [REDACTED]

FOR: [REDACTED]

DEPT. OF [REDACTED]

OFFICE OF [REDACTED]



# BUILDING APPROVAL No 55937

Rate No. : 148725

Date : 01 JUN 92

Issued To : JENNINGS GROUP LTD - Builder  
Of : 2-8 MARLO PL HALLAM 3803

To : Dwelling - new brick

Construction : Brick Veneer/Tile

Area : 176.37 - M2

On : 607-609 POINT NEPEAN ROAD  
MCCRAE

Lot: 1 Plan: PS310930

Builder : JENNINGS GROUP LTD  
2-8 MARLO PL  
HALLAM 3803

Owner : JOSEPH RADCLIFFE  
607-609 POINT NEPEAN ROAD  
MCCRAE 3938

Plans and Specifications approved and approval granted subject to strict compliance in all respects with the Victoria Building Regulations 1983, By-Laws of the Shire of Flinders, the Provisions of the Building Control Act 1981 and the conditions or requirements (if any) listed on the Schedule of Conditions attached hereto.

|                |                  |          |
|----------------|------------------|----------|
| Estimated Cost | Building Fee     | \$288.00 |
|                | Scaffolding Fee  | \$0.00   |
|                | Sanitary Fee     | \$0.00   |
|                | Septic Fee       | \$0.00   |
|                | Road Opening Fee |          |
| \$115,000      | and Deposit      | \$300.00 |
|                | Total            | \$588.00 |

R J SIMPSON DEVELOPMENT APPROVALS CO-ORDINATOR

Per

Irrelevant / Sensitive

## NOTE

No alteration to or variation from stamped Plans and Specifications may be made without written consent of Building Surveyor.

This Approval expires Twelve Months from date of issue.

"This building approval is granted ONLY in respect of building work to be carried out in accordance with the Building Control Act 1981 and the Victoria Building Regulations 1983. Before building work is commenced additional permits or approvals may need to be obtained under other Acts or other Regulations - including the Planning and Environment Act 1987. Where registration with the Housing Guarantee Fund is required all provisions of the House Contracts Guarantee Act 1987 apply."



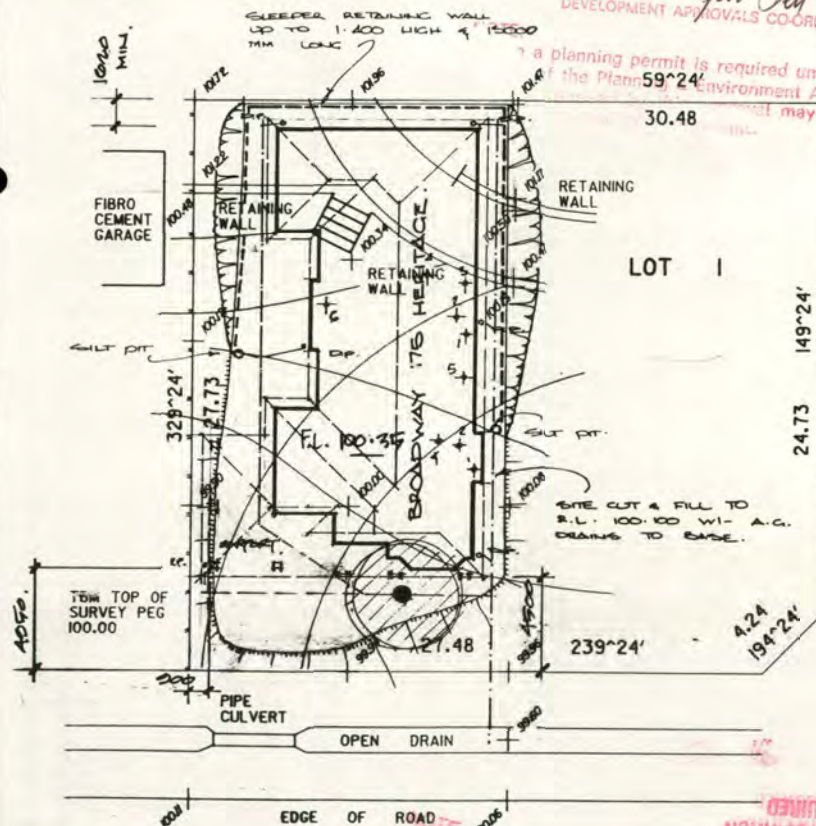
**SHIRE OF FLINDERS**  
Approval granted subject to compliance with the provisions of the Victorian Building Regulations 1983 and the Building Code of Australia.

Irrelevant / Sensitive

1 JUN 1992

R. J. SIMPSON *for Jeff*  
DEVELOPMENT APPROVALS CO-ORDINATOR

100.47  
59^24  
30.48



NEPEAN HIGHWAY

THE LOCATION OF PROPERTY BOUNDARIES  
AND THE SITING OF THE BUILDING IN  
COMPLIANCE WITH THE VICTORIA BUILDING  
REGULATION ACT. THE APPROVED DRAW-  
ING IS THE RESPONSIBILITY OF THE  
DRAWNOWNER.

REF NO. 0774

WATER SUPPLY:

Contract allows for water tapping for houses to be taken from existing main in front of property not more than 3.0m away. The owner is required to provide such extension of water main necessary to provide main in front of property. These water supply main ~~cannot be made available~~ main water farm system may be included in contract as a variation.

NOTE: The owner is to supply temporary water facilities for building programme where water supply is not available where water supply is not available prior to commencement.

**GAS SUPPLY:**

The Contract allows for the gas main of the Local Supply to be available at the site. ~~Where gas is not available, special equipment and reticulation may be included as a variation to the Contract at the Owner's request, this will not include actual connection or bottled gas facilities.~~

**ELECTRICITY SUPPLY:**

The Contract allows for the power supply to be connected to the dwelling directly from the authorities supply pole not more than 15m away. Any further extension costs or heavier cable requirements due to low voltage areas are to be carried out at the expense of the Owner.

~~SEPTIC SYSTEM/SEWER:~~

The Contract allows for septic sewer system to be provided subject to the conditions stipulated by the Municipal Health Inspector in regard to type, size and method of installation. Pumps on after bad systems not included in contract. Sewer where main is existing to be carried out to M.M.B.W. or Local Authority's requirements.

**ACCESS/OBSTRUCTIONS:**

The Contract allows for the site to be clear of obstructions likely to interfere with building operations, and to be satisfactorily accessible for vehicles to deliver materials. This is to be made available by Owner at his expense where required, prior to the commencement of building operations.

**CHECK SURVEY:**

Where boundary survey pegs or defined boundaries do not exist, a check survey will be required to be provided by the Owner at his expense prior to commencement of building operations.








**FENCING:**

The site will be fenced as specified to those boundaries defined on plan. The Owner is required to have removed all existing fencing or obstructions along boundaries required to have a new fence

**SITE CONDITIONS:**

The owner should take care not to significantly alter the foundation soil moisture conditions e.g by allowing trees to grow near the building walls. The position of sewerage and stormwater drains as shown on site plan are indicative only. Subject to the approval of the local authority. Excess soil to be removed from site. All vegetation and organic materials to be scraped clear of slab area. Fill as required to slab area.

**PLUMBING:**

 Septic affluent drains  
 90mm untreated P.V.C S.W.D  
 Concrete encased S.W.D  
 A.G drains  
 Underground main drain (where known to exist)  
 Precast Concrete spoon drain  
 Precast Concrete silt pit

**FENCING:**

Existing fencing  
Fencing Included  
in contract

DATUM:

Levels shown are approximate only and are to an assumed datum as indicated on plan.

**DRAINAGE:**

|                                  |    |        |
|----------------------------------|----|--------|
| 1. 90mm P.V.C S.W.D              | 28 | Metres |
| 2. 100mm P.V.C S.W.D             |    | Metres |
| 3. CLASS 12 P.V.C S.W.D          |    | Metres |
| 4. CONC ENCASED S.W.D            | 6  | Metres |
| 5. A.G DRAINS                    | 40 | Metres |
| 6. PRECAST CONCRETE SPOON DRAINS |    | Metres |
| 7. PRECAST CONCRETE SILT PITS    | 1  | No.    |
| 8. PRECAST GRATED CONC SILT PITS |    | No.    |

MUNICIPALITY:  
MELWAY'S MAP REF:



RECEIVED DA COUNTER  
 14 APR 1992  
 BA/PA  
 228337

## SITE PLAN

SCALE 1:250

CLIENT: J. & A.F.F. RADCLIFFE.  
INEPEAN HIGHWAY McCRAE

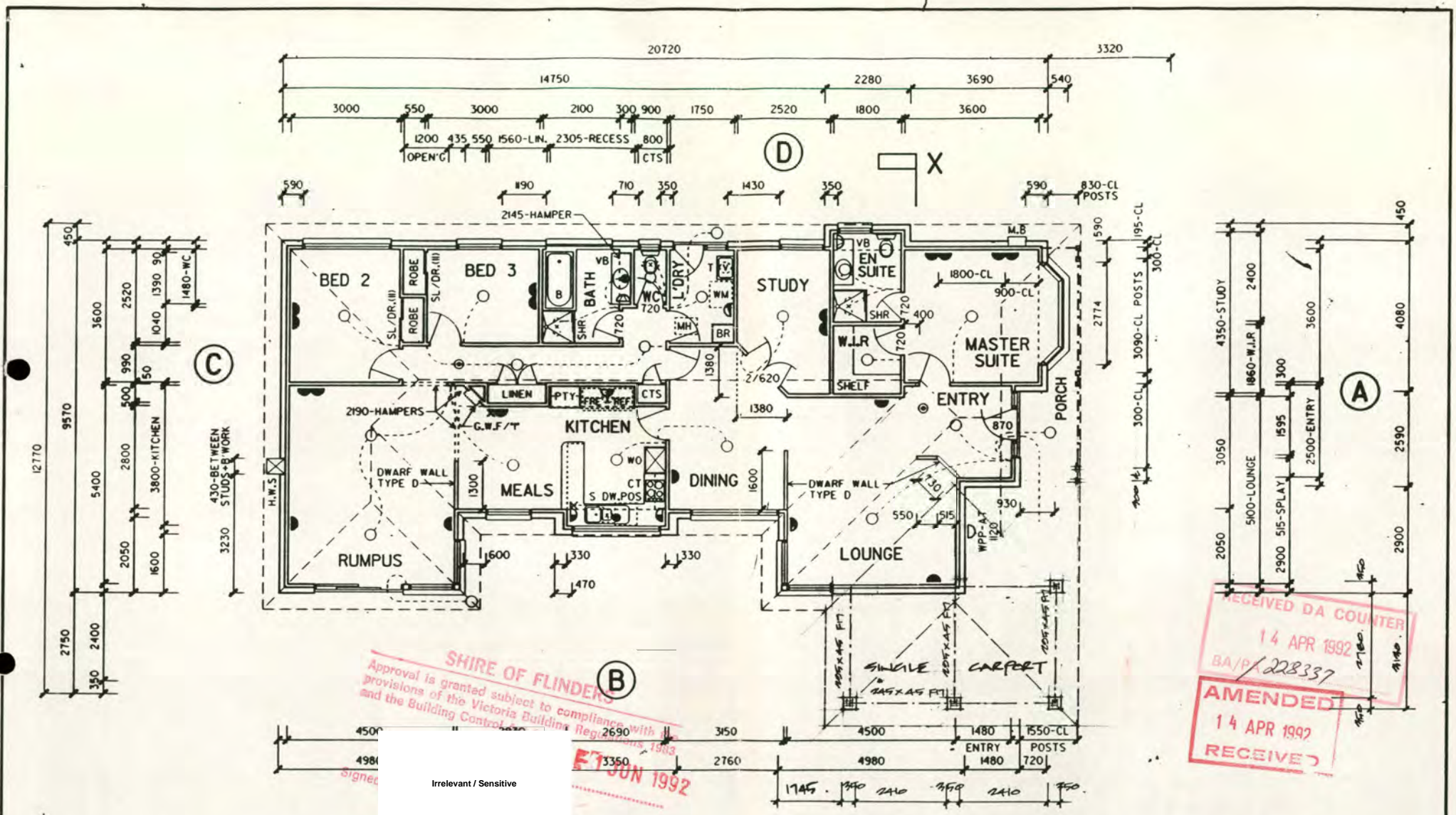
|          |                      |             |          |
|----------|----------------------|-------------|----------|
| CONTRACT | DRAWN: <i>J.</i>     | FINAL DRAWN | DRAWN:   |
|          | DATE: <i>2/14/01</i> |             | DATE:    |
| PERMIT   | DRAWN:               | WORK ORDER  | CHECKED: |
|          | DATE:                |             | FILE:    |



## AVJennings Homes

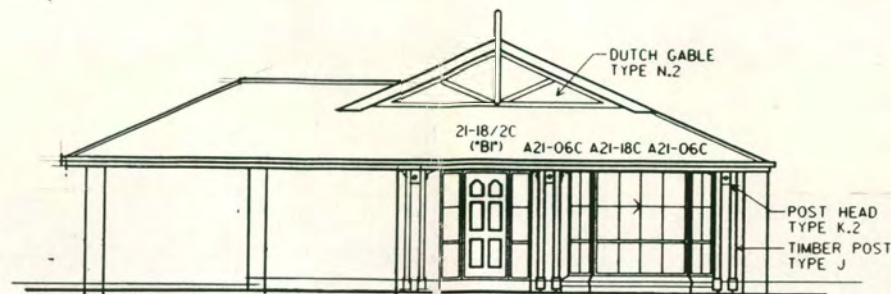
690 SPRINGVALE ROAD, MULGRAVE 3170 PH 566-8888



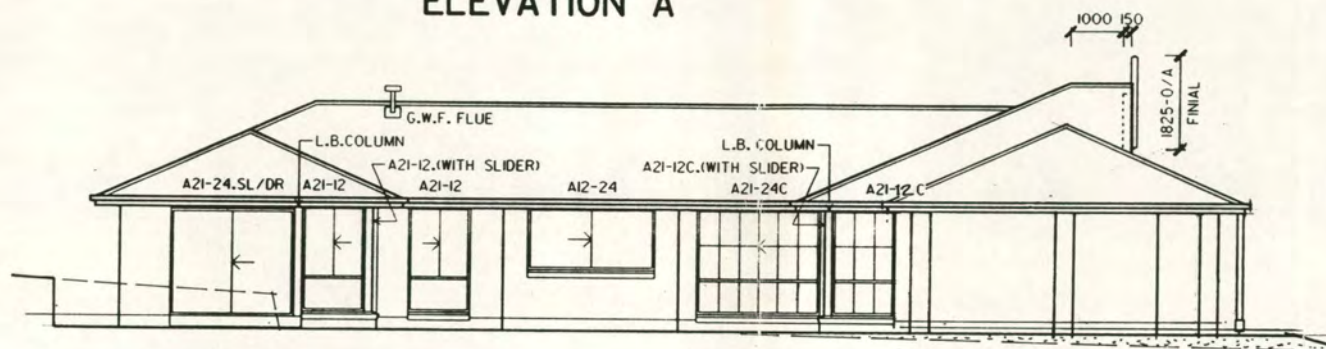


|   |  |  |  |   |  |  |  |                                  |  |                      |  |                       |  |
|---|--|--|--|---|--|--|--|----------------------------------|--|----------------------|--|-----------------------|--|
| GENERAL NOTES   |  | SYMBOLS AND ABBREVIATIONS  |  | ELECTRICAL LEGEND                       |  | WORKING DRAWING<br>GROUND FLOOR & ELEC. PLAN   |  | BROADWAY 175<br>HERITAGE SPECIAL |  | HAND<br>RH           |  | SHEET NO.<br>1        |  |
| • GROUND LEVELS & STEPS ARE APPROX. ONLY                              |  | L.A.V.S. D. - L.A.V. SLEEPING DOOR   |  | SINGLE POWER POINT AT 200mm             |  | SERIES DIVISION No. ISSUE                      |  | CLIENT: 14 AFF. RADCLIFFE        |  | SCALE: 1:100         |  | GND FL 176.375sqm     |  |
| • WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE                  |  | F.A.C.E. OF WALL - DOOR DOOR   |  | DOUBLE POWER POINT AT 200mm             |  | NewWave VIC 25B GEN 60-25/6/91                 |  | LOT: HEPEAN HIGHWAY,             |  | 1ST FL:              |  | VERIFIED: 5.755sqm    |  |
| • UNLESS OTHERWISE SHOWN, HINGED DOORS TO ROOMS TO BE 820-WIDE        |  | M/H - HANDLE   |  | SINGLE POWER POINT AT 120mm             |  | COPYRIGHT 1990 JENNINGS GROUP LIMITED          |  | MCGEE                            |  | NEW FL:              |  | CAF. ALL 33.56sqm     |  |
| • ON-SITE CLIPBOARD DOORS TO BE 520-WIDE                              |  | C.V. - CEILING VENT  |  | DOUBLE POWER POINT AT 120mm             |  | REPRODUCTION IN WHOLE OR PART FORBIDDEN        |  |                                  |  | STATE CONTRACT: 1000 |  | FILE NO: 250/250hrLdn |  |
| • TOP OF METER BOX TO BE 1900mm ABOVE GROUND ON PORCH                 |  | SUB FLOOR VENT AT 1200-CTS.  |  | SINGLE POWER POINT AT 1250mm            |  | AVJennings Homes                               |  |                                  |  | DRAWN: DG 2/9/91     |  |                       |  |
| • LIGHT SWITCHES AND INTERNAL DOOR FURNITURE TO BE 1055mm ABOVE FLOOR |  | THERMOSTAT   |  | DOUBLE POWER POINT AT 1570mm            |  | 690 SPRINGVALE ROAD, MULGRAVE 3170 PH 566 8888 |  |                                  |  | CHECKED: DIV 5       |  |                       |  |
| • GLASS AREA TO W.C. 0.04m <sup>2</sup> (OBSOLETE - TATILITE)         |  | T.V. POINT   |  | FAN SWITCH DOUBLE POWER POINT AT 120mm  |  |  |  |                                  |  |                      |  |                       |  |
| • OPENABLE SASH SIZE TO W.C. 0.09m <sup>2</sup>                       |  | PHONE POINT  |  | ISOLATING SWITCH & POWER POINT AT 200mm |  |  |  |                                  |  |                      |  |                       |  |
|   |  | WIRE DIRECT TO ELECTRIC HEATER, WALL OVEN AND RANGEHOOD  |  | FAN - EXHAUST FAN                       |  |  |  |                                  |  |                      |  |                       |  |
|   |  | UNLESS OTHERWISE INDICATED, ALL WALL DIMENSIONS ARE AS FOLLOWS: - EXTERNAL 240mm - INTERNAL 90mm |  | CEILING LIGHT OUTLET                    |  |  |  |                                  |  |                      |  |                       |  |
|   |  |  |  | WALL LIGHT OUTLET                       |  |  |  |                                  |  |                      |  |                       |  |
|   |  |  |  | SPOTLIGHT                               |  |  |  |                                  |  |                      |  |                       |  |





ELEVATION A



ELEVATION B

SHIRE OF FLINDERS  
Approval is granted subject to the provisions of the Victorian Building Regulations 1993 and the Building Act 1993.

Signed

Irrelevant / Sensitive

1 JUN 1992  
1992

NOTE:  
Where a planning permit is required under the provisions of the Planning & Environment Act 1987, no works authorised by this approval may commence prior to the grant of such permit.

VALS CO-ORDINATOR

RECEIVED DA COUNTER  
14 APR 1992  
BA/PA 228337

AMENDED  
14 APR 1992  
RECEIVED

LIFESTYLE SERIES

**AVJennings Homes**  
690 SPRINGVALE ROAD, MULGRAVE 3170 PH. 566-8888

SERIES DIVISION No. ISSUE  
NEW WAVE VIC 25B GEN 60-25/6/91  
H.T. 0-1-91

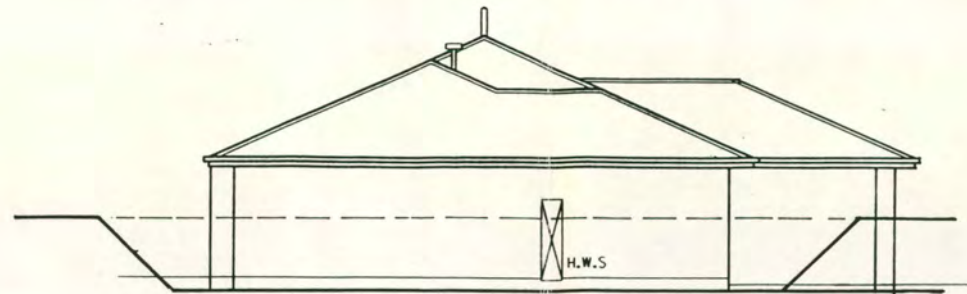
WORKING DRAWINGS  
EXTERNAL ELEVATIONS  
BROADWAY 175  
HERITAGE SPECIAL

CLIENT: J. & A. F. RADCLIFFE  
LOT 1 NEPEAN HIGHWAY  
M<sup>o</sup> CRAE

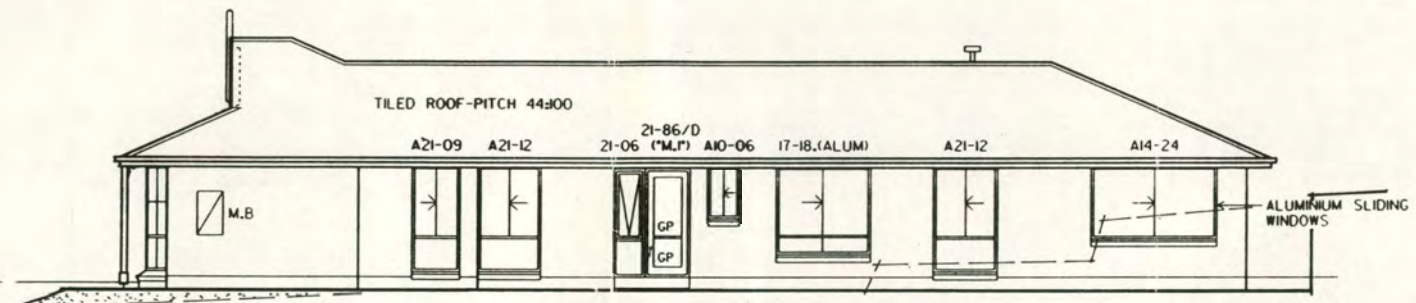
NOTES:  
DRAWN DC 2/9/91  
CHECKED BIV 9/1  
SCALE: 1:100  
FILE NO: 250-250-1-020

REVISIONS  
RH SH. 2

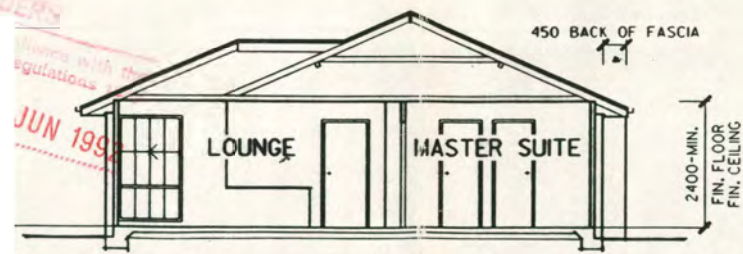




ELEVATION C



ELEVATION D



SECTION X-X

CLASS A

TERMITE PROOFING TO A.S. 1057.

AMENDED  
14 APR 1992  
RECEIVED

- 175 x 38 RIDGE
- 125 x 38 RAFTERS AT 600-CTS.
- 75 x 38 COLLAR TIES
- 100 x 75 RIDGE AND PURLIN STRUTS
- 100 x 38 CEILING JOISTS AT 600-CTS.

NOTES:-  
EXPANSION JOINTS ARE TO BE PROVIDED  
EVERY 12-METRES FOR CLAY BRICKS AND  
EVERY 6-METRES FOR MASONRY.

INSULATION:- CEILING R-2.5  
WALL R-1.5

Approval is granted subject to the provisions of the Building Act 1987 and the Building Regulations 1987.

Irrelevant / Sensitive

NOTE: Where a permit is required under the provisions of the Planning & Environment Act 1987, no work authorised by this approval may commence prior to the grant of such permit.

**AVJennings Homes**  
690 SPRINGVALE ROAD, MULGRAVE 3170 PH. 566-8888

SERIES **NEW WAVE** DIVISION **VIC** No. **25B**  
© COPYRIGHT 1990 JENNINGS GROUP LIMITED  
REPRODUCTION IN WHOLE OR PART FORBIDDEN

WORKING DRAWINGS  
EXTERNAL ELEVATIONS  
BROADWAY 175  
HERITAGE SPECIAL

CLIENT: **LAFF RACLIFF**  
**LOT 1 NEPEAN HIGHWAY**  
**MURRAE**

NOTES: HAND: **RH** SHEET: **2a**  
SCALE: 1:100  
DRAWN: **DC 2/9/91**  
CHECKED: **3/11/91**  
FILE No: **25b/25btr2a.dgn**



PART OF  
MELBOURNE  
WATER

MORNINGTON PENINSULA & DISTRICT WATER BOARD

PROPOSED BUILDINGS AND/OR WORKS  
ARE CLEAR OF THE BOARD'S SERVICES.  
ALL MATTERS AFFECTING THE PLUMBING  
INSTALLATIONS AND/OR SEWERAGE  
SYSTEM MUST CONFORM WITH THE  
BOARD'S BY-LAWS AND THE VICTORIA  
WATER SUPPLY AND SEWERAGE  
PLUMBING REGULATIONS 1986 AND ANY  
CONDITIONS AS SET BY THE BOARD.

SEWER AVAILABLE

Per: *Modell* Date 9/1/92

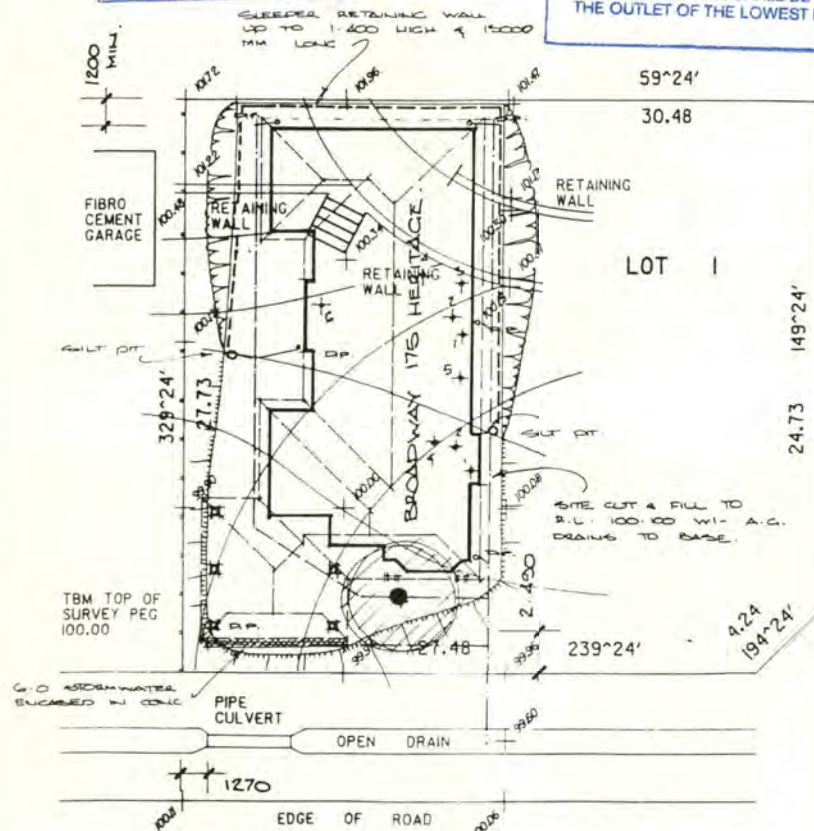
M.P. & D.W.B.

10 JAN 1992



MORNINGTON PENINSULA & DISTRICT WATER BOARD  
PLEASE NOTE

TO COMPLY WITH THE REQUIREMENTS OF CLAUSE 514 OF  
THE VICTORIA WATER SUPPLY AND SEWERAGE PLUMBING  
REGULATIONS 1986, THE FINISHED GROUND OR PAVED  
LEVEL AT THE ORG. SHALL BE AT LEAST 225mm BELOW  
THE OUTLET OF THE LOWEST PLUMBING FIXTURE.



NEPEAN HIGHWAY

SPECIAL CONDITIONS

WATER SUPPLY:

Contract allows for water tapping for house supply to be taken from existing main in front of property not more than 9.0m away. The owner is required to provide such extension of water main as necessary to provide main in front of property. Where water supply main cannot be made available, rain-water tank system may be included in contract as a variation.  
NOTE: The owner is to supply temporary water facilities for building purposes where house supply will be by tank or where water supply is not available prior to commencement.

GAS SUPPLY:

The Contract allows for the gas main of the Local Supply to be available at the site. Where gas is not available, special equipment and reticulation may be included as a variation to the Contract at the Owner's request. This will not include actual connection or bottled gas facilities.

ELECTRICITY SUPPLY:

The Contract allows for the power supply to be connected to the dwelling directly from the authorities supply pole not more than 18m away. Any further extension costs or heavier cable requirements due to low voltage areas are to be carried out at the expense of the Owner.

SEPTIC SYSTEM/SEWER:

The Contract allows for septic cover system to be provided subject to the conditions stipulated by the Municipal Health Inspector in regard to type, size and method of installation. Pump or filter bed systems not included in contract. Sewer where main is existing to be carried out to M.W.B. or Local Authority's requirements.

ACCESS/OBSTRUCTIONS:

The Contract allows for the site to be clear of obstructions likely to interfere with building operations, and to be satisfactorily accessible for vehicles to deliver materials. This is to be made available by Owner at his expense where required, prior to the commencement of building operations.

CHECK SURVEY:

Where boundary survey pegs or defined boundaries do not exist, a check survey will be required to be provided by the Owner at his expense prior to commencement of building operations.

FENCING:

The site will be fenced as specified to those boundaries defined on plan. The Owner is required to have removed existing fencing or obstructions along boundaries required to have a new fence.

SITE CONDITIONS:

The owner should take care not to significantly alter the foundation soil moisture conditions e.g. by allowing trees to grow near the building walls. The position of sewerage and stormwater drains as shown on site plan are indicative only. Subject to the approval of the local authority. Excess soil to be removed from site. All vegetation and organic materials to be scraped clear of slab area. Fills required to slab area.

PLUMBING:

- Septic effluent drains
- 90mm untested P.V.C S.W.D
- Concrete encased S.W.D
- A.G drains
- Underground main drain (where known to exist)
- Precast Concrete spoon drain
- Precast Concrete silt pit

FENCING:

- Existing fencing
- Fencing Included in contract

TREES:

- Existing trees.

Trees to be removed by client prior to commencement of building operations.

DATUM:

Levels shown are approximate only and are to an assumed datum as indicated on plan.

DRAINAGE:

|                                  |    |        |
|----------------------------------|----|--------|
| 1. 90mm P.V.C S.W.D              | 28 | Metres |
| 2. 100mm P.V.C S.W.D             |    | Metres |
| 3. CLASS 12 P.V.C S.W.D          |    | Metres |
| 4. CONC ENCASED S.W.D            | 6  | Metres |
| 5. A.G DRAINS                    | 40 | Metres |
| 6. PRECAST CONCRETE SPOON DRAINS |    | Metres |
| 7. PRECAST CONCRETE SILT PITS    | 2  | No.    |
| 8. PRECAST GRATED CONC SILT PITS |    | No.    |

MUNICIPALITY:

MELWAY'S MAP REF:



SITE PLAN

SCALE 1:250

CLIENT: J. & A. F. F. RADCLIFFE,  
INEPEAN HIGHWAY MCCRAE

|          |                    |             |          |
|----------|--------------------|-------------|----------|
| CONTRACT | DRAWN: <i>J.F.</i> | FINAL DRAWN | DRAWN:   |
| PERMIT   | DATE: 2/1/92       | WORK ORDER  | CHECKED: |
|          | DATE:              |             | FILE:    |



**AV Jennings Homes**  
690 SPRINGVALE ROAD, MULGRAVE 3170 PH. 566-8888

© COPYRIGHT 1990 JENNINGS GROUP LIMITED

REF NO. 0774



2

**WILLIAMS & WILLIAMS**

Barristers &amp; Solicitors

PHONE: (059) 87 3233

FAX: (059) 89 2334

John Williams B.Juris., LL.B., Dip.Ed.  
 Jillian Elizabeth Williams, B.A. LL.B

RED HILL VILLAGE 3937  
 P O BOX 75, RED HILL SOUTH

RANG.....

A.M.

P.M.

FACSIMILE COVER SHEET

ANSWER

YES

NO

K Weir

DATE:

24th December, 1991

NO. OF PAGES: (INCLUDING COVER SHEET)

TO:

Jim Sheedy

FAX NO:

(059) 866296

FROM:

JILLIAN WILLIAMS

FAX NO:

(059) 89 2334

COMMENTS:

Statutory Declaration  
 - re Roderick, as discussed  
 - apologies for typing -  
 all our secretaries are on holiday

FILE NO. BA228337  
 114627  
 RECEIVED 24 DEC 1991  
 REFERRED TO DEPT OFFICER  
 P+D J. Sheedy  
 DEPT. OF JUSTICE  
 DEPARTMENTAL  
 FILE  
 RECEPTION ONLY



## Statutory Declaration

I, JILLIAN ELIZABETH WILLIAMS of Tucks Road, Main Ridge, in the State of Victoria, Solicitor, do solemnly and sincerely declare:

1. I am the solicitor for Joseph Radcliffe and Agness Flint Forrester Radcliffe in respect of an application for subdivision of land situated at 607 Nepean Highway, McCrae.

2. The application for subdivision was lodged at the Titles Office and bears dealing No. PS 310930Y. Unless I receive instructions to the contrary, the plan of subdivision will not be withdrawn from the Titles Office prior to registration by the Registrar of Titles.

AND I MAKE this solemn declaration conscientiously believing the same to be true, and by virtue of the provisions of an Act of the Parliament of Victoria rendering persons making a false declaration punishable for wilful and corrupt perjury.

DECLARED at Red Hill  
in the State of Victoria  
the 23<sup>rd</sup> day of December, 1991

*Jillian Williams*

BEFORE

Irrelevant / Sensitive

*✓* SOLICITORS  
TUCKS RD.  
MAIN RIDGE

**WILLIAMS & WILLIAMS**

Barristers &amp; Solicitors

PHONE: (059) 87 3233

FAX: (059) 89 2334

John Williams B.Juris., LL.B., Dip.Ed.  
Jillian Elizabeth Williams, B.A. LL.B.RED HILL VILLAGE 3937  
P O BOX 75, RED HILL SOUTH

RANG.....

A.M.

P.M.

2 pm

ANSWER

YES

NO

K Weir

LATE DELIVERY  
DEFERRED  
PROCESSING

DATE:

24th December, 1991

NO. OF PAGES: (INCLUDING COVER SHEET)

TO:

Jim Sheedy

FAX NO:

(059) 86696

FROM:

JILLIAN WILLIAMS

FAX NO:

(059) 89 2334

COMMENTS:

Statutory Declaration

- a Affidavit, as discussed

- apologies for typing -

all our secretaries are on holiday

|                   |              |
|-------------------|--------------|
| FILE NO. BA228337 |              |
| RECEIVED 114627   |              |
| 24 DEC 1991       |              |
| REFERRED TO       | DEPT OFFICER |
| P+D               | J. Sheedy    |
| DRAFT REPLY FOR   |              |
| FORCE             |              |
| DEPARTMENTAL      |              |
| REPLY             |              |
| COUNCIL           |              |
| COMMITTEE         |              |
| INFORMATION ONLY  |              |



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AND I MAKE this solemn declaration conscientiously believing the same to be true, and by virtue of the provisions of an Act of the Parliament of Victoria rendering persons making a false declaration punishable for wilful and corrupt perjury.

DECLARED at Red Hill  
in the State of Victoria  
the 31 day of December, 1991

*Jill Williams*

BEFORE

Irrelevant / Sensitive

*Solicitors*

*Tucks Rd.*

*Main Ridge*

# PLAN OF SUBDIVISION

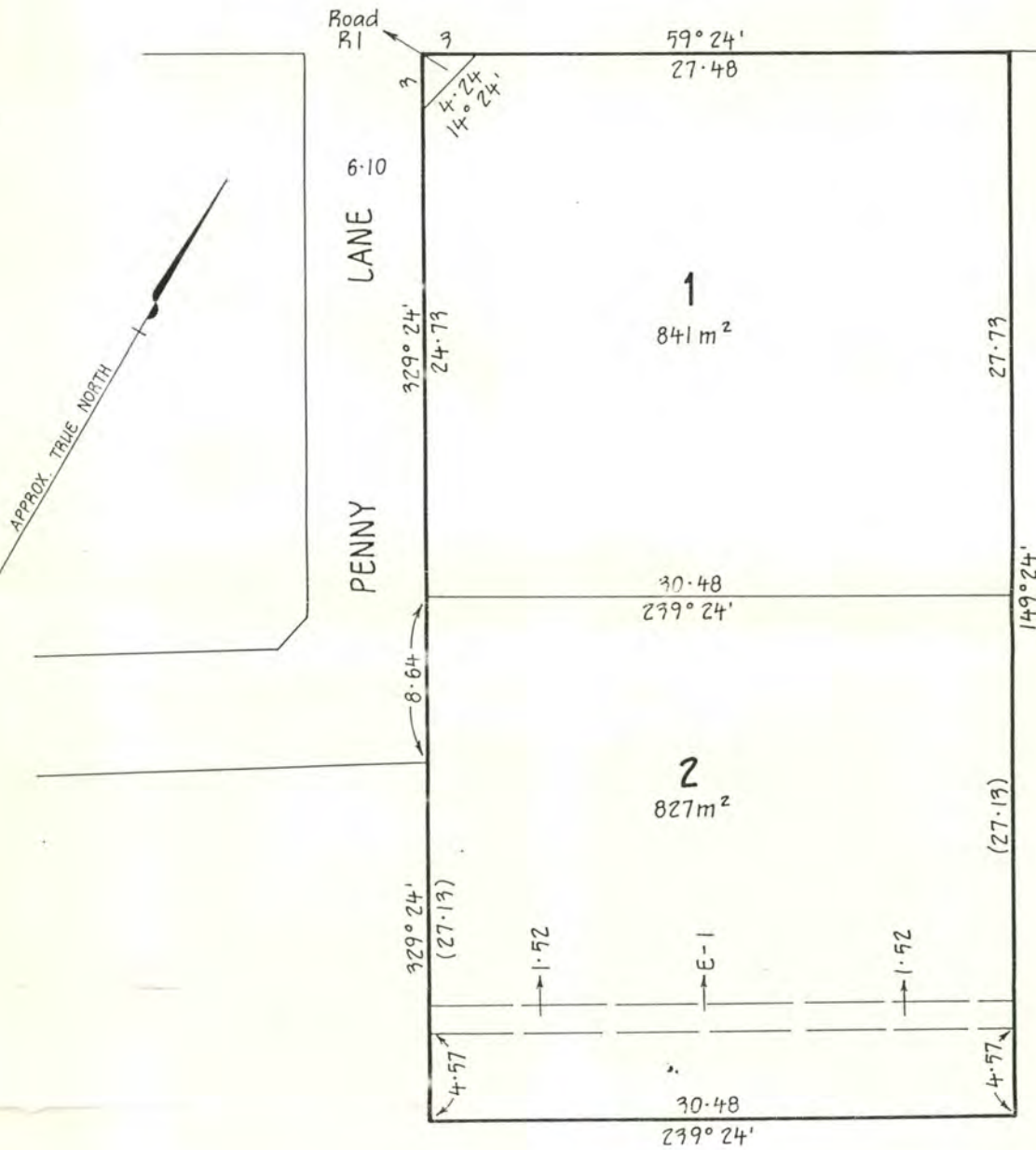
STAGE No.

PLAN NUMBER

PS 310930 Y

NEPEAN

HIGHWAY



**WATSONS PTY. LTD.**

LICENSED SURVEYORS

5 MAIN STREET, MORNINGTON 3931 PH. (059) 75 4644

2.5 0 2.5 5.0 7.5 10 12.5  
LENGTHS ARE IN METRES

ORIGINAL

SCALE | SHEET  
1:250 | SIZE  
A3

LICENSED SURVEYOR (PRINT) Ian Thomas Muir

SIGNATURE

Irrelevant / Sensitive

DATE 5/6/91

REF 29188

VERSION 1

SHEET 2 OF 2 SHEETS

DATE / /

COUNCIL DELEGATE SIGNATURE

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150mm

Creffields PS03



16th December, 1991

The Manager  
Jennings Group Ltd  
2-8 Marlb Place  
HALLAM 3803

Dear Sir

PROPERTY: 607 NEPEAN HIGHWAY, McCRAE

I refer to your application for building approval at the above address.

The Building Surveyor has carried out a preliminary check of the application and advises that the following further information and/or amendments are required to achieve compliance with the Building Code of Australia and the Victoria Building Regulations:-

1. A copy of the Architectural Plans bearing the approval of the Melbourne Water Corporation (Rosebud Office located at Ninth Avenue, Rosebud Phone (059) 866633). *JS*
2. Computations have been referred to our Structural Engineer for examination and may be the subject of a later report. *rec'd 15/12/91* *OLAH* *JS*
3. A copy of the Town Planning Permit and endorsed plans. This will be supplied by the Planning Department upon issue of the permit. Building approval will not be issued nor any work commenced prior to the issue of the Town Planning Permit
4. Submit evidence of consolidation of the allotments. *RECEIPT FROM TITLES OFFICE + STAT DEC NOT TO WITHDRAW*

The application will be given further consideration upon our receipt of the above.

Any enquiries in relation to this letter or on the progress of the application should be directed to the Development Approvals Section.

Yours faithfully

Irrelevant / Sensitive

Rosemary Simpson  
DEVELOPMENT APPROVALS CO-ORDINATOR

(Reference: JS:NT BA.228337 : Direct Dial 86 0144)



DATE: 12/12/91BA. NO: 228337

MEMORANDUM TO : OPERATIONS DEPARTMENT

FROM : BUILDING SURVEYOR

PROPERTY NO : 114627OWNERS NAME : RadcliffePROPERTY ADDRESS : 607 Nepean Hy. McCree

Could you please indicate whether the abovementioned property has a lawful point for drainage.

YES/NO

Description of point, ie. Kerb and channel. *open drain*  
 Easement drain  
 Other underground drainage (via street)  
 Other

*Drain to open drain at front of property*

Irrelevant / Sensitive

*2/12/91*

Would this property in the opinion of the Municipal Engineer be liable to flooding.

YES/NO



**RESIDENTIAL - CLASS 1 DWELLING**

DATE LODGED ..... 11-12-91 .....

B.A. NUMBER ..... 228337 .....

Office  
Use

| Glossary<br>6 | Required information   | No. of<br>copies | Items<br>received | Fees  | Outstanding items |
|---------------|--|------------------|-------------------|-------|-------------------|
| 1             | Specifications   | 3                | 3                 |       |                   |
| 2             | Plans - architectural, showing<br>site & floor levels<br>insulation<br>smoke detectors | 3                | 3                 |       |                   |
| 3             | Plans - structural   | 3                |                   |       |                   |
| 4             | Computations   | 3                | 3                 |       |                   |
| 29            | Truss design & layout  | 3                |                   |       |                   |
| 5             | Title  | 1                | 1                 |       |                   |
| 6             | Form 10 - H.G.F.L.   | 1                | 1                 |       |                   |
| 7             | Soil report  | 3                | 3                 |       |                   |
| 8             | Scaffold Application Form  | 1                | NR                | \$    |                   |
| 9             | Building Application Form  | 1                | 1                 | \$258 | PAID 11/12/91     |
| 10            | M.P.D.W.B. stamped plan  | 1                |                   |       | to come. (1)      |
| 11            | Town Planning Application  |                  |                   | \$    |                   |
| 12            | Road Opening Application Form  | 1                | 1                 | \$300 | PAID 11/12/91.    |
| 13            | Septic Tank Application Form   | 1                | NR.               | \$    |                   |
| 14            | Sanitary Advice Form   | 1                | 1                 |       |                   |

Application received counter / mail

Application advised counter / mail : date .....

|    | Referrals       | Required? | Date<br>sent | Date<br>returned |
|----|-----------------|-----------|--------------|------------------|
| 27 | Comps check     | yes       | 12/12        | 18/12/91 (2)     |
| 31 | Drainage check  | yes       | 12/12        | 13/12/91         |
|    | Site inspection |           |              |                  |

Other comments





**BUILDING CONTROL ACT 1981**  
**VICTORIA BUILDING REGULATIONS 1983**  
**SHIRE OF FLINDERS**  
**APPLICATION FOR BUILDING APPROVAL**

FORM 5

228337

To the Development Approvals Co-ordinator

Property no. 114627

I hereby apply for approval to \* **construct** / ~~demolish~~ / ~~remove~~  
 a building on Lot No. 849, Pt 52 Street No. 607-609  
 Subdivision No. LP-11038 Section B  
 Crown Allotment (s) Parish Warrnambool  
 Street Nepean Highway Township Mc CREE

BUILDING FEE \$ 288:  
 SCAFFOLDING FEE \$ :  
 SEPTIC FEE \$ :  
 ROAD OPENING FEE \$ 300:  
 AND DEPOSIT \$ 588:

NATURE OF CONSTRUCTION: \* **New Building**, ~~Alteration~~, ~~Repair~~, ~~Re-erection~~

OWNER OF LAND

NAME: J. R. & A. F. RADCLIFFE  
 ADDRESS: 607-609 NEPEAN HIGHWAY.  
 MC CREE

PHONE: .....

POSTCODE: .....

SUPERINTENDING

ARCHITECT AND/OR  
ENGINEER

NAME: .....  
 ADDRESS: .....

PHONE: .....

POSTCODE: .....

BUILDER

NAME: JENNINGS GROUP LTD  
 ADDRESS: 2-8 MAIRO PLACE HULLAM

PHONE: 215 459

POSTCODE: 3803

PURPOSE FOR WHICH BUILDING IS TO BE USED Dwelling

If purpose is for a dwelling house :

BUILDER'S REGISTRATION NUMBER 252  
 RECOGNISED BY : HOUSING GUARANTEE FUND LIMITED.

Attached herewith is Certificate of Guarantee Status of Domestic Building Work issued by the Housing Guarantee Fund  
 Limited, under House Contracts Guarantee Regulations, 1988.

ESTIMATED COST OF THE WORK \$ .....

Irrelevant / Sensitive

AREA OF BUILDING 176.37 sq.m

I undertake that the \*construction, ~~demolition or removal~~ will be carried out in conformity with the requirements of the Victoria Building Regulations and the By-Laws of the Municipality.

Dated this 9<sup>th</sup> day of December 1991

Signature .....

Irrelevant / Sensitive

\*OWNER/AGENT OF OWNER

NAME AND ADDRESS OF AGENT (when applicable) C. Jamieson of Jennings group ltd  
 2-8 MAIRO PLACE HULLAM 3803

NOTE: Pursuant to Section 20(22) of the Building Control Act 1981 a person shall not act as the agent of an owner unless he is authorised in writing by the owner to do so.

PLANNING ADVICE

Housing Residential Policy

Planning Permit required

DATE 11.12.91 SIGNATURE .....

Irrelevant / Sensitive

BUILDING SURVEYOR APPROVAL

DATE

Irrelevant / Sensitive

SIGNATURE

PLANNING



**SHIRE OF FLINDERS**

MUNICIPAL OFFICES, ROSEBUD. 3939

**OFFICIAL RECEIPT**

TELEPHONE: (059) 81 1500

| DATE              | REC. No. | DESCRIPTION | REF. No.   | AMOUNT |
|-------------------|----------|-------------|------------|--------|
| Cashier 1 Ctr CHq |          |             |            |        |
| 11/12/91          | 10864    | 114627      | A320000501 | 288.00 |

RECEIVED PAYMENT AS DETAILED SUBJECT TO CHEQUES BEING PAID

FLINDERS SHIRE

## PERMIT TO OPEN OR USE ROADWAY

Nº 15009

BA228837

|                           |          |
|---------------------------|----------|
| A. Road Opening Fee       | \$ 20:-  |
| B. Use of Roadway Fee     | \$ 20:-  |
| Deposit against Damage    | \$ 260:- |
| C. Vehicular Crossing Fee | \$ :     |
| Code ..... TOTAL          | \$ 300:- |

OFFICE COPY

CASH REGISTER IMPRINT

10865

11-12-91

114627



|  |          |             |                          |        |
|--|----------|-------------|--------------------------|--------|
| <b>SHIRE OF FLINDERS</b>                                   |          |             | <b>OFFICIAL RECEIPT</b>  |        |
| MUNICIPAL OFFICES, ROSEBUD. 3939                           |          |             | TELEPHONE: (059) 81 1500 |        |
| DATE   | REC. No. | DESCRIPTION | REF. No.                 | AMOUNT |
| Cashier 1 Ctr CHq  |          |             |                          |        |
| 11/12/91   | 10865    | 114627      | AL31000900               | 300.00 |
| RECEIVED PAYMENT AS DETAILED SUBJECT TO CHEQUES BEING PAID |          |             |                          |        |

228321

607 - 609 Neapean Highway  
McCRAE 3938

The Building Surveyor.

Dear Sir,

This serves to authorise JENNINGS GROUP LIMITED,  
of 590 Springvale Road, Mulgrave, to lodge Plans and  
Specifications for approval on my behalf and to erect  
a residence on my land at:

LOT 1 STREET NEPEAN HIGHWAY

SUBURB McCRAE POSTCODE

(STREET NO.)

Yours faithfully,

Irrelevant / Sensitive

J. RADCLIFFE

A. F. F. RADCLIFFE

Irrelevant / Sensitive



# MacGregor Soil & Rock Engineering Pty. Ltd.

A.C.N. 005 546 627

P. O. Box 256, 28a Hardy Street, Lilydale, VIC. 3140

Phone: (03) 735 0422 FAX: (03) 735 5142

A V Jennings Homes,  
2-8 Marlo Place,  
Hallam, VIC 3803.

20th November 1991

Job No: 913465

Dear Sirs,

Re: PROPOSED RESIDENCE  
LOT 1, NEPEAN HIGHWAY, McCRAE.

We are pleased to report on investigations carried out on the *Site Classification and recommended foundation strip/stump and slab-on-ground footings.*

Irrelevant / Sensitive

2 recommendations  
needed to comply)

## FIELDWORK

2 No. Boreholes were drilled. The borehole location plan and engineering logs are attached and form part of this report.

## SOIL CONDITIONS

See the attached logs for details of materials and any groundwater encountered.

## RECOMMENDATIONS

| Strip/Stump Footings      |   | Slab-on-Ground Footings   |  |
|---------------------------|---|---------------------------|--|
| Classification (AS2870.1) |   | Classification (AS2870.1) |  |
| A                         |   | A                         |  |
| Borehole Number           | Min. Founding Depth (m) for 100kPa allowable bearing pressure | Borehole Number           | Min. Founding Depth (m) for Slab Edge Beams at 50kPa |
| 1                         | 0.5   | 1                         | 0.5  |
| 2                         | 0.45  | 2                         | 0.45   |

## SPECIAL REQUIREMENTS AND CONSTRUCTION DIFFICULTIES

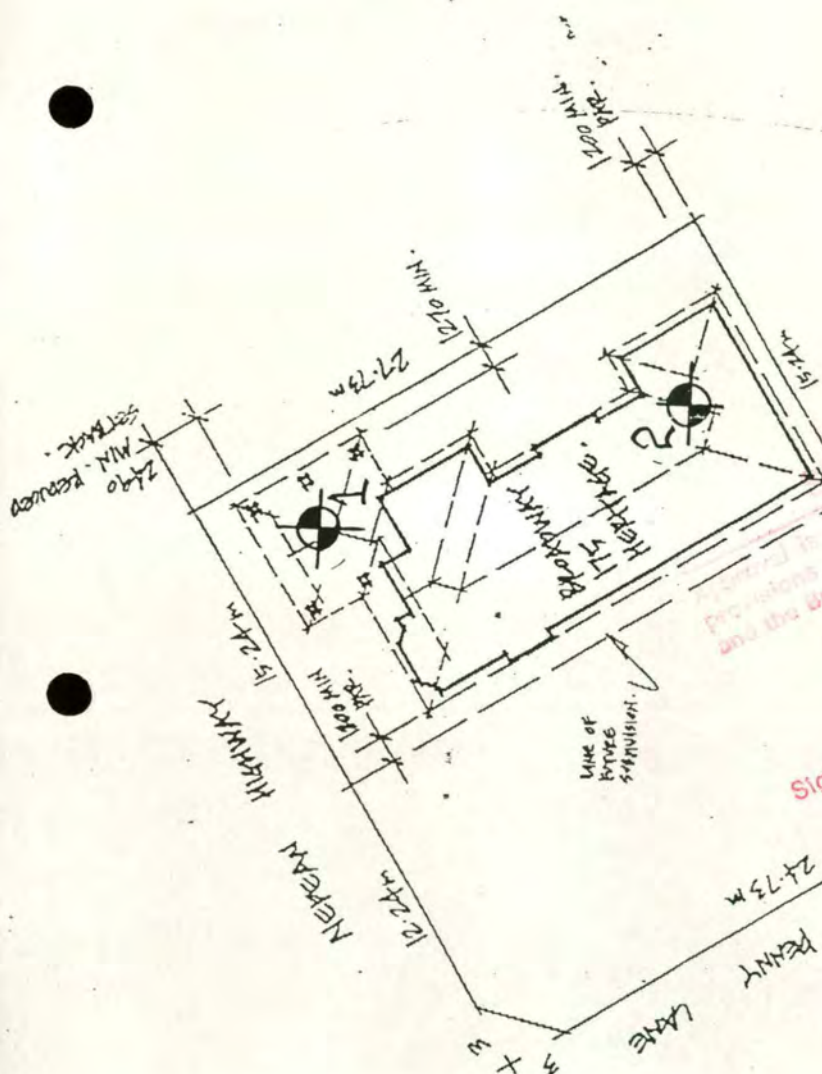
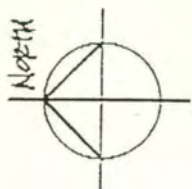
- all excavations should be carefully inspected by a competent person and this office contacted *immediately* if conditions other than those described in this report are encountered.
- see attached *Guide to Builders and Home Owners* for footing construction and maintenance details.
- check excavation carefully for presence and variation in depth of filling. Suspend slab-on-ground footings or adopt stiffened raft slab where the depth of fill exceeds 0.6m.
- groundwater (seasonal) may cause construction difficulties.
- the surface sands may contain a perched water table during wet winter/spring months.
- take edge beams and heavily loaded internal beams to slabs through any surface filling and minimum 100mm into natural soil.
- the sides of footing excavations may collapse through the surface fill/sands.

Please contact us if you have any queries.

Irrelevant / Sensitive

Andrew S. MacGregor  
M. I. E. Aust, Director

РАДСУПР.  
ЛОТ. 849 НЕПЕНА НУМ,  
МАСАЕ.



OF FLINDERS

w/2-51

**DEPT OF FLINDERS**

Subject to compliance with the  
Victoria Building Regulations 1983  
Control Act 1981.

Date: **1 JUN 19**

w/2-60

w/2-7

Irrelevant / Sensitive

completing Regulatory  
81.

Date: **1 JUN 1992**

Irrelevant / Sensitive

**Irrelevant / Sensitive**

Irrelevant / Sensitive



# MacGregor Soil & Rock Engineering Pty. Ltd.

A.C.N. 005 546 627

P. O. Box 256, 28a Hardy Street, Lilydale, VIC. 3140

Phone: (03) 735 0422 FAX: (03) 735 5142

A V Jennings Homes,  
2-8 Marlo Place,  
Hallam, VIC 3803.

Re: PROPOSED RESIDENCE  
LOT 1, NEPEAN HIGHWAY, McCRAE.

## ENGINEERING LOG

| Description  | Soil Type | State | Depth | Comments                   |
|--|-----------|-------|-------|----------------------------|
| Borehole No. 1   |           |       |       | Borehole dry on completion |
| Loose-medium density grey & brown silty sand                   | Fill      | moist | 0.0   |                            |
| Loose-medium density grey silty - becoming moist-wet below 1.0 | Sand      | moist | 0.4   |                            |
| Terminated   |           |       | 1.5   |                            |
| Borehole No. 2   |           |       |       | Borehole dry on completion |
| Loose-medium density grey & brown silty sand                   | Fill      | moist | 0.0   |                            |
| Loose-medium density grey silty - becoming moist-wet below 1.0 | Sand      | moist | 0.35  |                            |
| Terminated   |           |       | 1.5   |                            |

Drill Make: Mac Type: A3 Driller: nrr Date: 19/11/91 Logged: nrr Checked: Irrelevant / Sensitive

**CITY OF FLINDERS**  
subject to compliance with the  
Victoria Building Regulations 1983  
Control Act 1981.

**61 JUN 1992**  
Date .....

Irrelevant / Sensitive

Signed

R. J. DEVELOPER

NOTE: Where a planning permit is required under the provisions of the Planning & Environment Act 1987, no works authorised by this approval may commence prior to the grant of such permit.



## MacGregor Soil & Rock Engineering Pty Ltd

### GUIDE TO BUILDERS AND HOME OWNERS

**SITE DRAINAGE** The ground surface and paving around buildings must be graded or drained so that no water ponds directly beside or near footings. At least 100mm fall should be provided over the first two metres from external walls. *AG* drains should be provided around the high side of houses on sloping sites.

**BRICKWORK** Both external and internal brickwork must be articulated for *Class M* and *Class H* site classifications, by the use of full-height (footing to eaves) openings or vertical expansion joints at a spacing of from 7 to 10 metres, depending on the severity of seasonal heave expected. The closest spacing is to be adopted on *Class H* sites. Articulation can be achieved by using full-height doors/windows or using flexible cladding over/under. Expansion joints can be hidden behind downpipes.

Sloping sites pose a particular problem due to the construction disrupting natural moisture flows, leading to drying of clay soils on the lower side of housing. This effect is worse if the ground slopes northwards and drying effects from the sun are greatest. The provision of brickwork control joints along the side walls will help to reduce the effects of movement.

Arched openings and brittle forms of brick and masonry blocks should be avoided where possible.

**SERVICE PIPING** For *Class M* and *Class H* sites, movement-tolerant joints should be incorporated into drainage and sewerage piping where they enter housing. Plastic piping should be used wherever possible for drainage and sewerage purposes.

Service piping trenches located beside housing should be offset a horizontal distance *at least* equal to their depth. For reduced offsets, special backfilling procedures may be required.

The trenches of deep sewers and drains servicing a number of lots may necessitate greater housing offsets or special foundation treatment to guard against their possible greater extent of soil drying. The presence of all services on this and adjacent sites should be determined and their effect on the proposed footings considered.

**TREE AND SHRUB PLANTING** Single trees and large shrubs should not exist or be planted closer to housing than 0.5 to 1 times their *mature* height, while trees in a row or dense groups should not be closer than 1 to 1.5 times their *mature* height. The greater tree planting set-back from housing is required at clay sites with low-moderate seasonal heave potential, where large paved areas surround housing, or where relatively shallow bedrock exists.

If trees are to remain, then special footing design or root barriers will be required.

**MULTIPLE FOOTING TYPES** When housing is supported by multiple footings, full-height openings (footing to eaves) of expansion joints should be provided. This applies also to wing walls.

**STABLE (CLASS S) CLASSIFIED CLAY SITES** Articulation of footings is not necessary. However the likelihood of tree and shrub drying settlements at their locations with respect to housing is essential. Site drainage should be followed.

Irrelevant / Sensitive

ing, full-height systems. This

not necessary. control of their settlements should be

### SLAB FOOTINGS

- stiffening beams must be continuous across the full slab width to ensure effectiveness.
- edge beams and heavily loaded internal beams should be constructed on *natural* soil/rock.
- brick wing walls and fences must be articulated at their junction with the house by either full-height openings or expansion vertical joints.
- a 1.2m length of *F11TM* (3 main wires) must be placed diagonally across all re-entrant corners.
- slab cracking due to concrete shrinkage is inevitable. It commonly occurs adjoining the internal beams in the slab panels and across the corners of the slab. There is no evidence to suggest that this type of cracking will affect the long-term structural slab performance. Because it can continue for up to 18 months, this should be considered in tile laying procedures.

**VARYING SOIL TYPES** Footings should be ideally constructed on a uniform soil over the house area. In some cases, footings can be designed for varying foundation soils and this would apply particularly to slab footings. Strip footings are less able to cope with varying soil conditions.

If some strip/stump footings are constructed on weathered rock, then *all* footings should be taken to similar material unless special articulation is provided.

**WEATHER EFFECTS** Excessive wetting or drying (cracking) of foundation soils should not be permitted prior to the pouring of concrete.

**EXCAVATIONS** The sides of excavations through surface very sandy soils and/or filling may be unstable. The presence of boulders and rock may also lead to *overbreak* of footing excavations and a subsequent increase in concrete quantities.

**FILLING** Care has been taken to identify any filling on this site. A check should be made with all relevant authorities to obtain any records of filling. If any doubt exists on site at the time of construction, then this office should be contacted for further advice.



# SEVEN YEAR Guarantee

ON DOMESTIC BUILDING WORK



CERTIFICATE OF GUARANTEE STATUS OF DOMESTIC BUILDING WORK  
FORM 10 — HOUSE CONTRACTS GUARANTEE (AMENDMENT) REGULATIONS 1990

\*\*\*\*\*515  
\* ORIGINAL \*  
\*\*\*\*\*

THIS CERTIFICATE RELATES TO LAND AT: LOT 1 NEPEAN HIGHWAY  
MCCRAE

IN THE MUNICIPALITY OF: FLINDERS — SHIRE —  
Jennings Group Ltd

HGF APPROVAL NO: M0252

IN RELATION TO THE FOLLOWING DOMESTIC BUILDING WORK:

1. The builder HAS notified Housing Guarantee Fund Ltd of an application under Section 23(3) of the Building Control Act 1981 for building approval to perform domestic building work.
2. The builder HAS notified Housing Guarantee Fund Ltd of having entered into a domestic building work contract namely  
to carry out construction of residence.
3. A guarantee IS in force provided the contract is completed.
4. HGF HAS NOT received a complaint in respect of the above work.

GUARANTEE NUMBER: 426871

COMMENCEMENT DATE: 27/11/91

Irrelevant / Sensitive

EXPIRY DATE: 26/11/98

REGISTRAR: M. F. NUGENT

DATE ISSUED: 4/12/91

Housing Guarantee Fund Ltd 478 Albert Street East Melbourne 3002 Phone: (03) 663 5300 Fax: (03) 663 3358

COUNCIL COPY

OUR REFERENCE MJS:MW : 426871  
YOUR REFERENCE

JENNINGS GROUP LTD  
2-8 HARLO PLACE  
HALLAM

J & A RADCLIFFE  
607-609 NEPEAN HIGHWAY  
MCCRAE

3803

3938



3353411



VICTORIA.

/ Entered in the Register Book

Vol. 100

1a 503

# Certificate of Title

UNDER THE "TRANSFER OF LAND ACT 1928."

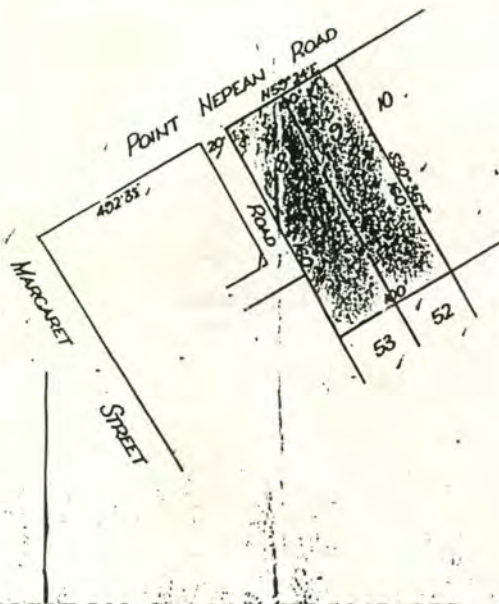
Henry Pritchard Higginson of 29 Reid Street Balwyn Secretary is - - -  
 now the proprietor of an Estate in Fee-simple, subject to the Encumbrances  
 notified hereunder in *All that* piece of Land, delineated and col-  
 ored on the map in the margin being Lots 8 and 9 on Plan of Subdivision No. 116  
 lodged in the Office of Titles and being part of Crown Portion One Section B  
 Parish of Wannaeus County of Mornington - - - - -

Dated the *Twenty-third* day of *April*  
*thousand nine hundred and thirty-four*

Irrelevant / Sensitive

Assistant Registrar of Titles.

ENCUMBRANCES REFERRED





Transfer. 1546686.

Commonwealth Bank of Australia registered

may 1938 numbered 75125

Assistant Registrar of Titles

George James Walker of Rosebud Investor  
now the proprietor of the within described estate by  
transfer effected on 17th June 1938  
and numbered 169/24 H.M. 120

Assistant Registrar of Titles

Mabel Eleanor Grundall of  
12 Stanhope Grove Camberwell Married  
Woman is  
now the proprietor of the within described estate by  
transfer registered on 22nd December 1942  
and numbered 1874711.

Assistant Registrar of Titles

MORTGAGE to

National Bank Limited registered

1992 numbered 82602

JOHN W. WOOD

Assistant Registrar of Titles

Marion Edith Clara Grundall of 12 Stanhope  
Grove Camberwell Married Woman is  
now the proprietor of the within described estate by  
transfer registered on 24th December 1943  
and numbered 1903821

Assistant Registrar of Titles

# MEMORANDUM

The ~~London~~ <sup>Peninsula</sup> National Bank Limited  
registered

numbered 873559

Assistant Registrar of Titles

MORTGAGE

Bank of

Irrelevant / Sensitive

**MORTGAGED**

to ROY AUGUST 11

Regd. No. 60789  
FEB 18 1968

No. D2925

MICHAEL JOHN HOMER COLL

Director is now the pro...

Registered 18th December

No. H807791

JOSEPH RADCLIFFE 1871-1934

RADCLIFFE Household

are now proprietors

Registered 14th Jan.

No. H831576

# MORTGAGE

Registered 14 Feb 1961  
No. H831577

# MORTGAGE

to BEN.

Registered 17th February

No. K268088

Discharge being the 27th



## PLAN OF SUBDIVISION

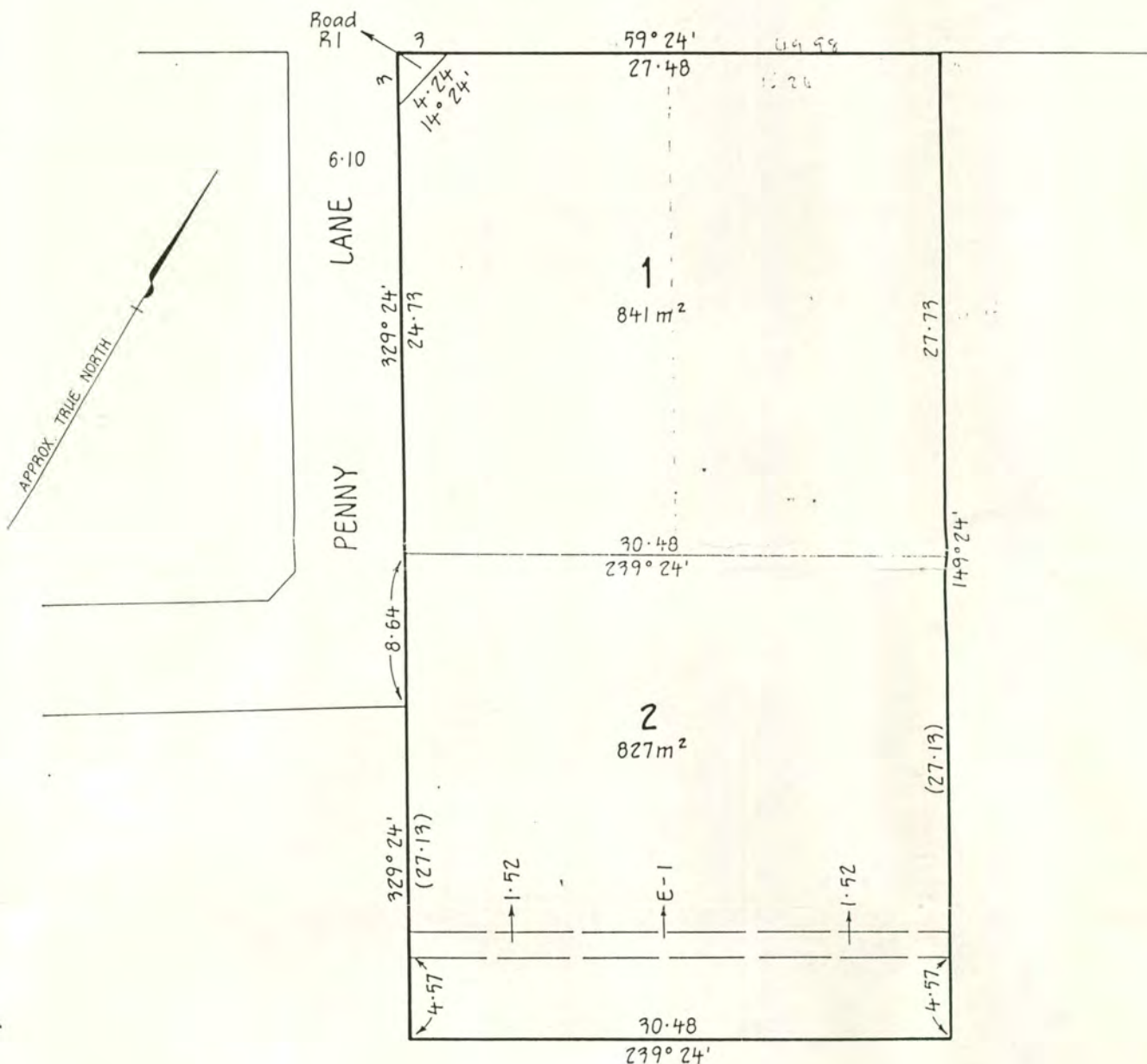
STAGE No.

PLAN NUMBER

PS 310930 Y

NEPEAN

HIGHWAY

**WATSONS PTY. LTD.**

LICENSED SURVEYORS

5 MAIN STREET, MORNINGTON 3931 PH. (059) 75 4644

2.5 0 2.5 5.0 7.5 10 12.5  
LENGTHS ARE IN METRES

ORIGINAL

SCALE

1:250

SHEET

SIZE

A3

LICENSED SURVEYOR (PRINT) Ian Thomas Muir

SIGNATURE

Irrelevant / Sensitive

DATE 5/6/91

REF 29188

VERSION 1

SHEET 2 OF 2 SHEETS

DATE

COUNCIL DELEGATE SIGNATURE



BA. NO: 228337

MEMORANDUM TO : ENGINEER

FROM : DEVELOPMENT APPROVALS SECTION

PROPERTY ADDRESS : 607 Nepean Hwy  
McCraeDATE : 12/12/91

Could you please check computations?

COMMENTS:

*approved*  
*for coupled refers*  
*at 600 etc*  
*4800 span*

Irrelevant / Sensitive



**M. R. ANDERSON  
& ASSOCIATES PTY. LTD.**

CONSULTING ENGINEERS

61 OXFORD STREET, COLLINGWOOD VIC. 3066 PHONE (03) 419 2800 FAX (03) 419 9940

## Structural Computations

APPROVED BY THE CITY OF FLINDERS  
This approval is given subject to compliance with the  
provisions of the Victoria Building Regulations 1983  
and the Building Control Act 1981.

Date **1 JUN 1992**

Irrelevant / Sensitive

**Re :** Coupled Rafter for the  
Broadway 200

Signed

R. J. SIMPSON  
DEVELOPMENT APPROVAL

ORDINATOR

NOTE:

Where a planning permit is required under the provisions of the Planning & Environment Act 1987, no works authorised by this approval may commence prior to the grant of such permit.

**Client :** A.V.Jennings (Homes)



## COMPUTATIONS

JOB

Broadway 200.

SHEET No. 1

JOB No. 3567

DATE. 30/8/91

ENG. VG

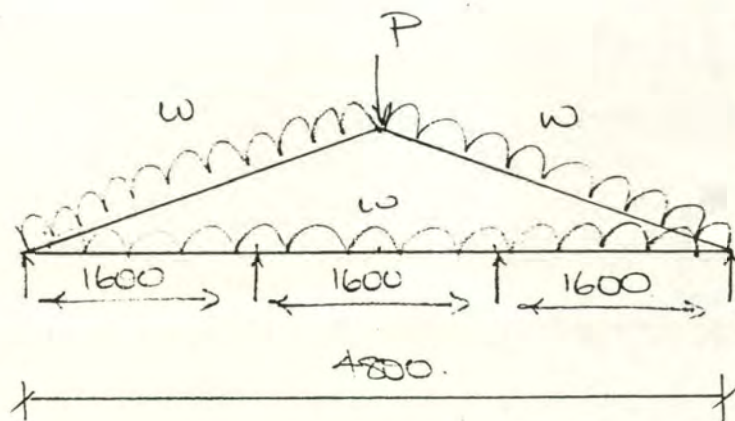


M. R. ANDERSON &amp; ASSOCIATES PTY. LTD.

61-63 OXFORD STREET, COLLINGWOOD VIC. 3066

CONSULTING ENGINEERS

TELEPHONE (03) 419 2800. FAX (03) 419 9940

Check coupled rafters.RL

$$\underline{DL} \quad 0.6 \times 0.68 = 0.41$$

$$\underline{LL} \quad 0.6 \times 0.42 = 0.25 \text{ kN/m}$$

CL

$$\underline{DL} \quad 0.6 \times 0.19 = 0.114 \text{ kN/m}$$

P/

$$\underline{DL} \quad 1.2 \times 2.4 \times 0.68 = 1.96$$

$$\underline{LL} \quad 1.2 \times 2.4 \times 0.42 = 1.21 \text{ kN}$$

Analysis using HFrame $\Rightarrow$  Consider member (4)

$$M = 0.54 \Rightarrow f_b = 0.54 / (2 \times 0.09) = \underline{3.0 \text{ MPa}}$$

$$C = 8.14 \rightarrow f_{ac} = 8.14 / (2 \times 4.27) = \underline{0.95 \text{ MPa}}$$

## COMPUTATIONS

JOB

Broadway 200

SHEET No. 2  
 JOB No. 3567  
 DATE 30/8/91  
 ENG. VB



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CONSULTING ENGINEERS

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$$F_{ac} = 1.65 \times 6.6 \times 0.35 = 3.8 \text{ kN}$$

$$F_b = 1.65 \times 8.6 \times 0.53 = 7.52$$

$$\frac{3.0}{7.52} + \frac{0.95}{3.8} = 0.65 < 1.0.$$

Consider Member (1)

$$M = 0.038 \quad f_b = 0.038 / 0.055 = 0.69 \text{ MPa}$$

$$T = 7.45 \quad f_{at} = 7.45 / 3.395 = 2.20 \text{ MPa}$$

$$F_{at} = 1.65 \times 5.2 = 8.6$$

$$0.6 \times 0.69 + 2.2 = 2.61 < 8.6 \text{ MPa} \Rightarrow \text{OK}$$

$$\text{Check def}^n \quad \delta_{3DL} = 7.3 \text{ mm} \Rightarrow \text{OK.}$$

Consider def<sup>n</sup> of member (1)

$$\text{Consider SS} \quad \delta_{3DL} = 1.2 \Rightarrow 1/1330 \Rightarrow \text{OK}$$

ADOPT 2/125 x 38 F8 H/W Coupled Rafters  
1/100 x 38 Ceiling Joist

Connection Try IM16  $T = 7.45 \text{ kN}$ .

$$J3 \quad t = 35 \text{ mm} \quad Q_a' = 3.2.$$

$$T_{\text{Allow}} = 1.35 \times 2 \times 3.2 = 8.64 \text{ kN} \Rightarrow \text{OK}$$

ADOPT IM16 at connection b/w top +  
 bottom of side



## COMPUTATIONS

SHEET No. 3.  
JOB No. 327  
DATE 30/8/91  
ENG. VG

JOB

Broadway 200

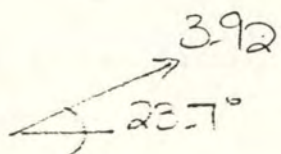
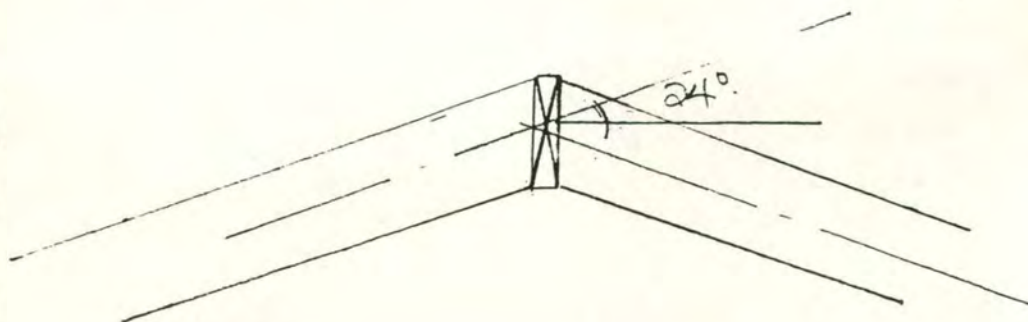


M. R. ANDERSON &amp; ASSOCIATES PTY. LTD.

61-63 OXFORD STREET, COLLINGWOOD VIC. 3066

CONSULTING ENGINEERS

TELEPHONE (03) 419 2800. FAX (03) 419 9940

Check Apex Connection

1.58 kN.  $\Rightarrow$  Tie-L-grip  
rafters to ridge beam.

```

*****
*
*                               HFRAME - STRUCTURAL ANALYSIS PACKAGE - Ver 3.10
*                               by ENGSOFT COMPUTER CONSULTANTS
*                               Licensed to M.R. ANDERSON & ASSOCIATES
*
*****

```

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COUPLED RAFTERS

24/08/1991, 22:06 Page 1

Node coordinates:

| Node<br>number | X        | Y       | Z     |
|----------------|----------|---------|-------|
| 1              | 0.000    | 0.000   | 0.000 |
| 2              | 1600.000 | 0.000   | 0.000 |
| 3              | 3200.000 | 0.000   | 0.000 |
| 4              | 4800.000 | 0.000   | 0.000 |
| 5              | 1400.000 | 800.000 | 0.000 |

Material properties:

| Material<br>number | Area        | E           | G           | IX          | IY          | IZ          |
|--------------------|-------------|-------------|-------------|-------------|-------------|-------------|
| 1                  | 4.37000E+03 | 7.90000E+03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 5.17000E+04 |
| 2                  | 3.35500E+03 | 7.90000E+03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 2.56000E+06 |

Element connectivity:

| Element<br>number | Material<br>number | Node number<br>1 | Node number<br>2 | Angle of roll |
|-------------------|--------------------|------------------|------------------|---------------|
| 1                 | 2                  | 1                | 2                | 0.00000E+00   |
| 2                 | 2                  | 1                | 3                | 0.00000E+00   |
| 3                 | 2                  | 3                | 4                | 0.00000E+00   |
| 4                 | 1                  | -1               | -5               | 0.00000E+00   |
| 5                 | 1                  | -4               | -5               | 0.00000E+00   |

Node restraints:

| Node<br>Number | X | Y | Z | Rx | Ry | Rz | Value       |
|----------------|---|---|---|----|----|----|-------------|
| 1              | Y | Y |   |    |    |    | 0.00000E+00 |
| 2              |   | Y |   |    |    |    | 0.00000E+00 |
| 3              |   | Y |   |    |    |    | 0.00000E+00 |
| 4              |   | Y |   |    |    |    | 0.00000E+00 |



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COUPLED RAFTERS

24/08/1991, 21:06 Page: 2

## Node loads:

| Node<br>number | Load<br>class | Forces      |              |             | Moments     |             |             |
|----------------|---------------|-------------|--------------|-------------|-------------|-------------|-------------|
|                |               | X           | Y            | Z           | X           | Y           | Z           |
| 5              | DL            | 0.00000E+00 | -1.96000E+03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| 5              | LL            | 0.00000E+00 | -1.21000E+03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |

## Element loads:

| Element<br>number | Length   | Load<br>class | W1     | W2     | X1    | X2       | Angle   | Direction |
|-------------------|----------|---------------|--------|--------|-------|----------|---------|-----------|
| 4                 | 2529.822 | DL            | -0.410 | -0.410 | 0.000 | 2529.822 | 71.565  | Y         |
| 5                 | 2529.822 | DL            | 0.410  | 0.410  | 0.000 | 2529.822 | 108.435 | Y         |
| 4                 | 2529.822 | LL            | -0.250 | -0.250 | 0.000 | 2529.822 | 71.565  | Y         |
| 5                 | 2529.822 | LL            | 0.250  | 0.250  | 0.000 | 2529.822 | 108.435 | Y         |
| 1                 | 1600.000 | DL            | -0.110 | -0.110 | 0.000 | 1600.000 | 90.000  | Y         |
| 2                 | 1600.000 | DL            | -0.110 | -0.110 | 0.000 | 1600.000 | 90.000  | Y         |
| 3                 | 1600.000 | DL            | -0.110 | -0.110 | 0.000 | 1600.000 | 90.000  | Y         |
| 1                 | 1600.000 | SW            | -0.040 | -0.040 | 0.000 | 1600.000 | 90.000  | Y         |
| 2                 | 1600.000 | SW            | -0.040 | -0.040 | 0.000 | 1600.000 | 90.000  | Y         |
| 3                 | 1600.000 | SW            | -0.040 | -0.040 | 0.000 | 1600.000 | 90.000  | Y         |
| 4                 | 2529.822 | SW            | -0.050 | -0.050 | 0.000 | 2529.822 | 71.565  | Y         |
| 5                 | 2529.822 | SW            | 0.050  | 0.050  | 0.000 | 2529.822 | 108.435 | Y         |

## Load cases:

- 1: DL \* 3 + SW \* 3  
 2: LL \* 1  
 3: DL \* 1 + LL \* 1 + SW \* 1

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COUPLED RAFTERS

24/08/1991, 22:07 Page: 3

\*\*\*\*\*

## Load case # 1

Consists of DL \* 3 + SW \* 3

\*\*\*\*\*

## Node loads applied:

| Node<br>number | Load class |         | F <sub>x</sub> | F <sub>y</sub> | F <sub>z</sub> | M <sub>x</sub> | M <sub>y</sub> | M <sub>z</sub> |
|----------------|------------|---------|----------------|----------------|----------------|----------------|----------------|----------------|
| 5              | DL         | * 3.000 | 0.00000E+00    | -5.88000E+03   | 0.00000E+00    | 0.00000E+00    | 0.00000E+00    | 0.00000E+00    |
|                | TOTAL:     |         | 0.00000E+00    | -5.88000E+03   | 0.00000E+00    | 0.00000E+00    | 0.00000E+00    | 0.00000E+00    |

## Element loads applied:

| Element<br>number | Load class |         | W1     | W2     | X1    | X2       | Angle   | Direction |
|-------------------|------------|---------|--------|--------|-------|----------|---------|-----------|
| 1                 | SW         | * 3.000 | -0.120 | -0.120 | 0.000 | 1600.000 | 90.000  | Y         |
|                   | DL         | * 3.000 | -0.330 | -0.330 | 0.000 | 1600.000 | 90.000  | Y         |
| 2                 | SW         | * 3.000 | -0.120 | -0.120 | 0.000 | 1600.000 | 90.000  | Y         |
|                   | DL         | * 3.000 | -0.330 | -0.330 | 0.000 | 1600.000 | 90.000  | Y         |
| 3                 | DL         | * 3.000 | -0.330 | -0.330 | 0.000 | 1600.000 | 90.000  | Y         |
|                   | SW         | * 3.000 | -0.120 | -0.120 | 0.000 | 1600.000 | 90.000  | Y         |
| 4                 | DL         | * 3.000 | -1.230 | -1.230 | 0.000 | 2529.822 | 71.565  | Y         |
|                   | SW         | * 3.000 | -0.150 | -0.150 | 0.000 | 2529.822 | 71.565  | Y         |
| 5                 | DL         | * 3.000 | 1.230  | 1.230  | 0.000 | 2529.822 | 106.435 | Y         |
|                   | SW         | * 3.000 | 0.150  | 0.150  | 0.000 | 2529.822 | 106.435 | Y         |



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COUPLED RAFTERS

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Summary of results for load case # 1

## Maximum displacements:

| Direction | Value        | Node number |
|-----------|--------------|-------------|
| X         | 2.51570E+00  | 4           |
| Y         | -7.28752E+00 | 5           |
| Z         | 0.00000E+00  | 0           |

| Rotation | Value       | Node number |
|----------|-------------|-------------|
| X        | 0.00000E+00 | 0           |
| Y        | 0.00000E+00 | 0           |
| Z        | 2.19282E-03 | 4           |

## Maximum boundary forces:

| Force | Value        | Node number |
|-------|--------------|-------------|
| X     | -3.05432E-03 | 1           |
| Y     | 6.71915E+03  | 1           |
| Z     | 0.00000E+00  | 0           |

| Moment | Value       | Node number |
|--------|-------------|-------------|
| X      | 0.00000E+00 | 0           |
| Y      | 0.00000E+00 | 0           |
| Z      | 0.00000E+00 | 0           |

## Maximum element forces:

| Material number | Tension     | Compression | Shear Fy    | Shear Fz    | Mx          | My          | Mz           |
|-----------------|-------------|-------------|-------------|-------------|-------------|-------------|--------------|
| 1               | 0.00000E+00 | 1.53691E+04 | 1.65600E+03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00  |
| El #            | 0           | 5           | 4           | 0           | 0           | 0           | 0            |
| 2               | 1.40567E+04 | 0.00000E+00 | 4.32000E+02 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | -1.15200E+03 |
| El #            | 1           | 0           | 1           | 0           | 0           | 0           | 1            |

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COUPLED RAFTERS

24/08/1991, 22:08 Page: 3

Results for load case 1

## Element forces:

| Element<br>number | Node<br>number | Fx           | Fy           | Fz          | Mx          | My          | Rz           |
|-------------------|----------------|--------------|--------------|-------------|-------------|-------------|--------------|
| 1                 | 1              | -1.40567E+04 | 2.88000E-02  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 7.81250E-03  |
|                   | 2              | 1.40567E+04  | 4.32000E+02  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | -1.15200E-03 |
| 2                 | 2              | -1.40567E+04 | 3.60000E-02  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 1.15200E-03  |
|                   | 3              | 1.40567E+04  | 3.60000E+02  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | -1.15200E-03 |
| 3                 | 3              | -1.40567E+04 | 4.32000E+02  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 1.15200E-03  |
|                   | 4              | 1.40567E+04  | 2.88000E+02  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 7.81250E-03  |
| 4                 | 1              | 1.53691E+04  | 1.65600E+03  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00  |
|                   | 5              | -1.42651E+04 | 1.65600E+03  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00  |
| 5                 | 4              | 1.53691E+04  | -1.65600E+03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00  |
|                   | 5              | -1.42651E+04 | -1.65600E+03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00  |

## Node displacements

| Node<br>number | X           | Y            | Z           | Rx          | Ry          | Rz           |
|----------------|-------------|--------------|-------------|-------------|-------------|--------------|
| 1              | 0.00000E+00 | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | -2.19282E-03 |
| 2              | 8.36567E-01 | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 7.30941E-04  |
| 3              | 1.67713E+00 | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | -7.30941E-04 |
| 4              | 2.51570E+00 | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 2.19282E-03  |
| 5              | 1.25785E+00 | -7.28752E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00  |

## Boundary forces:

| Node<br>number | Fx           | Fy          | Fz          | Mx          | My          | Rz          |
|----------------|--------------|-------------|-------------|-------------|-------------|-------------|
| 1              | -3.05432E-03 | 6.71915E-03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| 2              | 0.00000E+00  | 7.92000E+02 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| 3              | 0.00000E+00  | 7.92000E+02 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| 4              | 0.00000E+00  | 6.71915E-03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |



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COUPLED RAFTERS

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\*\*\*\*\*

## Load case # 2

Consists of LL # 1

\*\*\*\*\*

Node loads applied:

| Node<br>number | Load class |         | Fx          | Fy           | Fz          | Mx          | My          | Mz          |
|----------------|------------|---------|-------------|--------------|-------------|-------------|-------------|-------------|
| 5              | LL         | * 1.000 | 0.00000E+00 | -1.21000E-03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| TOTAL:         |            |         | 0.00000E+00 | -1.21000E-03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |

Element loads applied:

| Element<br>number | Load class |         | W1     | W2     | X1    | X2       | Angle   | Direction |
|-------------------|------------|---------|--------|--------|-------|----------|---------|-----------|
| 4                 | LL         | * 1.000 | -0.250 | -0.250 | 0.000 | 2529.822 | 71.565  | Y         |
| 5                 | LL         | * 1.000 | 0.250  | 0.250  | 0.000 | 2529.822 | 108.435 | Y         |

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COUPLED RAFTERS

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Summary of results for load case # 2

## Maximum displacements:

| Direction | Value        | Node number |
|-----------|--------------|-------------|
| X         | 4.94510E-01  | 4           |
| Y         | -1.43279E+00 | 5           |
| Z         | 0.00000E+00  | 0           |

## Maximum boundary forces:

| Force | Value        | Node number |
|-------|--------------|-------------|
| X     | -7.55310E-04 | 1           |
| Y     | 1.23746E-03  | 1           |
| Z     | 0.00000E+00  | 0           |

| Rotation | Value       | Node number |
|----------|-------------|-------------|
| X        | 0.00000E+00 | 0           |
| Y        | 0.00000E+00 | 0           |
| Z        | 0.00000E+00 | 0           |

| Moment | Value       | Node number |
|--------|-------------|-------------|
| X      | 0.00000E+00 | 0           |
| Y      | 0.00000E+00 | 0           |
| Z      | 0.00000E+00 | 0           |

## Maximum element forces:

| Material number | Tension     | Compression | Shear Fx    | Shear Fz    | Mx          | My          | Mz          |
|-----------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|
| 1               | 0.00000E+00 | 3.01318E+03 | 3.00000E+02 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| El #            | 0           | 5           | 4           | 0           | 0           | 0           | 0           |
| 2               | 1.76368E-03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| El #            | 1           | 0           | 0           | 0           | 0           | 0           | 0           |



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COUPLED RAFTERS

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Results for load case 2

## Element forces:

| Element<br>number | Node<br>number | Fx           | Fy           | Fz          | Mx          | My          | Mz          |
|-------------------|----------------|--------------|--------------|-------------|-------------|-------------|-------------|
| 1                 | 1              | -2.76368E+03 | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
|                   | 2              | 2.76368E+03  | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| 2                 | 2              | -2.76368E+03 | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
|                   | 3              | 2.76368E+03  | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| 3                 | 3              | -2.76368E+03 | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
|                   | 4              | 2.76368E+03  | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| 4                 | 1              | 3.01318E+03  | 3.00000E+02  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
|                   | 5              | -2.81318E+03 | 3.00000E+02  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| 5                 | 4              | 3.01318E+03  | -3.00000E+02 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
|                   | 5              | -2.81318E+03 | -3.00000E+02 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |

## Node displacements

| Node<br>number | X           | Y            | Z           | Fx          | Fy          | Fz          |
|----------------|-------------|--------------|-------------|-------------|-------------|-------------|
| 1              | 0.00000E+00 | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| 2              | 1.64970E-01 | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| 3              | 3.29740E-01 | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| 4              | 4.94610E-01 | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| 5              | 2.47305E-01 | -1.43279E-00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |

## Boundary forces:

| Node<br>number | Fx           | Fy          | Fz          | Mx          | My          | Mz          |
|----------------|--------------|-------------|-------------|-------------|-------------|-------------|
| 1              | -7.55310E-04 | 1.23746E+03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| 2              | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| 3              | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| 4              | 0.00000E+00  | 1.23746E+03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |

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COUPLED RAFTERS

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\*\*\*\*\*  
Load case # 3

Consists of DL \* 1 + LL \* 1 + SW \* 1

\*\*\*\*\*

## Node loads applied:

| Node<br>number | Load class |         | Fx          | Fy           | Fz          | Mx          | My          | Mz          |
|----------------|------------|---------|-------------|--------------|-------------|-------------|-------------|-------------|
| 5              | DL         | * 1.000 | 0.00000E+00 | -1.96000E+03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
|                | LL         | * 1.000 | 0.00000E+00 | -1.21000E+03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
|                | TOTAL:     |         | 0.00000E+00 | -3.17000E+03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |

## Element loads applied:

| Element<br>number | Load class |         | W1     | W2     | X1    | X2       | Angle   | Direction |
|-------------------|------------|---------|--------|--------|-------|----------|---------|-----------|
| 1                 | SW         | * 1.000 | -0.040 | -0.040 | 0.000 | 1600.000 | 90.000  | Y         |
|                   | DL         | * 1.000 | -0.110 | -0.110 | 0.000 | 1600.000 | 90.000  | Y         |
| 2                 | SW         | * 1.000 | -0.040 | -0.040 | 0.000 | 1600.000 | 90.000  | Y         |
|                   | DL         | * 1.000 | -0.110 | -0.110 | 0.000 | 1600.000 | 90.000  | Y         |
| 3                 | DL         | * 1.000 | -0.110 | -0.110 | 0.000 | 1600.000 | 90.000  | Y         |
|                   | SW         | * 1.000 | -0.040 | -0.040 | 0.000 | 1600.000 | 90.000  | Y         |
| 4                 | DL         | * 1.000 | -0.410 | -0.410 | 0.000 | 2529.822 | 71.848  | Y         |
|                   | SW         | * 1.000 | -0.050 | -0.050 | 0.000 | 2529.822 | 71.848  | Y         |
|                   | LL         | * 1.000 | -0.250 | -0.250 | 0.000 | 2529.822 | 71.848  | Y         |
| 5                 | LL         | * 1.000 | 0.250  | 0.250  | 0.000 | 2529.822 | 118.478 | Y         |
|                   | DL         | * 1.000 | 0.410  | 0.410  | 0.000 | 2529.822 | 118.478 | Y         |
|                   | SW         | * 1.000 | 0.050  | 0.050  | 0.000 | 2529.822 | 118.478 | Y         |



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COUPLED RAFTERS

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Summary of results for load case # 3

## Maximum displacements:

| Direction | Value        | Node number |
|-----------|--------------|-------------|
| X         | 1.33318E-00  | 4           |
| Y         | -3.86197E-00 | 5           |
| Z         | 0.00000E-00  | 0           |

| Rotation | Value        | Node number |
|----------|--------------|-------------|
| X        | 0.00000E+00  | 0           |
| Y        | 0.00000E+00  | 0           |
| Z        | -7.30941E-04 | 1           |

## Maximum boundary forces:

| Force | Value        | Node number |
|-------|--------------|-------------|
| X     | -2.01756E-03 | 1           |
| Y     | 3.47717E+03  | 1           |
| Z     | 0.00000E+00  | 0           |

| Moment | Value       | Node number |
|--------|-------------|-------------|
| X      | 0.00000E+00 | 0           |
| Y      | 0.00000E+00 | 0           |
| Z      | 0.00000E+00 | 0           |

## Maximum element forces:

| Material<br>number | Tension     | Compression | Shear Fy    | Shear Fz    | Mx          | My          | Mz          |
|--------------------|-------------|-------------|-------------|-------------|-------------|-------------|-------------|
| 1                  | 0.00000E+00 | 3.15621E+03 | 8.52000E+02 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| El #               | 0           | 5           | 4           | 0           | 0           | 0           | 0           |
| 2                  | 7.44926E-03 | 0.00000E+00 | 1.44000E+02 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 3.84000E-04 |
| El #               | 1           | 0           | 1           | 0           | 0           | 0           | 2           |

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Results for load case 3

## Element forces:

| Element<br>number | Node<br>number | Fx           | Fy           | Fz          | Mx          | My          | Mz           |
|-------------------|----------------|--------------|--------------|-------------|-------------|-------------|--------------|
| 1                 | 1              | -7.44926E+03 | 9.60000E+01  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | -9.76563E-04 |
|                   | 2              | 7.44926E+03  | 1.44000E+02  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | -3.84000E-04 |
| 2                 | 1              | -7.44926E+03 | 1.20000E+02  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 3.84000E-04  |
|                   | 3              | 7.44926E+03  | 1.20000E+02  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | -3.84000E-04 |
| 3                 | 3              | -7.44926E+03 | 1.44000E+02  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 3.84000E-04  |
|                   | 4              | 7.44926E+03  | 9.60000E+01  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 9.76563E-04  |
| 4                 | 1              | 8.13521E+03  | 8.32000E+02  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00  |
|                   | 5              | -7.56832E+03 | 8.32000E+02  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00  |
| 5                 | 4              | 8.13521E+03  | -8.32000E+02 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00  |
|                   | 5              | -7.56832E+03 | -8.32000E+02 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00  |

## Node displacements

| Node<br>number | X           | Y            | Z           | Rx          | Ry          | Rz           |
|----------------|-------------|--------------|-------------|-------------|-------------|--------------|
| 1              | 0.00000E+00 | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | -7.31741E-04 |
| 2              | 4.44392E-01 | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 2.43547E-04  |
| 3              | 8.88784E-01 | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | -2.43547E-04 |
| 4              | 1.33318E+00 | 0.00000E+00  | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 7.31741E-04  |
| 5              | 6.66588E-01 | -3.86197E-01 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00  |

## Boundary forces:

| Node<br>number | Fx           | Fy          | Fz          | Mx          | My          | Mz          |
|----------------|--------------|-------------|-------------|-------------|-------------|-------------|
| 1              | -2.01736E+03 | 3.47717E+03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| 2              | 0.00000E+00  | 2.54000E+02 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| 3              | 0.00000E+00  | 2.54000E+02 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |
| 4              | 0.00000E+00  | 3.47717E+03 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 | 0.00000E+00 |



TABLE 26

## GARAGE ROOF STRUTTING BEAMS

DESIGNED TO  
DEFLECTION LIMITSAS 1720  
D.L.  
SPAN/300  
OR 20 mmL.L.  
SPAN/300  
OR 12.5 mm

| TILE ROOF AND CEILING (90 kg/m <sup>2</sup> ) |                       |     |     |     |     |     |     |     |     |     |     |     |
|---|-----------------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| HYSpan<br>SECTION<br>D X B<br>(mm)            | EFFECTIVE SPACING (m) |     |     |     |     |     |     |     |     |     |     |     |
|   | 0.9                   | 1.2 | 1.5 | 1.8 | 2.1 | 2.4 | 2.7 | 3.0 | 3.3 | 3.6 | 3.9 | 4.2 |
|   | MAXIMUM SPACE (m)     |     |     |     |     |     |     |     |     |     |     |     |
| 240 X 63                                      | 5.2                   | 4.8 | 4.5 | 4.2 | 4.0 | 3.8 | 3.7 | 3.6 | 3.5 | 3.4 | 3.3 | 3.2 |
| 300 X 45                                      | 5.8                   | 5.3 | 5.0 | 4.7 | 4.5 | 4.3 | 4.1 | 4.0 | 3.9 | 3.8 | 3.7 | 3.6 |
| 300 X 63                                      | 6.3                   | 5.9 | 5.5 | 5.2 | 5.0 | 4.8 | 4.6 | 4.5 | 4.3 | 4.2 | 4.1 | 4.0 |
| 2/ 300 X 45*                                  | 6.8                   | 6.4 | 6.1 | 5.8 | 5.6 | 5.3 | 5.2 | 5.0 | 4.8 | 4.7 | 4.6 | 4.5 |
| 360 X 45                                      | 6.7                   | 6.3 | 6.0 | 5.6 | 5.4 | 5.1 | 5.0 | 4.8 | 4.6 | 4.5 | 4.4 | 4.3 |
| 360 X 63                                      | 7.2                   | 6.8 | 6.4 | 6.2 | 6.0 | 5.7 | 5.5 | 5.3 | 5.2 | 5.0 | 4.9 | 4.8 |
| 2/ 360 X 45*                                  | 7.8                   | 7.3 | 7.0 | 6.7 | 6.5 | 6.3 | 6.1 | 6.0 | 5.8 | 5.6 | 5.5 | 5.4 |
| 400 X 45                                      | 7.2                   | 6.8 | 6.4 | 6.2 | 5.9 | 5.7 | 5.5 | 5.3 | 5.2 | 5.0 | 4.9 | 4.8 |
| 400 X 63                                      | 7.8                   | 7.3 | 7.0 | 6.7 | 6.4 | 6.3 | 6.1 | 5.9 | 5.7 | 5.6 | 5.4 | 5.3 |
| 2/ 400 X 45*                                  | 8.3                   | 7.9 | 7.5 | 7.2 | 7.0 | 6.8 | 6.6 | 6.4 | 6.3 | 6.2 | 6.1 | 5.9 |
| 450 X 63                                      | 8.4                   | 8.0 | 7.6 | 7.3 | 7.0 | 6.8 | 6.6 | 6.5 | 6.3 | 6.2 | 6.1 | 6.0 |
| 2/ 450 X 63*                                  | 9.6                   | 9.1 | 8.7 | 8.4 | 8.2 | 8.0 | 7.8 | 7.6 | 7.4 | 7.3 | 7.1 | 7.0 |

\* SIZE BUILT UP BY VERTICAL NAIL LAMINATION. See page 7.

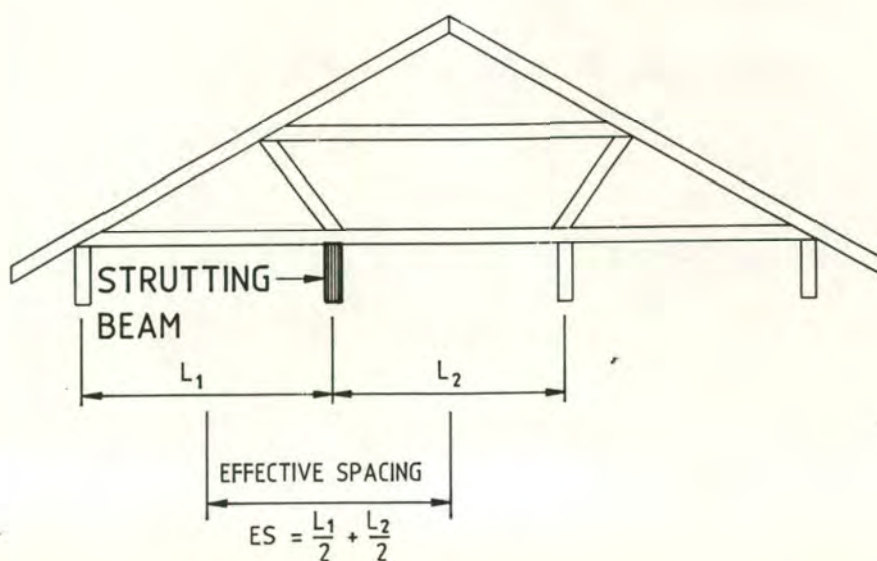




TABLE 28

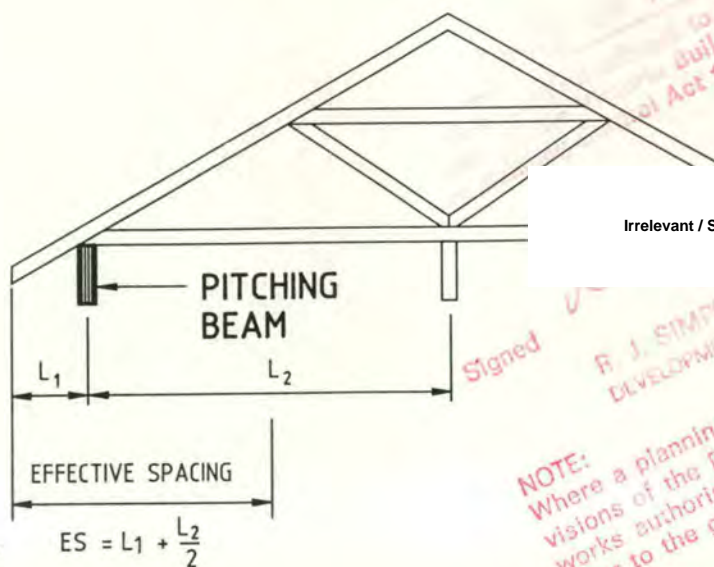
## GARAGE ROOF PITCHING BEAMS

Single Span

DESIGNED TO  
DEFLECTION LIMITSAS 1720  
D.L.  
SPAN/300  
OR 15 mmL.L.  
SPAN/300  
OR 12.5 mm

| TILE ROOF AND CEILING (90 kg/m <sup>2</sup> ) |                            |     |     |     |     |     |     |     |     |     |     |     |
|---|----------------------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|
| HYSpan<br>SECTION<br>D X B<br>(mm)            | EFFECTIVE SPACING 'ES' (m) |     |     |     |     |     |     |     |     |     |     |     |
|   | 0.9                        | 1.2 | 1.5 | 1.8 | 2.1 | 2.4 | 2.7 | 3.0 | 3.3 | 3.6 | 3.9 | 4.2 |
|   | MAXIMUM SPAN (m)           |     |     |     |     |     |     |     |     |     |     |     |
| 170 X 45                                      | 3.3                        | 3.0 | 2.8 | 2.7 | 2.5 | 2.4 | 2.3 | 2.2 | 2.1 | 2.1 | 2.0 | 2.0 |
| 200 X 36                                      | 3.6                        | 3.3 | 3.0 | 2.9 | 2.8 | 2.6 | 2.5 | 2.5 | 2.4 | 2.3 | 2.3 | 2.2 |
| 200 X 45                                      | 3.9                        | 3.5 | 3.3 | 3.1 | 3.0 | 2.8 | 2.7 | 2.6 | 2.6 | 2.5 | 2.4 | 2.4 |
| 200 X 63                                      | 4.3                        | 3.9 | 3.7 | 3.5 | 3.3 | 3.2 | 3.0 | 2.9 | 2.9 | 2.8 | 2.7 | 2.6 |
| 240 X 45                                      | 4.6                        | 4.2 | 4.0 | 3.7 | 3.6 | 3.4 | 3.3 | 3.2 | 3.1 | 3.0 | 3.0 | 2.8 |
| 240 X 63                                      | 5.0                        | 4.7 | 4.4 | 4.2 | 4.0 | 3.8 | 3.6 | 3.5 | 3.4 | 3.3 | 3.2 | 3.2 |
| 300 X 45                                      | 5.4                        | 5.1 | 4.8 | 4.6 | 4.4 | 4.2 | 4.1 | 3.9 | 3.8 | 3.7 | 3.6 | 3.5 |
| 300 X 63                                      | 5.8                        | 5.5 | 5.2 | 5.0 | 4.8 | 4.7 | 4.5 | 4.4 | 4.3 | 4.1 | 4.0 | 4.0 |
| 2/ 300 X 45*                                  | 6.3                        | 5.9 | 5.6 | 5.4 | 5.2 | 5.1 | 4.9 | 4.8 | 4.7 | 4.6 | 4.5 | 4.4 |
| 360 X 45                                      | 6.2                        | 5.8 | 5.5 | 5.3 | 5.1 | 4.9 | 4.8 | 4.7 | 4.6 | 4.5 | 4.3 | 4.2 |
| 360 X 63                                      | 6.7                        | 6.3 | 5.9 | 5.7 | 5.5 | 5.3 | 5.2 | 5.1 | 5.0 | 4.8 | 4.7 | 4.7 |
| 2/ 360 X 45*                                  | 7.1                        | 6.8 | 6.4 | 6.2 | 6.0 | 5.8 | 5.6 | 5.6 | 5.4 | 5.3 | 5.2 | 5.1 |
| 400 X 45                                      | 6.7                        | 6.3 | 5.9 | 5.7 | 5.5 | 5.3 | 5.2 | 5.0 | 4.9 | 4.8 | 4.7 | 4.7 |
| 400 X 63                                      | 7.1                        | 6.7 | 6.4 | 6.2 | 5.9 | 5.8 | 5.6 | 5.5 | 5.3 | 5.2 | 5.1 | 5.0 |
| 2/ 400 X 45*                                  | 7.7                        | 7.3 | 6.9 | 6.7 | 6.4 | 6.3 | 6.1 | 5.9 | 5.8 | 5.7 | 5.6 | 5.5 |
| 450 X 63                                      | 7.8                        | 7.3 | 7.0 | 6.7 | 6.5 | 6.3 | 6.1 | 6.0 | 5.8 | 5.7 | 5.6 | 5.5 |
| 2/ 450 X 63*                                  | 8.9                        | 8.4 | 8.1 | 7.8 | 7.5 | 7.3 | 7.2 | 7.0 | 6.8 | 6.7 | 6.6 | 6.5 |

\* SIZE BUILT UP BY VERTICAL NAIL LAMINATION. See page 7.



Irrelevant / Sensitive

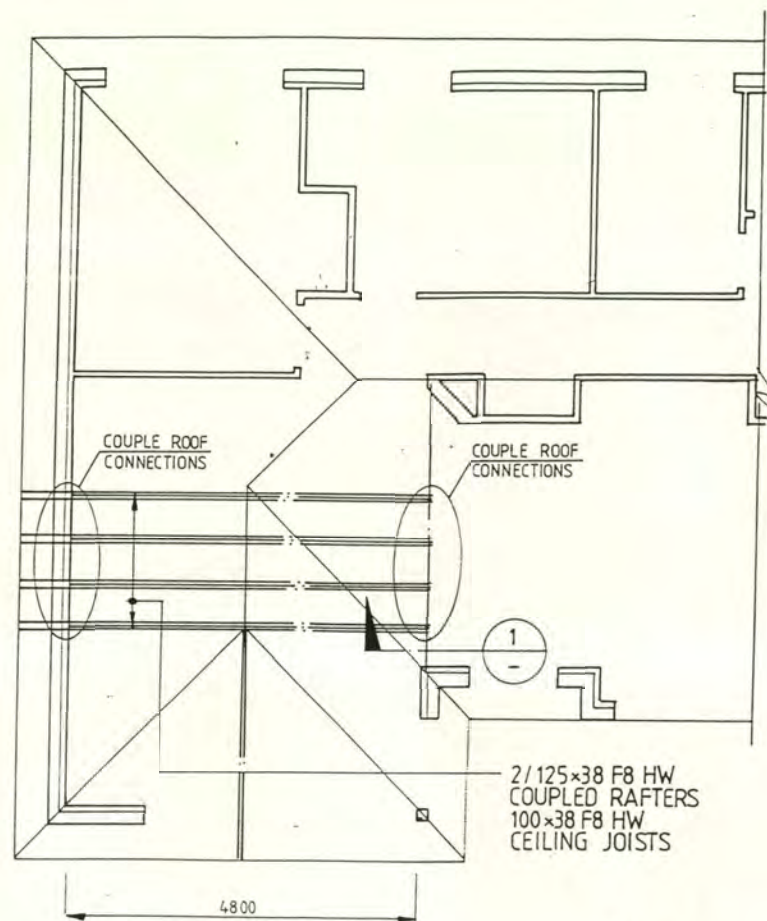
NOTE: Where a planning permit is required under the provisions of the Planning & Environment Act 1987, no works authorised by this approval may commence prior to the grant of such permit.

Signed *R. J. SIMPSON* DEVELOPMENT APPROVAL

CO-ORDINATOR *Jell*

Date **21 JUN 1992**





**GROUND FLOOR PLAN**  
SHOWING ROOF OVER  
1:50

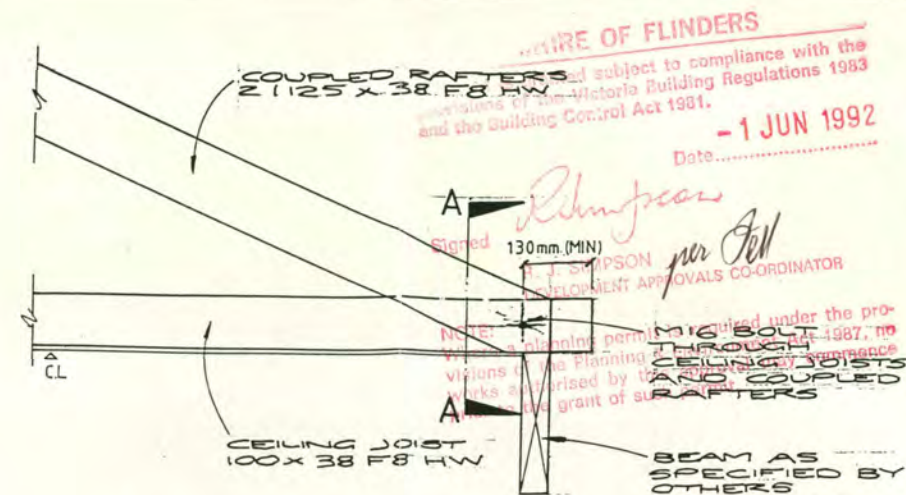
#### NOTES

##### GENERAL

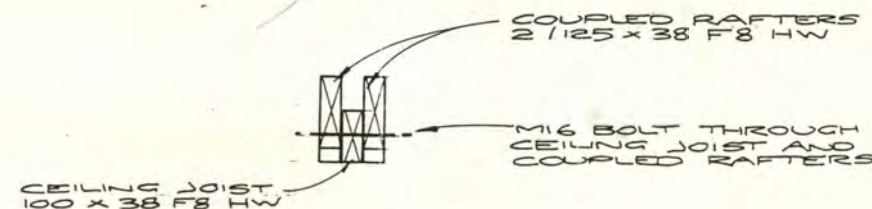
- G1 These drawings shall be read in conjunction with all Architectural and other Consultants drawings and specifications and with such other written instructions as may be issued during the course of the contract. Any discrepancies shall be referred to M.R. Anderson & Associates Pty. Ltd. before proceeding with the work.
- G2 Materials and workmanship are to be in accordance with the relevant current SAA Codes except where varied by the project specification.
- G3 All dimensions shown are to be verified on site. Engineer's drawings must not be scaled.

- G4 Substitutions must be approved by M.R. Anderson & Associates Pty. Ltd. and be included in any tender.
- G5 During construction the structure shall be maintained in a stable condition and no part shall be overstressed.
- G6 Filling under slabs on ground to be granular material compacted in 150 mm layers to achieve a minimum of 95% Relative "Standard" Density.
- STRUCTURAL TIMBERWORK**
- T1 All structural timberwork and its testing shall comply with the current AS 1720 timber engineering code. All timber shall have a moisture content of not less than 10% and not more than 15% at the time of erection.

- T2 ALL TIMBER FRAMEWORK SHALL COMPLY WITH TIMBER FRAMING MANUAL AND THE TIMBER FRAMING CODE AS 1684



**SECTION 1**



**SECTION A-A**

| NO. | AMENDMENT | DATE | ORIENTATION |
|-----|-----------|------|-------------|
|     |           |      |             |
|     |           |      |             |
|     |           |      |             |
|     |           |      |             |
|     |           |      |             |
|     |           |      |             |
|     |           |      |             |



**M. R. ANDERSON AND ASSOCIATES PTY. LTD.**  
CONSULTING ENGINEERS  
61 OXFORD STREET COLLINGWOOD VIC 3066 TELEPHONE (03) 419 2800

CLIENT: A.V. JENNINGS

**COUPLED ROOF FOR BROADWAY 200**

|         |              |           |         |
|---------|--------------|-----------|---------|
| DATE    | SEPTEMBER 91 | JOB NO.   | 3567    |
| DRAWN   | C. HAYES     |           |         |
| CHECKED | VG.          | SHEET NO. | S1 OF 1 |
| SCALE   | 1:10 1:50    |           |         |

**TURNBULL DESIGN & CONSTRUCTION PTY. LTD.**

*Consulting Structural Engineers*

21 Church Street, HAWTHORN, 3122 Phone: (03) 853 9688 Fax: 853 0420

**DOUGLAS A. TURNBULL, B.E.(CIVIL), M.ENG.(CIVIL), M.I.E.AUST.**

SHEET: 1 of 4

JOB No: 91144

DATE: May 30, 1991

ENGINEER: Patrick Irwin

## STRUCTURAL COMPUTATIONS

Beam over Rumpus/Meals to Broadway 200 Home

For A V Jennings Homes

CLIENT: A V Jennings Homes

ISSUE DATE: May 30, 1991

JOB No: 91144

ENGINEER: Irrelevant / Sensitive

**PATRICK IRWIN,**  
B.ENG.(CIVIL), M.I.E. AUST., CP.ENG.

OFFICE OF FLINDERS  
is granted subject to compliance with the  
of the Victoria Building Regulations 1983  
Control Act 1981.  
Date.....-1 JUN 1992

Irrelevant / Sensitive

ORDINATOR

NOTE: A planning permit is required under the provisions of the Planning & Environment Act 1987, no works authorised by this approval may commence prior to the grant of such permit.



**TURNBULL DESIGN & CONSTRUCTION PTY. LTD.**  
*Consulting Structural Engineers*  
 21 Church Street, HAWTHORN, 3122 Phone: (03) 853 9688 Fax 853 0420

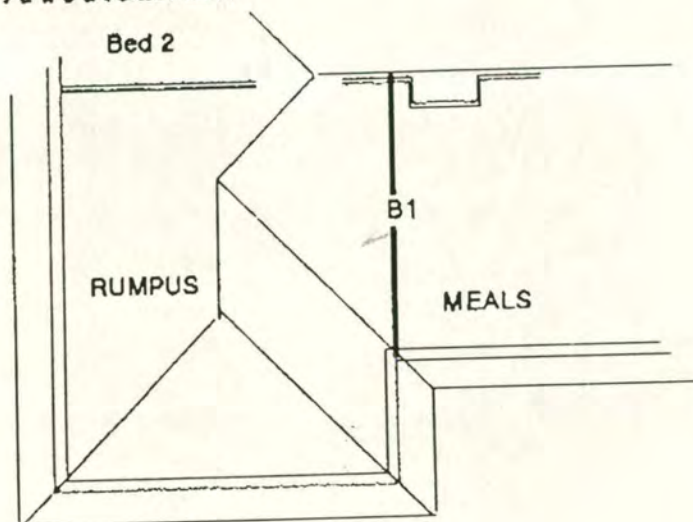
SHEET: 2 of 4  
 JOB No: 91144  
 DATE: May 30, 1991  
 ENGINEER: Patrick Irwin

DOUGLAS A. TURNBULL, B.E.(CIVIL), M.ENG.(CIVIL), M.I.E.AUST.

## INTRODUCTION

Require check of counter/propping beam over Rumpus/Meals to new Broadway Premier home. Installation is conventional.

## ARRANGEMENT



## DESIGN LOADS

kPa

Roof dl = Concrete tiles & battens  
 hardwood rafters

0.60

0.08

0.68

Roof ll = area < 14.0 m<sup>2</sup>  
 area ≥ 14.0 m<sup>2</sup>

1.8/A+0.12

0.25

Ceiling dl = hardwood joists  
 insulation  
 13 mm plasterboard

0.06

0.02

0.11

0.19

## DESIGN STANDARDS

LOADS: AS 1170 - 1989  
 TIMBER: AS 1720 - 1988

**TURNBULL DESIGN & CONSTRUCTION PTY. LTD.***Consulting Structural Engineers*

21 Church Street, HAWTHORN, 3122 Phone: (03) 853 9688 Fax: 853 0420

DOUGLAS A. TURNBULL, B.E.(CIVIL), M.ENG.(CIVIL), M.I.E.AUST.

SHEET: 3 of 4

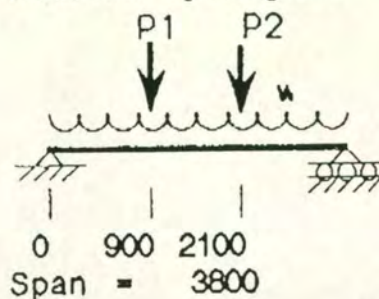
JOB No: 91144

DATE: May 30, 1991

ENGINEER: Patrick Irwin

**BEAM B1**

Carries roof props & ceiling hangers and tied rafters over rumpus. Laterally restrained by hangers.



|              |   |                                   |      |
|--------------|---|-----------------------------------|------|
| $P_{1dl}$    | = | 5.0 m <sup>2</sup> roof @ 0.68    | 3.40 |
| $P_{1ll}$    | = | 5.0 m <sup>2</sup> roof @ 0.25    | 1.25 |
| $P_{1dl+ll}$ | = |                                   | 4.65 |
| $P_{2dl}$    | = | 6.0 m <sup>2</sup> ceiling @ 0.19 | 1.14 |
| $w_{dl}$     | = | 2700 roof @ 0.68                  | 1.84 |
|              |   | 900 ceiling @ 0.19                | 0.17 |
|              |   | self weight estimate              | 0.20 |
|              |   |                                   | 2.21 |
| $w_{ll}$     | = | 2700 roof @ 0.25                  | 0.68 |
| $w_{dl+ll}$  | = |                                   | 2.89 |
| $M_{dl+ll}$  | = |                                   | 9.5  |

**TRY 3, 240 x 35 F27 SEASONED HARDWOOD**

|                      |   |                          |            |
|----------------------|---|--------------------------|------------|
| Long term deflection | = | 2*(dead load deflection) |            |
|                      | = | 8.7 mm                   | ok         |
|                      | = | L/435                    | < L/300 ok |

Live load deflection, not critical design case for roof supporting member. ok

$$f_{bc} = M_{dl+ll}/Z \quad 9.4$$

$$F_{bc} = K_1 * K_{12} * F'_b$$

$$= 1.65 * 0.90 * 27.0 \quad 40.1 \quad ok$$

**ALTERNATIVELY, TRY 3, 240 X 36 F14 LVL**

$$\text{Long term deflection} = 2 * \text{dead load deflection}$$



**TURNBULL DESIGN & CONSTRUCTION PTY. LTD.***Consulting Structural Engineers*

21 Church Street, HAWTHORN, 3122 Phone: (03) 853 9688 Fax: 853 0420

SHEET: 4 of 4

JOB No: 91144

DATE: May 30, 1991

ENGINEER: Patrick Irwin

**DOUGLAS A. TURNBULL, B.E.(CIVIL), M.ENG.(CIVIL), M.I.E.AUST.**

$$= 12.6 \text{ mm}$$

&lt; 9 mm ok

$$= L/301$$

&lt; L/300 ok

Live load def'n not critical design case for roof supporting member

ok

$$f_{bc} = M_{dl+ll}/Z$$

9.2

$$F_{bc} = K_1 * K_{12} * F'_b$$

$$= 1.65 * 0.90 * 14.0$$

20.8 ok

**ADOPT****3, 240 x 35 F27 SEASONED HARDWOOD****ALTERNATIVELY****3, 240 X 36 F14 LVL**



Irrelevant / Sensitive

**LIFESTYLE SERIES**

|      |    |      |  |
|------|----|------|--|
| NAME | DU | DATE |  |
|------|----|------|--|

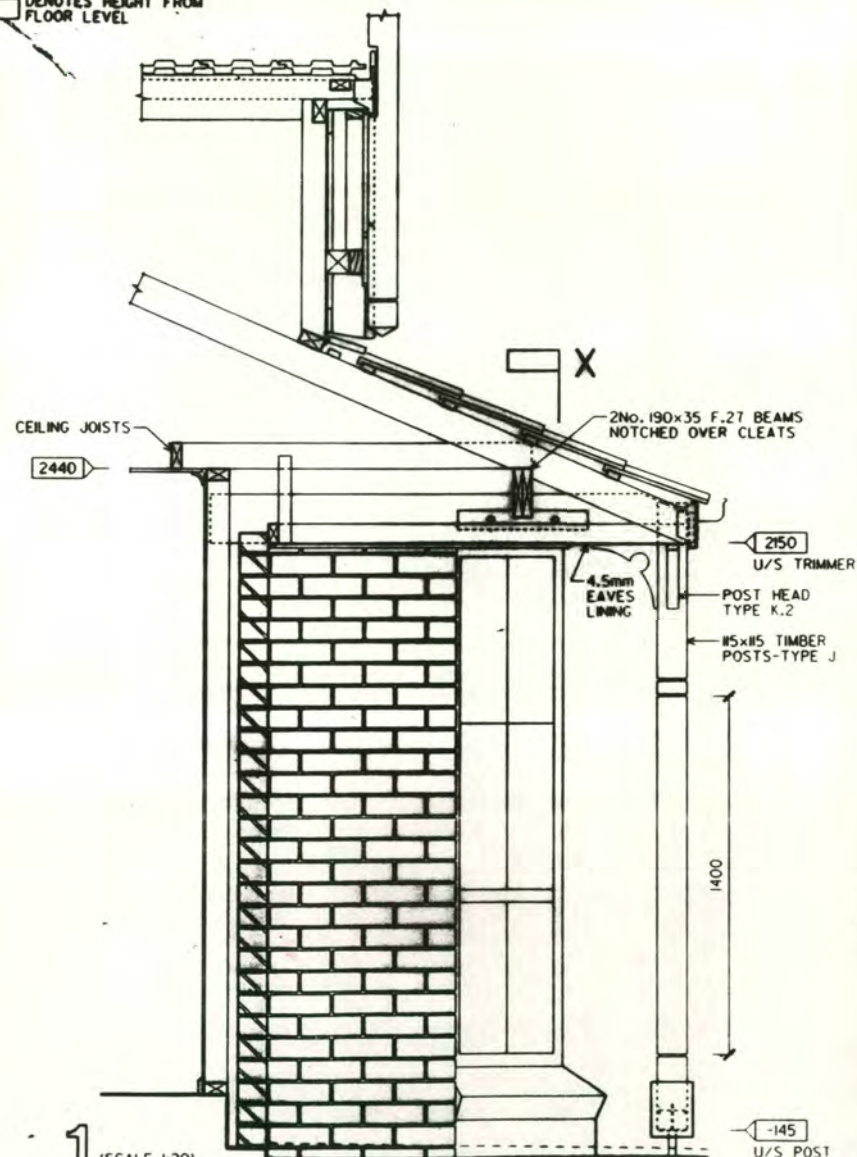
SCALE: 100

FILE NO. \_\_\_\_\_

100



DENOTES HEIGHT FROM FLOOR LEVEL



PORCH DETAIL

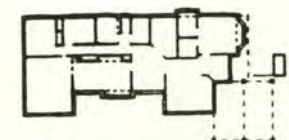
2No. 190x35 F.27 BEAMS  
FIXED TO DOUBLE  
STUDS & POSTS



75x50 CLEATS  
BOLTED TO BEAMS

75x38 EAVE TRIMMERS  
AT 600-CTS.

SECTION X  
(SCALE 1:20)



GROUND PLAN  
(SCALE 1:500)

STATE OF FLINDERS  
subject to compliance with the  
1993 Building Regulations 1993  
Act 1981. - 1 JUN 1992

Irrelevant / Sensitive

NOTE: Where a planning permit is required under the provisions of the Planning & Environment Act 1987, no works authorised by this approval may commence prior to the grant of such permit.

LIFESTYLE SERIES

**AVJennings Homes**  
630 SPRINGVALE ROAD, MULGRAVE 3170 PH. 566-8888

SERIES DIVISION No. ISSUE  
NEWWAVE VIC 25B GEN 60-25/6/91  
© COPYRIGHT 1990 JENNINGS GROUP LIMITED  
REPRODUCTION IN WHOLE OR PART FORBIDDEN

ASSOCIATED DETAIL  
WALL SECTIONS  
BROADWAY 175  
HERITAGE SPECIAL

CLIENT: J. & A.F.F. RADCLIFFE  
LOT 1 NEPEAN HWY.  
M.C. CRAC.

NOTES: HAND: RH SET: 5  
STATE CONTRACT CONST/ORD SCALE: 1:50  
DRAWN: 08/2/92 FILE NO: 25b/25bhr5.dgn  
CHECKED: 31/9/91





(2)

PE  
4000

Shire of Flinders NEW BUILDING APPLICATIONS AUDIT TRAIL

-----

BA Number : BA228337 Property No. 148725

Application Date : 11 DEC 91

Location : 607-609 PT NEPEAN RD MCCRAE

Title Details : 1 PS310930

Applicants Surname : JENNINGS GROUP LTD

Applicants phone :

Builders Name : JENNINGS GROUP LTD

Builders Address :

: 2-8 MARLO PL

: HALLAM

: 3803

Builders Phone :

Builders Reg. No. :

Work Description : 1A-NB Dwelling - new brick

Estimated Cost : 115,000

Building Fee : 288.00

Scaffolding Fee : 0.00

Sanitary Fee : 0.00

Application Status : Incomplete

Application Comments : PERMIT 15009 11.12.91 R0\$20 IF\$20 DEP\$260 RECEIPT N

-----

148 725

PA228337

114627

607-609 POINT NEPEAN ROAD  
MCCRAE

Lot: 1 Plan: PS310930

①

AMENDED PLANS  
REQUIRED

ENTERED

ENTERED

2 JUN 1992

*[Handwritten signature]*

SK



## ADVERTISING

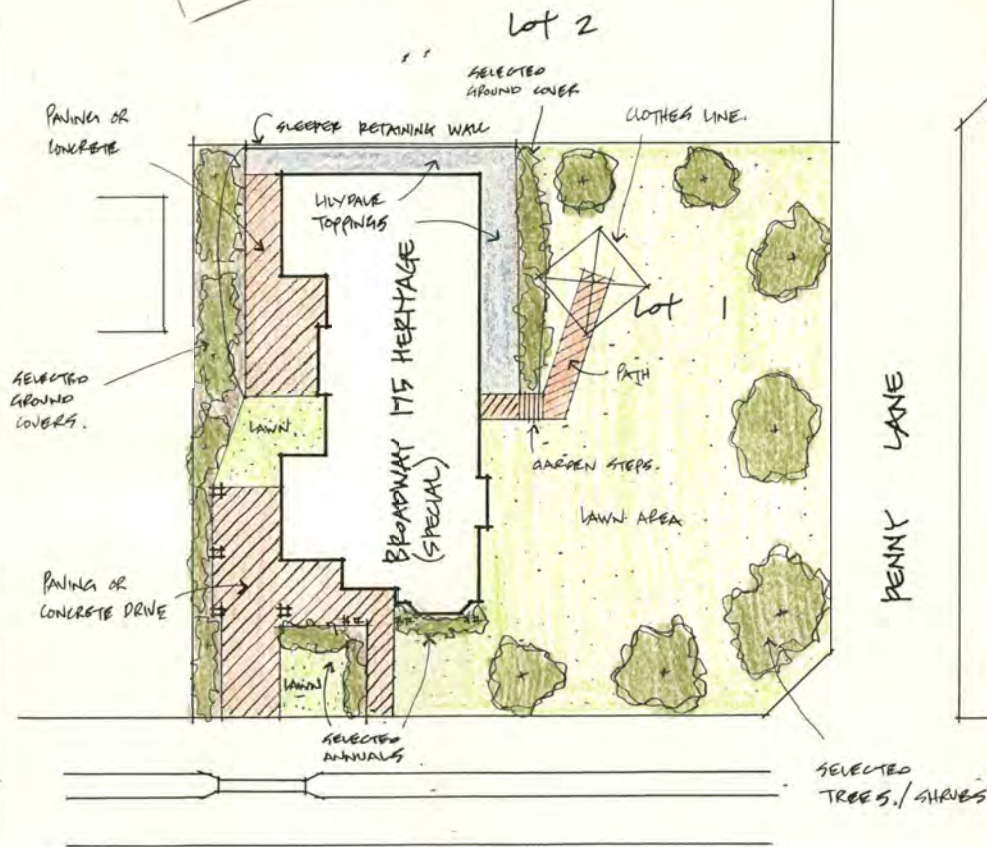
COMPLETION DATE 4th March 1992  
DRAFT CONDITIONS YES / NO  
ADVTG FEE PAID YES / NO

|                      | REQ      | REC      |
|----------------------|----------|----------|
| RR (GREEN) _____     | <u>3</u> | <u>2</u> |
| CMPR (WHITE) _____   | <u>3</u> | <u>3</u> |
| STAT DEC _____       | <u>1</u> | <u>1</u> |
| Gazette notice _____ | <u>-</u> | <u>-</u> |

JUN 1992

**AMENDED**  
- 1 JUN 1992  
**RECEIVED**

NOTE: Works authorised by this permit may NOT commence before a Building Approval has been granted.



NEPEAN HIGHWAY

## SPECIAL CONDITIONS

### WATER SUPPLY:

Contract allows for water tapping for house supply to be taken from existing main in front of property not more than 3.0m away. The owner is required to provide such extension of water main as necessary to provide main in front of property. Where water supply main cannot be made available, a rain-water tank system may be included in contract as a variation.

NOTE-The Owner is to supply temporary water facilities for building purposes where house supply will be by tanks or where water supply is not available prior to commencement.

### GAS SUPPLY:

The Contract allows for the gas main of the Local Supply to be available at the site. Where gas is not available, special equipment and reticulation may be included as a variation to the Contract of the Owner's request, this will not include actual connection or 'bottled gas' facilities.

### ELECTRICITY SUPPLY:

The Contract allows for the power supply to be connected to the dwelling directly from the authorities supply pole not more than 10m away. Any further extension costs or heavier cable requirements due to low voltage areas are to be carried out at the expense of the Owner.

### SEPTIC SYSTEM/SEWER:

The Contract allows for septic sewer system to be provided subject to the conditions stipulated by the Municipal Health Inspector in regard to type size and method of installation. Pumps or filter bed systems not included in contract. Sewer where main is existing to be carried out to M.W.B.W. or Local Authority's requirements.

### ACCESS/OBSTRUCTIONS:

The Contract allows for the site to be clear of obstructions likely to interfere with building operations, and to be satisfactorily accessible for vehicles to deliver materials. This is to be made available by Owner at his expense where required, prior to the commencement of building operations.

### CHECK SURVEY:

Where boundary survey pegs or defined boundaries do not exist, a check survey will be required to be provided by the Owner at his expense prior to commencement of building operations.

### FENCING:

The site will be fenced as specified to those boundaries defined on plan. The Owner is required to have removed existing fencing or obstructions along boundaries required to have a new fence.

### SITE CONDITIONS:

The owner should take care not to significantly alter the foundation soil moisture conditions e.g. by allowing trees to grow near the building walls.

The position of sewerage and stormwater drains as shown on site plan are indicative only. Subject to the approval of the local authority.

Excess soil to be removed from site. All vegetation and organic materials to be scraped clear of slab area. Fill as required to slab area.

## PLANTING SCHEDULE

### TREES

ALNUS JORULENSIS H5-7 S3-6  
EUCALYPTUS SCORPARIA H8-15 S6-8  
MELALEUCA ARMILLARIS H5-7 S3-6  
HAKEA LAURINA H3-5 S3-5

### SHRUBS

CALLISTEMON 'CAPTAIN COOK' H/S 12  
CALLISTEMON CITRINUS H2-4 S2-3  
ANIGOZANTHOS FLAVIUS H2 S1-5  
GREVILLEA ROSMARINIFOLIA H2-3 S3  
POA AUSTRALIS H15-30cm S60cm-10  
MELALEUCA ARMILLARIS H60cm S12 'DWARF'  
NANDINA DOM NANA H60cm S60cm-10 'DWARF'  
GREVILLEA BITERNASA H60cm S12  
HARDENBERGIA VIOLACEA - CLIMBER LIGHT  
TECOMA H60cm S1-0

### GROUND COVER PLANTING

GREVILLEA OBUSTIFOLIA  
JUNIPER HORIZONTALIS DOUGLASII  
IMPATIENS  
KENNEDIA RUBICUNDA  
VIOLA HEDERACEA  
HEDERA HELIX

THE EXTERNAL FINISH OF THE EXTERNAL MATERIALS OF CONSTRUCTION REFERRED TO ON THIS DRAWING ARE THOSE FOR WHICH A PLANNING CONSENT HAS BEEN ISSUED AND NO VARIATION SHALL BE MADE TO THESE MATERIALS WITHOUT THE FURTHER CONSENT OF THE RESPONSIBLE AUTHORITY AND IN ALL CASES THE EXTERNAL FINISHES SHALL COMPRISE WHITE WITH REFLECTIVE TUBES.

### ENDORSED PLAN

FLINDERS PLANNING SCHEME

This development is subject to the provisions of

PLANNING PERMIT No. 16.120 and to any conditions imposed thereby.

Irrelevant / Sensitive

01 JUN 1992

Manager - Planning and Development for and on behalf of the Responsible Authority

SCALE 1:250

CLIENT: J. & A.F.F. RAOCLIFFE  
LOT: 1 NEPEAN HIGHWAY, M'CRAE

| CONTRACT | JOB:       | WORK ORDER | JOB:     |
|----------|------------|------------|----------|
|          | DRAWN: HLB |            | DRAWN:   |
|          | DATE:      |            | DATE:    |
|          | CHECKED:   |            | CHECKED: |



**Jennings Housing**  
WAY AHEAD

792-806 HEATHERTON ROAD, SPRINGVALE SOUTH, 3172  
PHONE: 562 3365



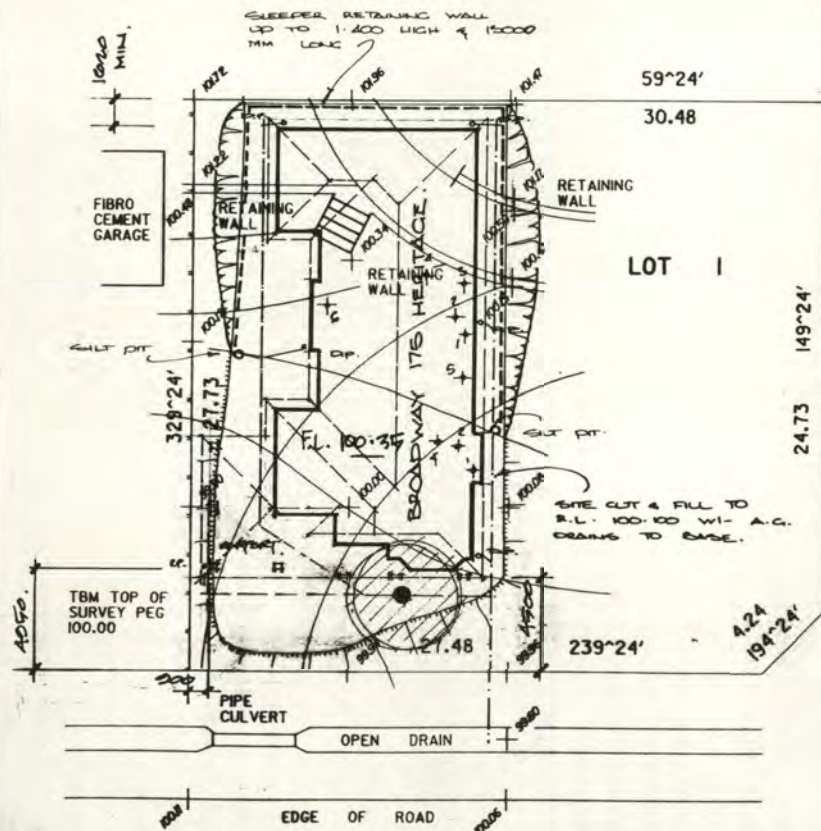
# ENDORSED PLAN FLINDERS PLANNING SCHEME

This development is subject to  
the provisions of  
PLANNING PERMIT No. **16120**  
and to any conditions imposed thereby.

**01 JUN 1992**

Date

I. A. Morris  
Manager - Planning and  
Development for and  
on behalf of the  
Responsible Authority



NEPEAN HIGHWAY

PENNY LANE

REF NO. 0774

## SPECIAL CONDITIONS

### WATER SUPPLY:

Contract allows for water tapping for house supply to be taken from existing main in front of property not more than 5.0m away. The owner is required to provide a water meter and a water supply main to the house. The water supply main cannot be made available as a water meter system may be included in contract as a variation.  
NOTE: The owner is to supply temporary water facilities for building purposes where house supply will be by tank or where water supply is not available prior to commencement.

### GAS SUPPLY:

The Contract allows for the gas main of the Local Supply to be available at the site. Where gas is not available, special equipment and installation may be included as a variation to the contract at the owner's request. This will not include actual connection or bottled gas facilities.

### ELECTRICITY SUPPLY:

The Contract allows for the power supply to be connected to the dwelling directly from the authorities supply pole not more than 10m away. Any further extension costs or heavier cable requirements due to low voltage areas are to be carried out at the expense of the Owner.

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The Contract allows for septic sewer system to be provided subject to the conditions stipulated by the Municipal Health Inspector in regard to type, size and method of installation. Pump and filter bed systems not included in contract. Sewer where main is existing to be carried out to M.M.B.W. or Local Authority's requirements.

### ACCESS/OBSTRUCTIONS:

The Contract allows for the site to be clear of obstructions likely to interfere with building operations, and to be satisfactorily accessible for vehicles to deliver materials. This is to be made available by Owner at his expense where required prior to the commencement of building operations.

### CHECK SURVEY:

Where boundary survey pegs or defined boundaries do not exist, a check survey will be required to be provided by the Owner at his expense prior to commencement of building operations.

### FENCING:

The site will be fenced as specified to those boundaries defined on plan. The Owner is required to have removed all existing fencing or obstructions along boundaries required to have a new fence.

### SITE CONDITIONS:

The owner should take care not to significantly alter the foundation soil moisture conditions e.g. by allowing trees to grow near the building walls. The position of sewerage and stormwater drains as shown on site plan are indicative only. Subject to the approval of the local authority.  
Excess soil to be removed from site. All vegetation and organic materials to be scraped clear of slab area. Fills as required to slab area.

## LEGEND

### PLUMBING:

- Septic effluent drains
- 90mm untested P.V.C S.W.D.
- Concrete encased S.W.D.
- A.G. drains
- Underground main drain (where known to exist)
- Precast Concrete spoon drain
- Precast Concrete silt pit

### FENCING:

- Existing fencing
- Fencing Included in contract

### TREES:

- Existing trees.
- Trees to be removed by client prior to commencement of building operations.

### DATUM:

Levels shown are approximate only and are to an assumed datum as indicated on plan.

### DRAINAGE:

|                                  |    |        |
|----------------------------------|----|--------|
| 1. 90mm P.V.C S.W.D.             | 88 | Metres |
| 2. 100mm P.V.C S.W.D.            |    | Metres |
| 3. CLASS 12 P.V.C S.W.D.         |    | Metres |
| 4. CONC ENCASED S.W.D.           | 6  | Metres |
| 5. A.G. DRAINS                   | 40 | Metres |
| 6. PRECAST CONCRETE SPOON DRAINS |    | Metres |
| 7. PRECAST CONCRETE SILT PITS    | 2  | No.    |
| 8. PRECAST GRATED CONC SILT PITS |    | No.    |

### MUNICIPALITY:

MELWAY'S MAP REF.

THE EXTERNAL FINISH OF THE EXTERNAL MATERIALS OF CONSTRUCTION REFERRED TO ON THIS DRAWING ARE THOSE FOR WHICH A PLANNING CONSENT HAS BEEN ISSUED AND NO VARIATION SHALL BE MADE TO THESE MATERIALS WITHOUT THE FURTHER CONSENT OF THE RESPONSIBLE AUTHORITY AND IN ALL CASES THE EXTERNAL FINISHES SHALL COMPRISE MATTED NON-REFLECTIVE TONES.

RECEIVED DA COUNTER

14 APR 1992

BA/PA 228337

AMENDED

14 APR 1992

RECEIVED

NOTE: Works authorised by this permit may NOT commence before a Building Approval has been granted.

## SITE PLAN

SCALE 1:250

CLIENT: J. & A. F. F. RADCLIFFE.  
INEPEAN HIGHWAY McCRAE

|          |                           |             |          |
|----------|---------------------------|-------------|----------|
| CONTRACT | DRAWN: <i>J. A. F. F.</i> | FINAL DRAWN | DRAWN:   |
| PERMIT   | DATE: 24/1/92             | WORK ORDER  | CHECKED: |
|          | DATE:                     |             | FILE:    |

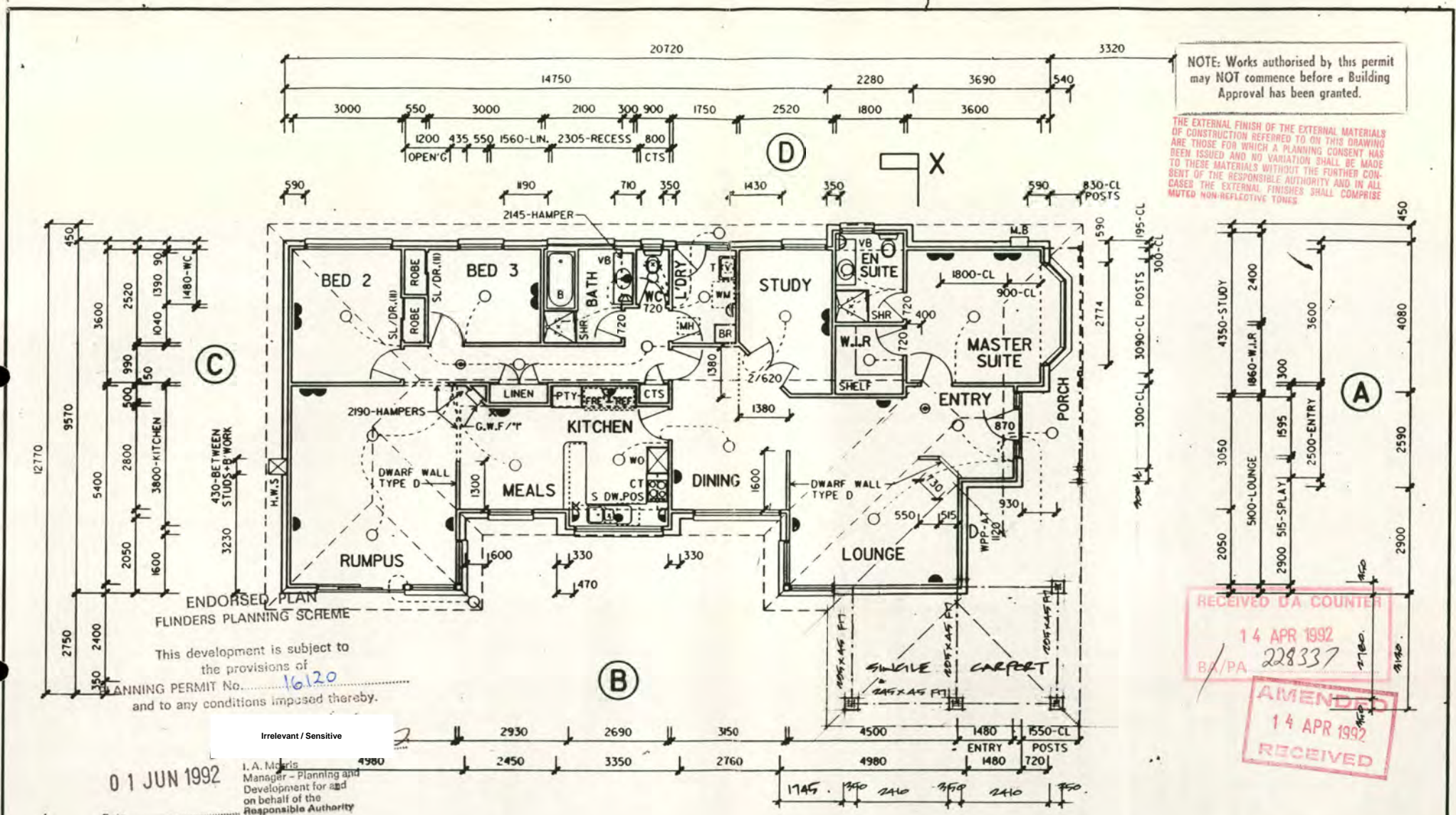


**AV Jennings Homes**

690 SPRINGVALE ROAD, MULGRAVE 3170 PH 566-8888

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|   |  |  |  |  |  |  |  |                              |  |  |  |  |  |  |  |   |  |  |  |   |  |               |  |                    |  |               |  |                                |  |                   |  |                  |  |                     |  |                          |  |                  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  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| GENERAL NOTES   |  |  |  | SYMBOLS AND ABBREVIATIONS  |  |  |  | ELECTRICAL LEGEND            |  |  |  | WORKING DRAWING<br>GROUND FLOOR & ELEC. PLAN |  |  |  | BROADWAY 175<br>HERITAGE SPECIAL          |  |  |  | HAND<br>RH                                |  | SHEET No<br>1 |  |                    |  |               |  |                                |  |                   |  |                  |  |                     |  |                          |  |                  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  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| • GROUND LEVELS & STEPS ARE APPROX. ONLY                              |  |  |  | • GLASS TO WINDOWS OVER BATHS AND SPA BATHS TO BE 6mm LAMINATED                                  |  |  |  | • CAVITY SLEIGH DOOR         |  |  |  | • SINGLE POWER POINT AT 100mm                |  |  |  | SERIES                                    |  |  |  | DIVISION                                  |  |               |  | No.                |  | ISSUE         |  | CLIENT: J. & A. RADCLIFFE      |  | SCALE: 1:100      |  |                  |  |                     |  |                          |  |                  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| • WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE                  |  |  |  | • LIFT-OFF HINGES TO W.C. DOOR   |  |  |  | • FACE OF WALL - HINGED DOOR |  |  |  | • DOUBLE POWER POINT AT 200mm                |  |  |  | NewWave Vic                               |  |  |  | 25B                                       |  |               |  | GEN 60-25/6/91     |  | R.T. 0-2/9/91 |  | LOT 1 NEPEAN HIGHWAY,<br>MCGEE |  | GND FL 176.375sqm |  |                  |  |                     |  |                          |  |                  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  | 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| • UNLESS OTHERWISE SHOWN, HINGED DOORS TO ROOMS TO BE 820-WIDE        |  |  |  | • IMPERVIOUS FLOOR TO BATHROOMS, TOILETS & LAUNDRY, BY OTHER EXCEPT CLASSICS                     |  |  |  | • MANHOLE                    |  |  |  | • SINGLE POWER POINT AT 420mm                |  |  |  | COPYRIGHT 1990 JENNINGS GROUP LIMITED     |  |  |  | REPRODUCTION IN WHOLE OR PART FORBIDDEN   |  |               |  | STATE              |  | CONTRACT      |  | CONF. ORD                      |  | 1ST FL            |  |                  |  |                     |  |                          |  |                  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |
| • ON-SITE CLIPBOARD DOORS TO BE 520-WIDE                              |  |  |  | • DIMENSIONS TO HEAD-250mm (L) AND RISE-200mm (L)  |  |  |  | • CEILING VENT               |  |  |  | • DOUBLE POWER POINT AT 1250mm               |  |  |  | • FAN SWITCH DOUBLE POWER POINT AT 1200mm |  |  |  | • ISOLATING SWITCH & POWER POINT AT 200mm |  |               |  | • FAN LIGHT OUTLET |  |               |  | • DOWNLIGHT                    |  |                   |  | • SPOTLIGHT      |  | • WALL LIGHT OUTLET |  | FILE No<br>25b/25brrldgn |  |                  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  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| • TOP OF METER BOX TO BE 1900mm ABOVE GROUND OR PORCH                 |  |  |  | • BALUSTRADE HEIGHT AT LANDING-1000mm (L) AND STEPS-900mm (L)                                    |  |  |  | • SUB FLOOR VENT AT 200-CTS. |  |  |  | • THERMOSTAT                                 |  |  |  | • T.V. POINT                              |  |  |  | • PHONE POINT                             |  |               |  | • JUNCTION BOX     |  |               |  | • SMOKE DETECTOR               |  |                   |  | • SMOKE DETECTOR |  | • SMOKE DETECTOR    |  | • SMOKE DETECTOR         |  | • SMOKE DETECTOR |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  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| • LIGHT SWITCHES AND INTERNAL DOOR FURNITURE TO BE 1055mm ABOVE FLOOR |  |  |  | • WIRE DIRECT TO ELECTRIC HEATER, WALL OVEN AND RANGEHOOD  |  |  |  | • THERMOSTAT                 |  |  |  | • T.V. POINT                                 |  |  |  | • PHONE POINT                             |  |  |  | • JUNCTION BOX                            |  |               |  | • SMOKE DETECTOR   |  |               |  | • SMOKE DETECTOR               |  | • SMOKE DETECTOR  |  | • SMOKE DETECTOR |  | • SMOKE DETECTOR    |  | • SMOKE DETECTOR         |  |                  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  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| • GLASS AREA TO W.C. 0.08m <sup>2</sup> (OBSOLETE SATURITE)           |  |  |  | • UNLESS OTHERWISE INDICATED ALL WALL DIMENSIONS ARE AS FOLLOWS:- EXTERNAL 240mm - INTERNAL 90mm |  |  |  | • THERMOSTAT                 |  |  |  | • T.V. POINT                                 |  |  |  | • PHONE POINT                             |  |  |  | • JUNCTION BOX                            |  |               |  | • SMOKE DETECTOR   |  |               |  | • SMOKE DETECTOR               |  | • SMOKE DETECTOR  |  | • SMOKE DETECTOR |  | • SMOKE DETECTOR    |  | • SMOKE DETECTOR         |  |                  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  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| • OPENABLE SASH SIZE TO W.C. 0.09m <sup>2</sup>                       |  |  |  |  |  |  |  |                              |  |  |  |  |  |  |  |   |  |  |  |   |  |               |  |                    |  |               |  |                                |  |                   |  |                  |  |                     |  |                          |  |                  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  |  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**ENDORSED PLAN**  
FLINDERS PLANNING SCHEME

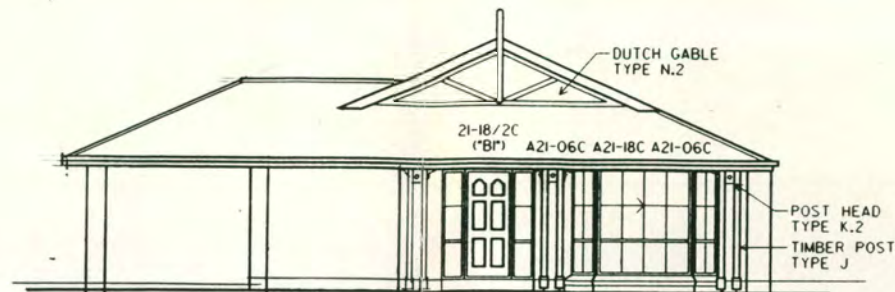
This development is subject to  
the provisions of  
PLANNING PERMIT No. 16120  
and to any conditions imposed thereby.

Irrelevant / Sensitive

01 JUN 1992

Date.....

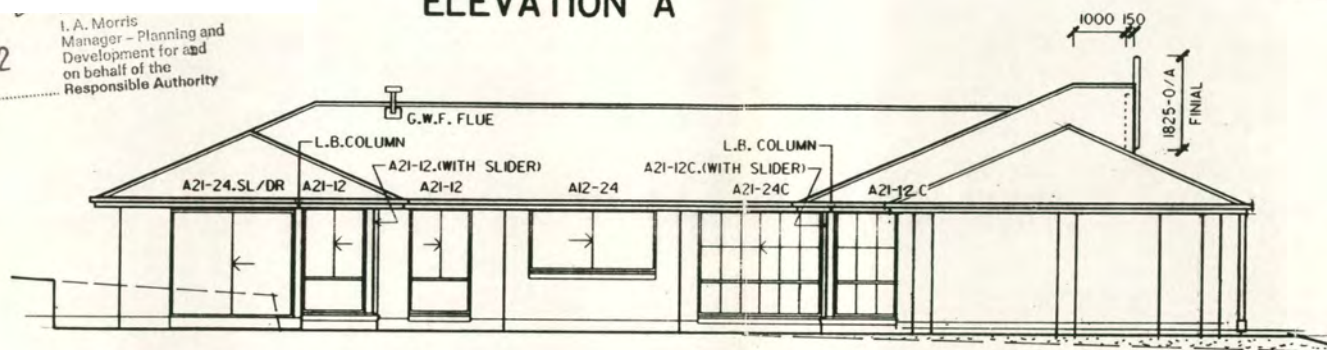
I. A. Morris  
Manager - Planning and  
Development for and  
on behalf of the  
Responsible Authority



**ELEVATION A**

THE EXTERNAL FINISH OF THE EXTERNAL MATERIALS OF CONSTRUCTION REFERRED TO ON THIS DRAWING ARE THOSE FOR WHICH A PLANNING CONSENT HAS BEEN ISSUED AND NO VARIATION SHALL BE MADE TO THESE MATERIALS WITHOUT THE FURTHER CONSENT OF THE RESPONSIBLE AUTHORITY AND IN ALL CASES THE EXTERNAL FINISHES SHALL COMPRISE MUTED NON-REFLECTIVE TONES.

NOTE: Works authorised by this permit may NOT commence before a Building Approval has been granted.



**ELEVATION B**

RECEIVED DA COUNTER  
14 APR 1992  
B/PA 228337

AMENDED  
14 APR 1992  
RECEIVED

**LIFESTYLE SERIES**

**AVJennings Homes**  
690 SPRINGVALE ROAD, MULGRAVE 3170 PH. 566-8888

SERIES DIVISION No.  
**NewWave Vic 25B**

ISSUE  
GEN:60-25/6/91  
M.T.O. 10/7/91

WORKING DRAWINGS  
EXTERNAL ELEVATIONS

BROADWAY 175  
HERITAGE SPECIAL

CLIENT: J. & A. FF. RAOULFFE

LOT 1 NEPEAN HIGHWAY  
M. CRAE

NOTES:

|         |         |                       |
|---------|---------|-----------------------|
| DATE    | 10/2/92 | SCALE: 1:200          |
| CHECKED | BIV/92  | FILE NO: 250/2501-229 |

NAME: RH SHEET: 2

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ENDORSED PLAN  
FLINDERS PLANNING SCHEME

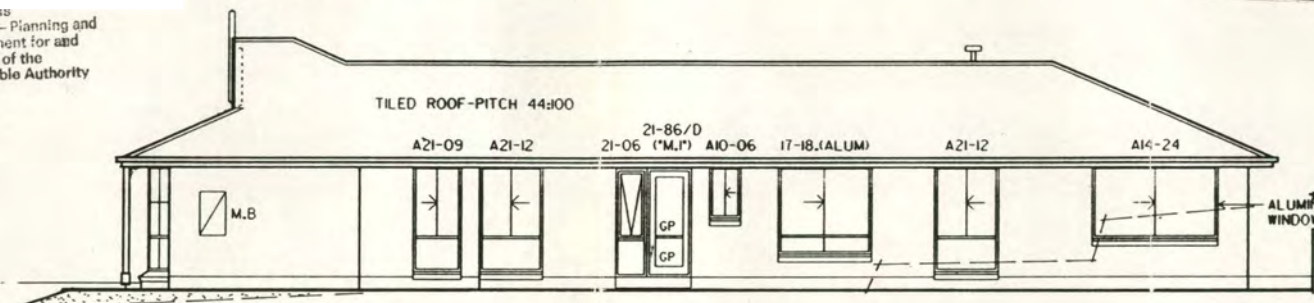
This development is subject to  
the provisions of  
PLANNING PERMIT No. 16120  
and to any conditions imposed thereby.

Irrelevant / Sensitive

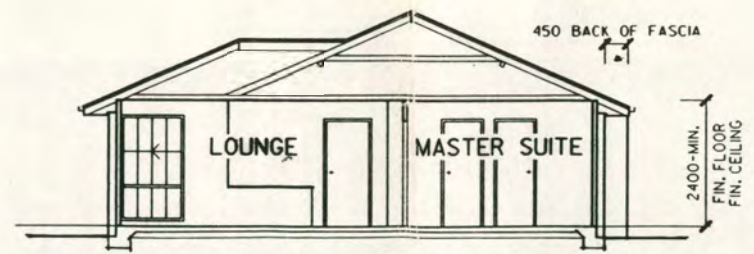
01 JUN 1992  
Date.....

L. A. MORTIS  
Manager - Planning and  
Development for and  
on behalf of the  
Responsible Authority

ELEVATION C



ELEVATION D



SECTION X-X

CLASS 'A'

TERMITE PROOFING TO A.S. 2057.

THE EXTERNAL FINISH OF THE EXTERNAL MATERIALS OF CONSTRUCTION REFERRED TO ON THIS DRAWING ARE THOSE FOR WHICH A PLANNING CONSENT HAS BEEN ISSUED AND NO VARIATION SHALL BE MADE TO THESE MATERIALS WITHOUT THE FURTHER CONSENT OF THE RESPONSIBLE AUTHORITY AND IN ALL CASES THE EXTERNAL FINISHES SHALL COMPRISE MATED NON-REFLECTIVE TONES.

NOTE: Works authorised by this permit may NOT commence before a Building Approval has been granted.

RECEIVED DA COUNTER  
14 APR 1992  
BAPPA 228337

AMENDED  
14 APR 1992  
RECEIVED

- 175 x 38 RIDGE
- 125 x 38 RAFTERS AT 600-CTS.
- 75 x 38 COLLAR TIES
- 100 x 75 RIDGE AND PURLIN STRUTS
- 100 x 38 CEILING JOISTS AT 600-CTS.

NOTES:-  
EXPANSION JOINTS ARE TO BE PROVIDED EVERY 12-METRES FOR CLAY BRICKS AND EVERY 6-METRES FOR MASONRY.

INSULATION:- CEILING R-2.5  
WALL R-1.5

LIFESTYLE SERIES

**AVJennings Homes**  
690 SPRINGVALE ROAD, MULGRAVE 3170 PH. 566-8888

SERIES DIVISION No. ISSUE  
NewWave VIC 25B  
CEN 6.0-25/6/91  
M.T. 0.1-9/91  
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WORKING DRAWINGS  
EXTERNAL ELEVATIONS  
BROADWAY 175  
HERITAGE SPECIAL

CLIENT: LAFF RADCLIFFE  
LOT 1 NEPEAN HIGHWAY  
MURRAE

NOTES:  
DATE CONTRACT COMPLETION  
DRAWN DG 2/9/91  
CHECKED JLV/201  
HAND: RH  
SCALE: 1:100  
FILE No: 25b/25btr2a.dgn



26 May 1992

The Manager  
AV Jennings  
2-8 Marlo Place  
HALLAM 3803

Dear Sir

**APPLICATION NO. PA228337 FOR PLANNING PERMIT**

In reference to the above application, please find enclosed Planning Permit No. 16120 issued by delegation and kindly note the conditions contained therein.

Please note that four (4) amended plans are required, before this permit can take effect.

Yours faithfully

Irrelevant / Sensitive

Ian Morris  
**MANAGER - PLANNING AND DEVELOPMENT**

Enc.

(Reference: SK:NT PA.228337 : Sotirios Katakouzinis Direct Dial - 86 0239)

**AMENDED PLANS  
REQUIRED-  
SEE CONDITION 1.**



## SHIRE OF FLINDERS

**PLANNING**

Permit No. 16120

**PERMIT**

Planning Scheme Flinders Planning Scheme

Responsible Authority Shire of Flinders

**ADDRESS OF LAND**

LOT 1, PS.3109304, 607-609 POINT NEPEAN ROAD, MCCRAE

**THE PERMIT ALLOWS**

THE CONSTRUCTION OF A DWELLING AND ASSOCIATED WORKS.

**THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT  
CONDITIONS (1) TO (14) INCLUSIVE**

1. ALL BUILDINGS AND WORKS AUTHORISED OR REQUIRED BY THIS PERMIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH AN ENDORSED PLAN AND SUCH PLAN SHALL BE IN SUBSTANTIAL ACCORDANCE WITH THE PLAN ACCOMPANYING THE APPLICATION BUT MODIFIED OR ELABORATED TO SHOW TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY:
  - a. A LANDSCAPE PLAN PROVIDED FOR THE SITE NOMINATING PREDOMINANTLY INDIGENOUS NATIVE PLANTS TO BE PLANTED, THEIR LOCATION, QUANTITY, SPECIES AND SIZE AT PLANTING.
2. PRIOR TO THE COMMENCEMENT OF BUILDINGS AND WORKS ON THE SITE, THE ENDORSED PLANS REFERRED TO IN CONDITION (1) MUST BE APPROVED BY THE RESPONSIBLE AUTHORITY.
3. THIS PERMIT SHALL EXPIRE IF THE BUILDINGS AND WORKS HEREBY PERMITTED ARE NOT COMPLETED WITHIN TWENTY-FOUR (24) MONTHS OF THE DATE OF THIS PERMIT OR ANY EXTENSION OF SUCH PERIOD THE RESPONSIBLE AUTHORITY MAY ALLOW IN WRITING ON AN APPLICATION MADE BEFORE OR WITHIN THREE (3) MONTHS AFTER SUCH EXPIRY.

**Date Issued:** 26th May, 1992**Signature for the  
Responsible Authority,**

Irrelevant / Sensitive

Municipal Offices, Boneo Road, Rosebud. Private Bag No. 1000, Rosebud, Victoria, 3939. Tel: (059) 81 1500. DX: 30059. Fax: (059) 86 6696

SEE IMPORTANT NOTES ON REVERSE SIDE



---

## WHAT HAS BEEN DECIDED?

---

The Responsible Authority has issued a permit. This notice sets out on the reverse side what the permit allows and what conditions must be met.

---

## WHEN DOES A PERMIT BEGIN?

---

A permit operates:

- a. from the date specified in the permit, or
- b. if no date is specified, from:
  - (i) the date of the decision of the Administrative Appeals Tribunal, if the permit was issued at the direction of the Tribunal, or
  - (ii) the date on which it was issued, in any other case.

---

## WHEN DOES A PERMIT EXPIRE?

---

1. A permit for the development of land expires if-
  - (a) the development or any stage of it does not start within the time specified in the permit, or
  - (b) the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit.
2. A permit for the use of land expires if-
  - (a) the use does not start within the time specified in the permit, or if no time is specified, within two years of the issue of the permit, or
  - (b) the use is discontinued for a period of two years.
3. A permit for the development and use of land expires if-
  - (a) the development or any stage of it does not start within the time specified in the permit; or
  - (b) the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit.
  - (c) the use does not start within the time specified in the permit, or if no time is specified, within two years of the issue of the permit, or
  - (d) the use is discontinued for a period of two years.
- (4) The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

---

## WHAT ABOUT APPEALS?

---

The person who applied for the permit may appeal against any condition in the permit unless it was granted at the direction of the Administrative Appeals Tribunal where, in such case, no right of appeal exists.

An appeal must be lodged with the Administrative Appeals Tribunal with 60 days after the permit was issued, unless a Notice of Decision to grant a permit has been issued previously, in which case the appeal must be lodged within 60 days after the giving of that notice.

A Notice of Appeal form can be obtained from the Administrative Appeals Tribunal, 10th Floor, 500 Collins Street, MELBOURNE 3000. Phone 628 5111

Details about appeals can be obtained from the Administrative Appeals Tribunal.



# SHIRE OF FLINDERS



## PLANNING

Permit No. 16120

## PERMIT

Planning Scheme Flinders Planning Scheme

Responsible Authority Shire of Flinders

### PAGE 2

### CONTAINING CONDITIONS (1) TO (14) (CONT'D)

- 4 WITHIN SIX (6) MONTHS OF THE DATE OF THE ISSUE OF THE CERTIFICATE OF OCCUPANCY FOR THE BUILDINGS AND WORKS AUTHORISED BY THIS PERMIT, WHETHER IT IS OCCUPIED OR NOT, THE SITE SHALL BE LANDSCAPED IN ACCORDANCE WITH THE ENDORSED PLAN AND SHALL BE THEREAFTER MAINTAINED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
- 5 ALL DISTURBED SURFACES ON THE LAND RESULTING FROM THE BUILDINGS AND WORKS AUTHORISED BY THIS PERMIT SHALL BE REVEGETATED AND STABILISED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
- 6 ALL TREES AND SHRUBS ON THE SUBJECT LAND SHALL BE MAINTAINED IN GOOD ORDER AND CONDITION, AND ANY DEAD OR DISEASED TREES OR SHRUBS SHALL BE REPLACED AS SOON AS PRACTICABLE.
- 7 NO NATIVE VEGETATION OTHER THAN ON LAND SHOWN FOR THE CONSTRUCTION OF THE DWELLING AS SHOWN ON THE ENDORSED PLAN SHALL BE FELLED WITHOUT THE CONSENT IN WRITING OF THE RESPONSIBLE AUTHORITY.
- 8 THE EXTERIOR FINISH OF THE BUILDINGS HEREBY PERMITTED SHALL BE NON REFLECTIVE AND OF MUTED TONES TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
- 9 THE DWELLING SHALL BE CONNECTED TO THE MELBOURNE WATER SEWERAGE SYSTEM.



---

## WHAT HAS BEEN DECIDED?

---

The Responsible Authority has issued a permit. This notice sets out on the reverse side what the permit allows and what conditions must be met.

---

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  - (ii) the date on which it was issued, in any other case.

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2. A permit for the use of land expires if-
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- (4) The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

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# SHIRE OF FLINDERS



## PLANNING

Permit No. 16120

## PERMIT

Planning Scheme Flinders Planning Scheme

Responsible Authority Shire of Flinders

### PAGE 3

### CONTAINING CONDITIONS (1) TO (14) (CONT'D)

- 10 ALL STORMWATER FROM THE BUILDINGS AND WORKS HEREBY PERMITTED ON THE SITE SHALL BE DISCHARGED INTO THE STREET OR EASEMENT DRAINAGE SYSTEM TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
- 11 A VEHICULAR DRIVEWAY SHALL BE PROVIDED ON THE LAND AND SURFACED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY WITHIN SIX (6) MONTHS OF THE DATE OF PRACTICAL COMPLETION OF THE DWELLING AUTHORISED BY THIS PERMIT.
- 12 A CONCRETE VEHICULAR CHANNEL CROSSING AND A FOOTPATH CROSSING OF AN IMPERVIOUS MATERIAL SHALL BE PROVIDED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY WITHIN SIX (6) MONTHS OF THE PRACTICAL COMPLETION OF THE BUILDING HEREBY PERMITTED.
- 13 ALL LAMPS USED TO ILLUMINATE THE EXTERIOR OF THE BUILDINGS AND WORKS SHALL BE FITTED WITH CUT-OFF LUMINARIES SO AS TO PREVENT THE EMISSION OF DIRECT LIGHT ONTO ADJOINING ROADWAYS AND LAND.
- 14 PRIOR TO THE SALE OR LEASE OF ANY PART OF THE LAND SUBJECT TO THIS PERMIT, A COPY OF THE PERMIT SHALL BE GIVEN BY THE VENDOR, TRANSFEROR OR LESSOR, TO THE PURCHASER, TRANSFEREE OR LESSEE OF THAT PART OF THE LAND.



---

## WHAT HAS BEEN DECIDED?

---

The Responsible Authority has issued a permit. This notice sets out on the reverse side what the permit allows and what conditions must be met.

---

## WHEN DOES A PERMIT BEGIN?

---

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- b. if no date is specified, from:
  - (i) the date of the decision of the Administrative Appeals Tribunal, if the permit was issued at the direction of the Tribunal, or
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  - (a) the development or any stage of it does not start within the time specified in the permit; or
  - (b) the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit.
  - (c) the use does not start within the time specified in the permit, or if no time is specified, within two years of the issue of the permit, or
  - (d) the use is discontinued for a period of two years.
- (4) The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

---

## WHAT ABOUT APPEALS?

---

The person who applied for the permit may appeal against any condition in the permit unless it was granted at the direction of the Administrative Appeals Tribunal where, in such case, no right of appeal exists.

An appeal must be lodged with the Administrative Appeals Tribunal with 60 days after the permit was issued, unless a Notice of Decision to grant a permit has been issued previously, in which case the appeal must be lodged within 60 days after the giving of that notice.

A Notice of Appeal form can be obtained from the Administrative Appeals Tribunal, 10th Floor, 500 Collins Street, MELBOURNE 3000. Phone 628 5111

Details about appeals can be obtained from the Administrative Appeals Tribunal.





Administrative Appeals Tribunal  
of Victoria

500 Collins Street,  
Melbourne, Vic. 3000  
Telephone (03) 628 5333  
Fax (03) 629 4965  
DX 21

22nd MAY 1992

SHIRE OF FLINDERS PRIVATE BAG 1000  
DX 30059  
ROSEBUD VIC 3940

|                          |      |         |
|--------------------------|------|---------|
| FILE NO.                 |      |         |
| RECEIVED 22 MAY 1992     |      |         |
| REFERRED TO<br><i>DA</i> | DEPT | OFFICER |
| FOR                      |      |         |
| DRAFT REPLY              |      |         |
| FOR C.E.                 |      |         |
| DEPARTMENTAL             |      |         |
| REPLY                    |      |         |
| EXAMINATION              |      |         |
| PRESENTATION             |      |         |

Our ref:  
Your ref:  
Refer:

Dear Sir/Madam,

APPEALS SUBSEQUENT TO NOTICE OF DETERMINATION TO GRANT A  
PERMIT

PLANNING PERMIT APPLICATION NO: PA228337  
PROPERTY: 607 POINT NEPEAN ROAD  
MCCRAE VIC 3938

In response to your request of 22nd MAY 1992 enquiring  
as to whether an appeal has been lodged with the  
Tribunal, I advise that:

\* no valid appeals have been received at this office as  
at 11 AM on 22nd MAY 1992 .

Yours faithfully,

*[Signature]*  
REGISTRAR  
-----

:22- 5-92 :11:32AM :ADMIN. APPEALS TRIB. →

61 059 866696;# 3



# Administrative Appeals Tribunal of Victoria

800 Collins Street,  
Melbourne, Vic. 3000  
Telephone (01) 628 5333  
Fax (03) 629 4965  
DX 21

22nd MAY 1992

SHIRE OF FLINDERS PRIVATE B 6 1000  
DX 30059  
ROSEBUD VIC 3940

|                          |      |         |
|--------------------------|------|---------|
| FILE NO.                 |      |         |
| RECEIVED 22 MAY 1992     |      |         |
| REFERRED TO<br><i>DA</i> | DEPT | OFFICER |
| FOR                      |      |         |
| DRAFT REPLY              |      |         |
| FOR CE                   |      |         |
| DEPARTMENTAL             |      |         |
| REPLY                    |      |         |
| COMMITTEE                |      |         |
| RECOMMENDATION           |      |         |

Our ref:  
Your ref:  
Re:ref:

Dear Sir/Madam,

APPEALS SUBSEQUENT TO NOTICE OF DETERMINATION TO GRANT A  
PERMIT

PLANNING PERMIT APPLICATION NO: PA228337  
PROPERTY: 607 POINT NEPEAN ROAD  
MCCRAE VIC 3938

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Tribunal, I advise that:

\* no valid appeals have been received at this office as  
at 11 AM on 22nd MAY 1992 .

Yours faithfully,

REGISTRAR



21 May 1992

Administrative Appeals Tribunal  
DX 21 MELBOURNE

Dear Sir

**NOTICES OF DECISION ISSUED - 15TH APRIL, 1992**

I refer to the above matter and would like written confirmation as to whether objections have been lodged against the following:-

|           |               |                                     |  |
|-----------|---------------|-------------------------------------|--|
| PA.228609 | Johnson       | 3185 Point Nepean Road,<br>Sorrento | Use of existing premises<br>as tea rooms |
| PA.228436 | Gascoyne      | 125 Dundas Street, Rye              | Boundary and side fence                  |
| PA.228337 | A.V. Jennings | 607 Point Nepean Road,<br>McCrae    | Dwelling and associated<br>works         |
| PA.228353 | Astronova P/L | 206 Marine Drive, Safety<br>Beach   | Two storey dwelling                      |

The above Notices of Decision were posted on the 23rd April, 1992.

Yours faithfully

Irrelevant / Sensitive

Alex Atkins  
**SENIOR PLANNER**

(Reference: DB:JM PA's.228609, 228436, 228337, 228353 : Donna Brindley Direct Dial  
- 86 0144)

# MINUTES OF THE TOWN PLANNING MEETING OF 15/4/92 (CONT'D)

## APPLICATION NO. PA.228337 FOR PLANNING PERMIT A.V. JENNINGS

ITEM NO.2.3

The Committee considered the following Officer's report together with the attachments:-

|                 |   |             |
|-----------------|---|-------------|
| REPORT TO       | TOWN PLANNING COMMITTEE                       | ITEM NO:2.3 |
| DATE OF MEETING | 15TH APRIL, 1992                              |             |
| PREPARED BY     | SOTIRIOS KATAKOUZINOS                         |             |
| AUTHORISED BY   | MANAGER - PLANNING AND DEVELOPMENT            |             |
| SUBJECT         | APPLICATION NO. PA.228337 FOR PLANNING PERMIT |             |
|                 | A.V. JENNINGS (114627)                        |             |

|                    |   |
|--------------------|---|
| Application Lodged | : 11th December, 1991   |
| Requirements       | : Further information requested 24th December, 1991.<br>All requested information received 10th March, 1992 |
| Applicant          | : A.V. Jennings for J. Radcliffe  |
| Location           | : Lot 1, PS.310930Y<br>607 Point Nepean Road, McCrae  |
| Zoning             | : Hillside Residential  |
| Riding             | : Matthew   |

### Proposal

An application has been received for the construction of a single storey house and attached carport at 607 Point Nepean Road, McCrae. The proposed dwelling will be setback 5.27 metres to 5.81 metres from the front boundary and the carport attached to the front of the dwelling will be setback 2.04 metres to the front boundary.

The single storey dwelling will be constructed in brick veneer with Boral Coober Pedy (colour - dark red/brown) roof tiles. The maximum building height of the dwelling from natural ground level will be 4.9 metres and the roof line of both the residence and carport will employ Dutch gables. The site has a crossfall from front to rear of approximately 2.0 metres. The dwelling will be constructed on a slab and will involve earthworks. A retaining wall will be constructed up to 1.4 metres in height.

The existing tree at the front of the property (on site) will be removed.

The applicant was requested to provide a landscape schedule for the site nominating proposed indigenous plants generally local to the area to be planted, their location, species, quantity and size at planting, any mounding or earthscaping of the land and, any landscaping features to be provided.

The applicant has responded by letter received on 10th March, 1992 that he does not intend mounding or earthscaping of the land and no landscaping features will be provided. Additional indigenous planting is not proposed but existing indigenous trees and flowers will remain. Most of the area will be existing lawn.



22 April, 1992

The Manager  
AV Jennings  
2-8 Marlo Place  
HALLAM 3803

Dear Sir

**APPLICATION NO. 228337 FOR PLANNING PERMIT - J. RADCLIFFE**

Please find enclosed Notice of Decision to grant a permit in respect of the abovementioned application.

The Administrative Appeals Tribunal will advise Council after twenty eight (28) days from the date of this Notice whether any appeals have been lodged against Council's decision.

Upon receipt of written conformation from the Administrative Appeals Tribunal that no appeals have been lodged a Planning Permit will be issued for your approval.

Yours faithfully

Irrelevant / Sensitive

Ian Morris  
**MANAGER - PLANNING AND ENVIRONMENTAL SERVICES**

Enc

(Reference: JH : 114627 : Sotirios Katakouzinis - Direct Dial - 86 0235)



## SHIRE OF FLINDERS



**NOTICE OF  
DECISION TO  
GRANT A PERMIT**

Application No. PA.228337  
Planning Scheme Flinders Planning Scheme  
Responsible Authority Shire of Flinders

**ADDRESS OF LAND:**

LOT 1, PS.3109304, 607-609 POINT  
NEPEAN ROAD, McCRAE

**WHAT WILL THE PERMIT ALLOW?**

THE CONSTRUCTION OF A  
DWELLING AND ASSOCIATED  
WORKS

**WHAT WILL THE CONDITIONS OF THE PERMIT BE?  
CONDITIONS (1) TO (14) INCLUSIVE**

1. ALL BUILDINGS AND WORKS AUTHORISED OR REQUIRED BY THIS PERMIT SHALL BE CONSTRUCTED IN ACCORDANCE WITH AN ENDORSED PLAN AND SUCH PLAN SHALL BE IN SUBSTANTIAL ACCORDANCE WITH THE PLAN ACCOMPANYING THE APPLICATION BUT MODIFIED OR ELABORATED TO SHOW TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY:
  - a. A LANDSCAPE PLAN PROVIDED FOR THE SITE NOMINATING PREDOMINANTLY INDIGENOUS NATIVE PLANTS TO BE PLANTED, THEIR LOCATION, QUANTITY, SPECIES AND SIZE AT PLANTING.
2. PRIOR TO THE COMMENCEMENT OF BUILDINGS AND WORKS ON THE SITE, THE ENDORSED PLANS REFERRED TO IN CONDITION (1) MUST BE APPROVED BY THE RESPONSIBLE AUTHORITY.

**Date Issued:** 15th April, 1992

**Signature for the  
Responsible Authority**

Irrelevant / Sensitive

Municipal Offices, Boneo Road, Rosebud. Private Bag No. 1000, Rosebud, Victoria, 3939. Tel: (059) 81 1500. DX: 30059. Fax: (059) 86 6696

SEE IMPORTANT NOTES ON REVERSE SIDE



---

### WHAT HAS BEEN DECIDED?

---

The Responsible Authority has decided to grant a permit. The permit has not been issued.

This notice sets out on the reverse side what the permit will allow and what conditions the permit will be subject to if issued.

---

### WHAT ABOUT APPEALS?

---

- **For an Objector –**

An objector may appeal against the decision of the Responsible Authority to grant a permit. The appeal must be lodged within 21 days of the giving of this notice.

- **For the Applicant –**

The person who applied for the permit may appeal against any condition in the notice of decision to grant a permit. The appeal must be lodged within 60 days of the giving of this notice.

- If there is no appeal, a permit will be issued 28 days after this notice was issued.

- An appeal is lodged with the Administrative Appeals Tribunal.

10th Floor,  
500 Collins Street,  
MELBOURNE, 3000  
Phone: 628 5111

- A Notice of Appeal form can be obtained from the Administrative Appeals Tribunal.
- Details about appeals can be obtained from the Administrative Appeals Tribunal.



## SHIRE OF FLINDERS



**NOTICE OF  
DECISION TO  
GRANT A PERMIT**

|                       |                          |
|-----------------------|--------------------------|
| Application No.       | PA.228337                |
| Planning Scheme       | Flinders Planning Scheme |
| Responsible Authority | Shire of Flinders        |

PAGE 2

CONTAINING CONDITIONS (1) TO (14) INCLUSIVE

- 3 THIS PERMIT SHALL EXPIRE IF THE BUILDINGS AND WORKS HEREBY PERMITTED ARE NOT COMPLETED WITHIN TWENTY-FOUR (24) MONTHS OF THE DATE OF THIS PERMIT OR ANY EXTENSION OF SUCH PERIOD THE RESPONSIBLE AUTHORITY MAY ALLOW IN WRITING ON AN APPLICATION MADE BEFORE OR WITHIN THREE (3) MONTHS AFTER SUCH EXPIRY.
- 4 WITHIN SIX (6) MONTHS OF THE DATE OF THE ISSUE OF THE CERTIFICATE OF OCCUPANCY FOR THE BUILDINGS AND WORKS AUTHORISED BY THIS PERMIT, WHETHER IT IS OCCUPIED OR NOT, THE SITE SHALL BE LANDSCAPED IN ACCORDANCE WITH THE ENDORSED PLAN AND SHALL BE THEREAFTER MAINTAINED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
- 5 ALL DISTURBED SURFACES ON THE LAND RESULTING FROM THE BUILDINGS AND WORKS AUTHORISED BY THIS PERMIT SHALL BE REVEGETATED AND STABILISED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
- 6 ALL TREES AND SHRUBS ON THE SUBJECT LAND SHALL BE MAINTAINED IN GOOD ORDER AND CONDITION, AND ANY DEAD OR DISEASED TREES OR SHRUBS SHALL BE REPLACED AS SOON AS PRACTICABLE.
- 7 NO NATIVE VEGETATION OTHER THAN ON LAND SHOWN FOR THE CONSTRUCTION OF THE DWELLING AS SHOWN ON THE ENDORSED PLAN SHALL BE FELLED WITHOUT THE CONSENT IN WRITING OF THE RESPONSIBLE AUTHORITY.

Municipal Offices, Boneo Road, Rosebud. Private Bag No. 1000, Rosebud, Victoria, 3939. Tel: (059) 81 1500. DX: 30059. Fax: (059) 86 6696

SEE IMPORTANT NOTES ON REVERSE SIDE



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## SHIRE OF FLINDERS



**NOTICE OF  
DECISION TO  
GRANT A PERMIT**

|                       |                          |
|-----------------------|--------------------------|
| Application No.       | PA.228337                |
| Planning Scheme       | Flinders Planning Scheme |
| Responsible Authority | Shire of Flinders        |

**PAGE 3****CONTAINING CONDITIONS (1) TO (14) INCLUSIVE**

- 8 THE EXTERIOR FINISH OF THE BUILDINGS HEREBY PERMITTED SHALL BE NON REFLECTIVE AND OF MUTED TONES TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
- 9 THE DWELLING SHALL BE CONNECTED TO THE MELBOURNE WATER SYSTEM.
- 10 ALL STORMWATER FROM THE BUILDINGS AND WORKS HEREBY PERMITTED ON THE SITE SHALL BE DISCHARGED INTO THE STREET OR EASEMENT DRAINAGE SYSTEM TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
- 11 A VEHICULAR DRIVEWAY SHALL BE PROVIDED ON THE LAND AND SURFACED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY WITHIN SIX (6) MONTHS OF THE DATE OF PRACTICAL COMPLETION.
- 12 A CONCRETE VEHICULAR CHANNEL CROSSING AND A FOOTPATH CROSSING OF AN IMPERVIOUS MATERIAL SHALL BE PROVIDED TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY WITHIN SIX (6) MONTHS OF THE PRACTICAL COMPLETION OF THE BUILDING HEREBY PERMITTED.

Municipal Offices, Boneo Road, Rosebud. Private Bag No. 1000, Rosebud, Victoria, 3939. Tel: (059) 81 1500. DX: 30059. Fax: (059) 86 6696

**SEE IMPORTANT NOTES ON REVERSE SIDE**



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## SHIRE OF FLINDERS



**NOTICE OF  
DECISION TO  
GRANT A PERMIT**

|                       |                          |
|-----------------------|--------------------------|
| Application No.       | PA.228337                |
| Planning Scheme       | Flinders Planning Scheme |
| Responsible Authority | Shire of Flinders        |

**PAGE 4  
CONTAINING CONDITIONS (1) TO (14) INCLUSIVE**

- 13 ALL LAMPS USED TO ILLUMINATE THE EXTERIOR OF THE BUILDINGS AND WORKS SHALL BE FITTED WITH CUT-OFF LUMINARIES SO AS TO PREVENT THE EMISSION OF DIRECT LIGHT ONTO ADJOINING ROADWAYS AND LAND.
- 14 PRIOR TO THE SALE OR LEASE OF ANY PART OF THE LAND SUBJECT TO THIS PERMIT, A COPY OF THE PERMIT SHALL BE GIVEN BY THE VENDOR, TRANSFEROR OR LESSOR, TO THE PURCHASER, TRANSFEREE OR LESSEE OF THAT PART OF THE LAND.

Municipal Offices, Boneo Road, Rosebud. Private Bag No. 1000, Rosebud, Victoria, 3939. Tel: (059) 81 1500. DX: 30059. Fax: (059) 86 6696

**SEE IMPORTANT NOTES ON REVERSE SIDE**



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MELBOURNE, 3000  
Phone: 628 5111

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## SHIRE OF FLINDERS

PA.228337 - NOTICE OF DECISION

COPY OF DECISION SENT TO THE FOLLOWING:

Ms M F Lendrum  
605 Point Nepean Road  
McCRAE 3938



PA NUMBER ..... 228 337 .....

MEMORANDUM TO

: A. ATKINS  
M. ABBEY  
P. MCWHINNEY  
M. TEVENS  
S. KATAKOUZINOS  
P. RICCIOTTI  
I. DOUGLASS (T. CICER)  
M. LOFTUS HILLS  
B. HAMMOND

FROM

: DEVELOPMENT APPROVALS SECTION

PROPERTY ADDRESS

: 607 Nepean Hwy  
Mc Crae

DATE

14.4.92

:

COULD YOU PLEASE CHECK AMENDED PLANS?

COMMENTS:

PA228337.

Shire of Flinders,  
Attention : Mr R. Simpson

607, Nepean Hwy  
McCrae,  
Victoria 3938

5 Mar.92

Re: Proposed Dwelling at Lot 1, Nepean Hwy.  
McCrae.

I have to inform you that I do not intend mounding or earthscaping of the land, and no landscaping features will be provided.

I do not propose planting additional indigenous plants, but the existing indigenous trees and flowering shrubs will remain.

Most of the area will be existing lawn.

Irrelevant / Sensitive

J. Radcliffe



|                      |       |         |
|----------------------|-------|---------|
| FILE NO.             |       |         |
| RECEIVED 10 MAR 1992 |       |         |
| PREPARED TO          | FILED | OUTRICK |
| DA                   |       |         |



40  
1  
DEAN

- 2 -

Given the above, we are vitally interested in pursuing any course of action that may result in a satisfactory resolution of the problems, and would appreciate if you could keep us fully informed of the situation.

Yours faithfully,

Irrelevant / Sensitive

DAVID HALES

## PLANNING - ADVERTISING CHECKLIST

APPLICANT'S NAME A. V. Jennias

PROPERTY NUMBER

PA 228331

LOT 1. LP PS 3109304.

OFFICER *SK*

607-609 Point Nepean Rd.

DRAFT COND YES / NO

m<sup>c</sup>Cræ.

ADV. FEE PD YES / NO

PROPOSED USE:

Construction of a dwelling & associated works. The front setback of the carport will be 2.04 metres.

ADVTG 19/2/97 -- 4/3/97

COMPUTER 14 / 2 / 92

GAZETTE

NOT REQUIRED / REQUIRED

ISSUE DATE:-:

SIGN ON LAND

NOT REQUIRED / REQUIRED

ADJOINING / ADJACENT PROPERTY OWNERS ( 2 ) LISTED

RETURN RECEIPTS & CMPR NOS 42759-42761

TYPING - LETTER / PUBL NOTICE / LABELS

GREEN COPY TO RECORDS / YELLOW COPY TO FILE

## ADVERTISING DRAWER

MAIL / PICKUP

DATE ~~POSTED~~ / ~~COLLECTED~~ 14/2/92

ENVELOPE SHOULD HAVE

STAT DEC / ADV. PROC 1 / 2 / 3

ENVELOPES / RR / NOTICE

CMPR / ~~LETTER~~ / ~~GAZETTE COPY~~

SIGN

~~COVERING LETTERS - DEPT C&E~~

- OTHER

ADVERTISING COMPLETE WHEN -

RR (GREEN) NR / R 3CMPR (WHITE) NR. / (R) 3

STAT DEC NR / (R) \_\_\_\_\_

GAZETTE COPY NR / R \_\_\_\_\_

ADVTG FEE NR / R PAID

OBJECTIONS Y/N

FOLLOW - UP



**AVJennings**

HANS DE BOER-  
215 1406 .

With Compliments



2-8 Marlo Place Hallam Victoria 3803 Telephone (03) 215 1400 Facsimile (03) 796 5010

**Certified Mail Posting Receipt**  
*IMPORTANT: Read other side before completing*

 **Australia Post**

Item address (to be completed)

Mr B Tidy  
115 Patterson Road  
MOORABBIN 3189

Postcode

**DO YOU REQUIRE A RETURN RECEIPT**  
☒ Yes ☐ No (Tick appropriate box)

If "Yes", write the letters "AR" in the box on the gummed label, obtain a Return Receipt Card from the Post Office, complete it and attach it to the back of the item.

**NOTE: An extra fee is charged for this service.**



Keep this receipt and present it if you make an enquiry.

PA228337

PM120  
Feb 87

A 842759



**NOTE:** The Certified Mail service is available only to articles for delivery in Australia (does not extend to Christmas, Norfolk or Cocos (Keeling) Islands). Compensation up to a maximum of \$50 may be payable under the Postal By-laws in the event of loss or damage. The **COMPENSATION COVER DOES NOT EXTEND TO BANK NOTES unless sent by Security Post**; delay in delivery; inadequately wrapped/packed articles (sender's responsibility); perishables; coin, jewellery or negotiable securities not wrapped/packed according to special requirements; articles that contravene Commonwealth or State laws; loss or damage due to causes beyond Australia Post's control; or, any indirect or consequential loss. A claim must be made within 12 months from the date of lodgment of the item. If you do not obtain a posting receipt (see below) compensation in the event of total loss may not be payable.

**INSURANCE OR SECURITY POST OR A COMBINATION OF THESE SERVICES IS RECOMMENDED FOR VALUABLE ITEMS.**

1. Your item must bear the appropriate postage plus the Certified Mail fee and fees for Return Receipt or Priority Paid or Messenger Delivery where appropriate.
2. Write the name and address of the addressee on the face of this receipt and stick the gummed label on the address side of the item at the top left hand corner, leaving the receipt attached. Then present the item at a post office counter where the receipt will be postmarked and returned to you.
3. If you do not require a posting receipt, the item may be posted in the same manner as ordinary mail providing the gummed label is affixed.

**Certified Mail Posting Receipt**  **Australia Post**

*IMPORTANT: Read other side before completing*

Item addressed to: (Sender to complete)

Mr W Sidwell  
3 Rockingham Close  
KEW 3101

DO YOU REQUIRE A RETURN RECEIPT  
☒ Yes ☐ No (Tick appropriate box)

If "Yes", write the letters "AR" in the box on the gummed label, obtain a Return Receipt Card from the Post Office, complete it and attach it to the back of the item.

**NOTE: An extra fee is charged for this service.**

**DOVETON M.O.**  
**19 FEB 1992**  
Postman  
**WC 3111**

Keep this receipt and present it if you make an enquiry.

PM120 Feb 87  
**PA228337**

**A 842760**



**NOTE:** The Certified Mail service is available only to articles for delivery in Australia (does not extend to Christmas, Norfolk or Cocos (Keeling) Islands). Compensation up to a maximum of \$50 may be payable under the Postal By-laws in the event of loss or damage. **The COMPENSATION COVER DOES NOT EXTEND TO BANK NOTES unless sent by Security Post;** delay in delivery; inadequately wrapped/packed articles (sender's responsibility); perishables; coin, jewellery or negotiable securities not wrapped/packed according to special requirements; articles that contravene Commonwealth or State laws; loss or damage due to causes beyond Australia Post's control; or, any indirect or consequential loss. A claim must be made within 12 months from the date of lodgment of the item. If you do not obtain a posting receipt (see below) compensation in the event of total loss may not be payable.

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**Certified Mail Posting Receipt**  **Australia Post**

*IMPORTANT: Read other side before completing*

Item addressed to: (Sender to complete)

Mr & Mrs A Lendrum  
605 Point Nepean Rd  
MCCRAE 3938

Postcode

DO YOU REQUIRE A RETURN RECEIPT  
☒ Yes ☐ No (Tick appropriate box)

If "Yes", write the letters "AR" in the box on the gummed label, obtain a Return Receipt Card from the Post Office, complete it and attach it to the back of the item.

**NOTE: An extra fee is charged for this service.**

**DOVETON M.O.**  
**19 FEB 1992**  
**KIC 3171**

Postmark

Keep this receipt and present it if you make an enquiry.

PM120 Feb 87

PA228337

A 842761



**NOTE:** The Certified Mail service is available only to articles for delivery in Australia (does not extend to Christmas, Norfolk or Cocos (Keeling) Islands). Compensation up to a maximum of \$50 may be payable under the Postal By-laws in the event of loss or damage. The **COMPENSATION COVER DOES NOT EXTEND TO BANK NOTES unless sent by Security Post**; delay in delivery; inadequately wrapped/packed articles (sender's responsibility); perishables; coin, jewellery or negotiable securities not wrapped/packed according to special requirements; articles that contravene Commonwealth or State laws; loss or damage due to causes beyond Australia Post's control; or, any indirect or consequential loss. A claim must be made within 12 months from the date of lodgment of the item. If you do not obtain a posting receipt (see below) compensation in the event of total loss may not be payable.

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I, HANS DE BOER

of JENNINGS GROUP LTD  
2-8 MARIO PLACE, HAUAM 3803 in the State of Victoria  
do solemnly and

sincerely declare

THAT

IN THE MATTER OF THE EVIDENCE ACT 1958 AND THE PLANNING AND ENVIRONMENT ACT 1987

AND WITH REFERENCE TO PLANNING APPLICATION PA 228337.

I GAVE NOTICE OF THIS APPLICATION BY

ERECTING THE LARGE PUBLIC NOTICE ON THE LAND REFERRED TO  
IN THE ABOVE APPLICATION ON THE 13TH DAY OF  
FEBRUARY 1992 AND MAINTAINING SUCH  
NOTICE IN GOOD ORDER AND CONDITION FOR FOURTEEN (14)  
DAYS FROM THAT DATE.

I ALSO DECLARE THAT I AM THE APPLICANT MAKING THE ABOVE APPLICATION

I DECLARE THAT I AM THE — FOR THE APPLICANT MAKING THE ABOVE APPLICATION.

(please declare capacity, if second statement applicable)

AND I make this solemn declaration conscientiously believing the same to be true and by virtue of the provisions of an Act of the Parliament of Victoria rendering persons making a false Declaration punishable for wilful and corrupt perjury.

DECLARED at HAUAM in the  
State of Victoria this FIFTH  
day of MARCH One Thousand  
nine hundre  
Before

Irrelevant / Sensitive

Irrelevant / Sensitive

2  
815



## PUBLIC NOTICE

### APPLICATION FOR PLANNING PERMIT

An application for planning permit has been made which may affect you.

#### Details about the application

Address of the land

Lot 1 PS 310930Y  
607-609 Point Nepean Road McCrae

What use or development is proposed in the application?

Construction of a dwelling and associated works. The front setback of the carport will be 2.04 metres.

You may look at the application and any documents that support the application at the office of the Responsible Authority

SHIRE OF FLINDERS - Municipal Offices, Boneo Road, Rosebud, 3939  
(Private Bag 1000, Rosebud)

This can be done during office hours and is free of charge.

The application reference number is

PA 228337

You may object if you are affected by the granting of the permit

Your objection must:

- be in writing
- include the reasons for your objection
- be sent to the responsible authority

The Responsible Authority will not decide on the application until at least 14 days have elapsed from the date of this notice.

If you object, the Responsible Authority will tell you its decision.

Name of Applicant

A V Jennings

Signature

Irrelevant / Sensitive

Date of Notice

15th February 1992

OFFICER .....SK.....  
PROPERTY NO. ....114627.....

**DEVELOPMENT APPROVALS TO**

B.A. NO.....

P.A. NO. ....228337.....

MEMORANDUM TO : Greg Hay  
FROM : DEVELOPMENT APPROVALS CO-ORDINATOR  
PROPERTY ADDRESS : 607-609 Point Nepean Rd M<sup>c</sup>Crae.  
DATE : ~~14~~ 14/2/92.

Please check and advise

1.

STORMWATER TO OPEN DRAIN  
IN PT NEPEAN RD TO COUNCIL  
REQUIREMENTS

Irrelevant / Sensitive

6/3/92.



## PUBLIC NOTICE

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An application for planning permit has been made which may affect you.

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- include the reasons for your objection
- be sent to the responsible authority

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If you object, the Responsible Authority will tell you its decision.

Name of Applicant

A V Jennings

Signature

Date of Notice

19th February 1992

ACK 5/3/92 NL

3/3/92

LATE DELIVERY  
DEFERRED  
PROCESSING

Shire of Flinders,  
Municipal Offices,  
Boneo Rd.,  
ROSEBUD 3939

|                       |       |         |
|-----------------------|-------|---------|
| FILE No.              |       |         |
| RECEIVED - 4 MAR 1992 |       |         |
| REFERRED TO           | DEPT. | OFFICER |
| DA                    |       |         |
| FOR                   |       |         |
| DRAFT ONLY            |       |         |
| DEPARTMENTAL          |       |         |
| REPLY                 |       |         |
|                       |       |         |
|                       |       |         |

A.A. & M.F. Lendrum,  
605 Pt. Nepean Rd.,  
McCRAE 3938

Re: Application Reference No. PA 228337  
Lot 1 PS 3109307  
607-609 Point Nepean Rd.,  
McCRAE 3938

We object to the granting of this permit on the following grounds:

1. That the proposed development is unwarranted and unnecessary intrusion of my privacy, in that the proposed development is sited too close to the eastern and northern boundaries of the property.
2. That the proposed development will destroy my view of the immediate foreshore and street environment, in that the proposed development is sited too close to the northern boundary of the highway and thus not in keeping with the majority of Residences in the area.
3. That the roof of the proposed development will be an eyesore and not in keeping with the natural garden aesthetics of the area.
4. That the value of my property may be adversely affected by the proposed development due to adverse impact on the natural aesthetics of the area.
5. That possible future development of the property may give rise to an excessive occupancy ratio which is not in keeping with the area.

Yours faithfully,

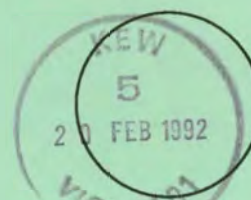
Irrelevant / Sensitive

MURIEL F. LENDRUM





Australia Post



Return to:

SHIRE OF FLINDERS

Postmark of  
Delivery Office

PRIVATE BAG 1000

ROSEBUD 3939


Postcode

Return Receipt Certified Mail No.

42760

Sender's Reference

PA228337

 **Australia Post** PM122/Oct'85

**RETURN RECEIPT**

Receipt is acknowledged of the Certified Mail item,  
the number of which appears on the face of this card

**Irrelevant / Sensitive**

Signature of Addressee or Agent

**Irrelevant / Sensitive**

Date delivered  
20, 2, 92



 Australia Post

Return to:

SHIRE OF FLINDERS  
PRIVATE BAG 1000  
ROSEBUD 3939  
Postcode

MOORAB  
PAID  
VIC-AUS  
5-2189  
Postmaster of  
Delivery Office  
3189

|  |                                |
|--|--------------------------------|
| Return Receipt Certified Mail No.<br>42758 | Sender's Reference<br>PA228337 |
|--|--------------------------------|

 **Australia Post** PM122/Oct'85

**RETURN RECEIPT**

Receipt is acknowledged of the Certified Mail item,  
of this card

**Irrelevant / Sensitive**

Signature of Addressee or Agent

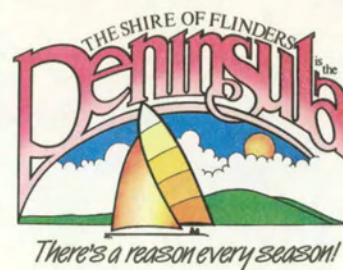
**Irrelevant / Sensitive**

Date delivered  
21, 2, 92



MSC.5001.0001.1088

# SHIRE OF FLINDERS



**VICTORIA 150**  
GROWING TOGETHER 1984-5  
© St of Vic 1981



## SHIRE OF FLINDERS



14th February 1992

The Manager  
A V Jennings  
2 Marlo Place  
HALLAM 3803

Dear Sir/Madam

PA 228337

PROPERTY : 607-609 Point Nepean Road McCrae

We refer to previous correspondence on the above planning permit application, and advise that under the provisions of the Flinders Planning Scheme and the Planning and Environment Act 1987, you must advertise the intended use of the land referred to.

We enclose all the paper work necessary for you to comply with the advertising procedure which is described on the accompanying page.

The advertising period for your application is :

START DATE 19th February '92 FINISH DATE 4th March 1992

This means that you must have implemented the procedure(s) described on the next page by the START DATE, and that no further action can be taken on your application until after the FINISH DATE.

Your application will receive further attention after the advertising period is finished and AFTER all the necessary proof of advertising, as detailed on the accompanying page, has been received by the Shire of Flinders. It is, therefore, very important that you get proof of advertising back to the Shire as soon as possible after the FINISH DATE, so that your application may proceed.

Please note that anyone can lodge an objection to your application. Should there be objections your application will automatically have to be tabled at a forthcoming Council meeting. You will be advised of progress and/or further requirements.

Please address any enquiries to Sotirios Katakouzinis, and quote the PA number given above on all communications.

Yours faithfully

Irrelevant / Sensitive

per (R. SIMPSON)

DEVELOPMENT APPROVALS CO-ORDINATOR

Enc.

1 / (2) / 3

ADVERTISING PROC 1 2 3

GAZETTE REQUIRED? YES / NO

PA 228 337

DATE 14/2/92

PAGE 1 OF 1

OWNERS OF ADJOINING / ADJACENT PROPERTIES

PROPERTY

OWNER

605 Point Nepean Rd McGee. Mrs Mrs A Lendrum

←

611 " " " " Mr B Tidy  
115 Patterson Rd  
Moorabbin Rd 31896 View Point Rd. Mr W Sidwell  
3 Rockingham Close  
Kew 3101

P5310930 Lot 2. (3 Remy Ltd) owner

REFERRAL AUTHORITIES Y/N

DEPT C &amp; E

VIC ROADS

PLANNING &amp; HOUSING

OTHER



ADVERTISING OF PLANNING APPLICATION

PLANNING APPLICATION NUMBER 228337  
 PLANNING OFFICER SK  
 DATE OF APPLICATION 11-12-91  
 NAME OF APPLICANT A.V. JENWINGS  
 ADDRESS OF APPLICANT 2 MARLO PLACE  
HALLAM  
 DETAILS OF LAND LOT 1 LP PS. 310930Y  
607-609 POINT NEPEAN ROAD,  
MCCRAE.

USE, DEVELOPMENT, MATTER OR THINGS FOR WHICH PERMIT IS SOUGHT

CONSTRUCTION OF A DWELLING AND ASSOCIATED WORKS

THE FRONT SETBACK OF THE CARPORT WILL BE 2.04 METRES

## COMMENTS

It is recommended that the opinion be formed that the grant of a permit may cause substantial detriment to persons other than the applicant, and that the applicant be required to advertise the proposal in accordance with Section 52 of the Planning & Environment Act by:

- 1) GIVING NOTICE IN WRITING TO THE OWNERS OF (NO \_\_\_\_\_) ADJOINING AND ADJACENT PROPERTIES YES / NO
- 2) PLACING A NOTICE ON THE LAND REFERRED TO YES / NO
- 3) PUBLISHING A COPY OF THE NOTICE IN THE SOUTHERN PENINSULA GAZETTE \_\_\_\_\_ YES / NO

IF NO OBJECTIONS ARE RECEIVED A PLANNING PERMIT WILL BE ISSUED AFTER SEVEN (7) DAYS \_\_\_\_\_ YES / NO

(if 'yes' draft conditions must be attached)

AUTHORISED BY \_\_\_\_\_ CHECKED BY \_\_\_\_\_

NOTES / SPECIAL REQUIREMENTS:

Refer to Engineers.

## SHIRE OF FLINDERS

**RECEIPT OF PAYMENT****THIS IS A RECEIPT FOR PAYMENT ONLY.**

This receipt is not to be taken as an application for any approval for a permit. No such approval is given until the official permit is issued, duly signed by an authorised officer of the shire.

RECEIVED THE AMOUNT PRINTED ON BACK HEREOF

PARTICULARS

ADVERTISING

PA 228337

607 NEPEAN HWY N- CRNE

NAME

A.V. JENNINGS

STREET

2 MARLO PLACE

TOWN

HALPAM

A340000501

Code

Amount \$

20 : —



**SHIRE OF FLINDERS**

MUNICIPAL OFFICES, ROSEBUD. 3939

**OFFICIAL RECEIPT**

TELEPHONE: (059) 81 1500

DATE

REC. No.

DESCRIPTION

REF. No.

AMOUNT

Cashier 2 Ctr CHq

07/02/92 6499

A JENNINGS

A340000501

20.00

RECEIVED PAYMENT AS DETAILED SUBJECT TO CHEQUES BEING PAID

PA NUMBER .....228337.....

MEMORANDUM TO

: A. ATKINS  
M. ABBEY  
P. MCWHINNEY  
M. IEVENS  
S. KATAKOUZINOS  
P. RICCIOTTI  
I. DOUGLASS  
M. LOFTUS HILLS  
B. HAMMOND

FROM

: DEVELOPMENT APPROVALS SECTION

PROPERTY ADDRESS

: 607 Nepean Hwy...  
McCrae.....

DATE

: 6/2/92

COULD YOU PLEASE CHECK AMENDED PLANS?

COMMENTS:

Amended plans OK to advertise.

SK 10/2/92



**AVJennings**

SOTIRIOS -

INFORMATION. AS REQUESTED TO PROVIDED -

With Compliments



THANKS HANS DE BOER  
215 1406

A JENNINGS GROUP LIMITED A.C.N. 004 283 523 BUSINESS  
2-8 Marlo Place Hallam Victoria 3803 Telephone (03) 215 1400 Facsimile (03) 796 5010

## SHIRE OF FLINDERS



24th December, 1991

The Manager  
A V Jennings  
2 Marlo Place  
HALLAM 3803

Dear Sir

PA.228337 PROPOSED DWELLING AT  
PROPERTY: 607 NEPEAN HIGHWAY, MCCRAE

|                       |      |         |
|-----------------------|------|---------|
| FILE NO.              |      |         |
| RECEIVED - 6 FEB 1992 |      |         |
| REFERRED TO           | DEPT | OFFICER |
| DA                    |      |         |
| FOR                   |      |         |
| DRAFT REPLY           |      |         |
| FOR C.E               |      |         |
| DEPARTMENTAL          |      |         |
| REPLY                 |      |         |
| COUNCIL               |      |         |
| COMMITTEE             |      |         |
| INFORMATION           |      |         |

In regard to your application received at this office on the 11th December, 1991 I wish to advise that in order to expedite the processing of your application, the following additional information is required in accordance with Section 54 of the Planning and Environment Act, 1987:-

Four copies of a site plan which shows the following:-

Location of existing trees and shrubs on the site to be retained or removed;

a landscape schedule for the whole site nominating proposed indigenous plants generally local to the area to be planted, their location, species, quantity and size at planting, any mounding or earthscaping of the land and, any landscaping features to be provided;

any existing easements or rights of way; No.

dimensions and title particulars of the site;

the front setback of the carport from its eave overhang.

the precise floor levels of the ground on which all buildings are to be erected and works carried on;

colour of roof tiles;

Cont'd ..../2.

\$ 114

TOWN PLANNING FEE

CHEQUE TO CASHIER

\$ 20

ADVERTISING FEE

\$ 134.00

\$ 134

TOTAL



# SHIRE OF FLINDERS



Page 2.

the maximum building height above natural ground level dimensioned on all elevations;

Upon receipt of the requested information you may be directed to give notice of the application by certified mail to abutting property owners.

Please contact Sotirios Katakouzinis at this office if you require further information on this matter.

Yours faithfully

Irrelevant / Sensitive

Alex Atkins  
SENIOR PLANNER

(Reference: SK:JM PA.228337 : Sotirios Katakouzinis - Direct Dial 86 0239)

8 FEB 1992

# PLAN OF SUBDIVISION

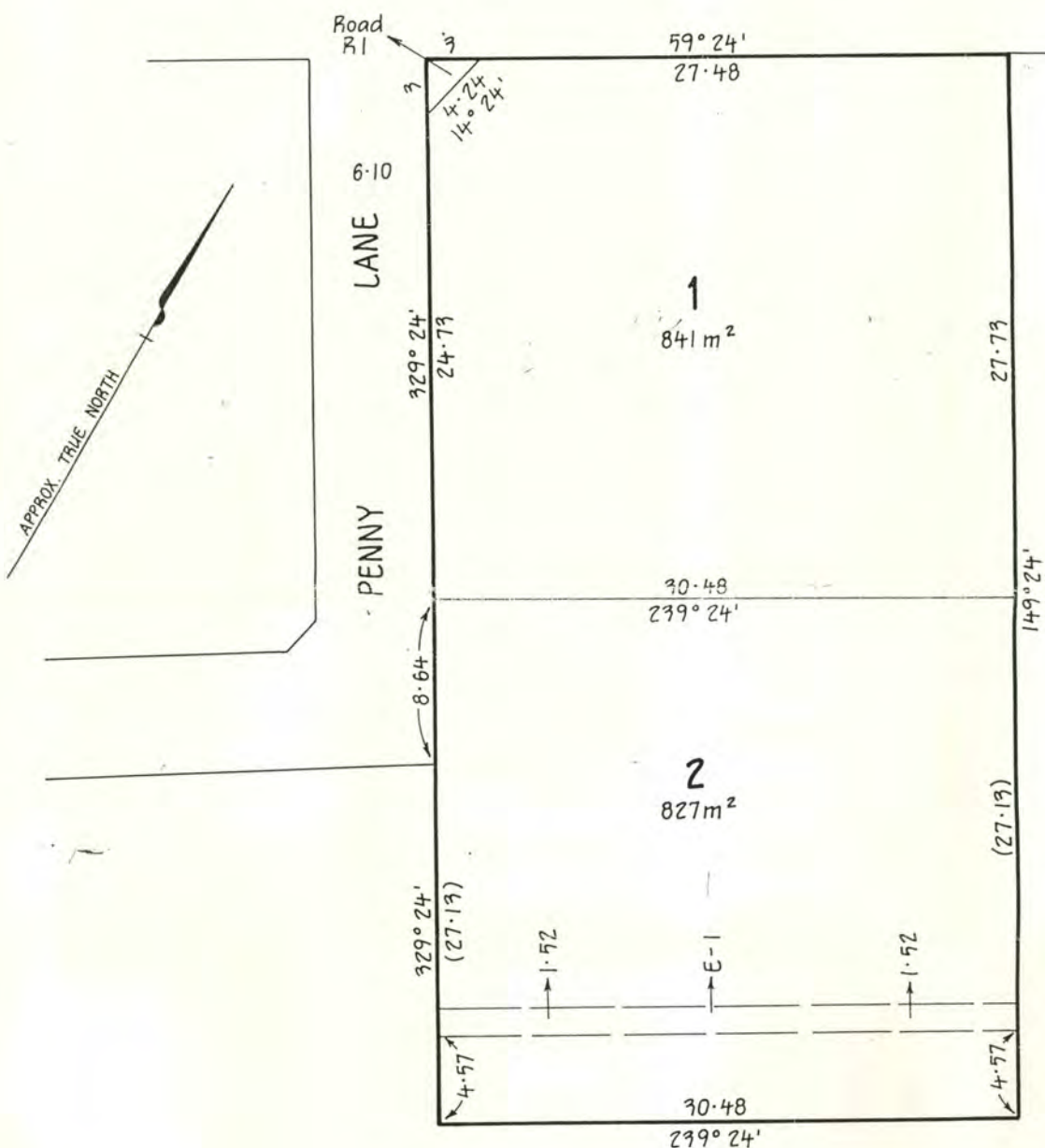
STAGE No.

PLAN NUMBER

PS 310930 Y

NEPEAN

HIGHWAY



**WATSONS PTY. LTD.**

LICENSED SURVEYORS

5 MAIN STREET, MORNINGTON 3931 PH. (059) 75 4644

2.5 0 2.5 5.0 7.5 10 12.5  
LENGTHS ARE IN METRES

ORIGINAL  
SCALE  
1:250  
SHEET  
SIZE  
A3

LICENSED SURVEYOR (PRINT) Ian Thomas Muir

SIGNATURE Irrelevant / Sensitive

DATE 5/6/91

REF 29188

VERSION 1

SHEET 2 OF 2 SHEETS

DATE / /

COUNCIL DELEGATE SIGNATURE

10 110 120 130 140 150mm

Crefields PS03



|   |   |   |                                 |  |
|---|---|---|---------------------------------|--|
| PLAN OF SUBDIVISION   |   | STAGE No<br>—   | LTO USE ONLY<br>EDITION         | PLAN NUMBER<br>PS 310930 Y                                       |
| LOCATION OF LAND  |   | COUNCIL CERTIFICATION AND ENDORSEMENT   |                                 |  |
| PARISH: Wannaeue  |   | COUNCIL NAME: Shire of Flinders REF: P.S. 4772  |                                 |  |
| TOWNSHIP: —   |   | 1. This plan is certified under Section 6 of the Subdivision Act 1988.  |                                 |  |
| SECTION: B  |   | 2. This plan is certified under Section 11(7) of the Subdivision Act 1988.<br>Date of original certification under Section 6. / / |                                 |  |
| CROWN ALLOTMENT: —  |   | 3. This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.   |                                 |  |
| CROWN PORTION: 1 (Part)   |   | OPEN SPACE  |                                 |  |
| LTO BASE RECORD:<br>TITLE REFERENCES: Vol. 5893 Fol. 553<br>Vol. 5922 Fol. 314  |   | (i) A requirement for public open space under Section 18 of the Subdivision Act 1988 has/has not been made.                       |                                 |  |
| LAST PLAN REFERENCE/S: Lots 8 & 9 Pts.<br>Lots 52 & 53, L.P. 11038  |   | (ii) The requirement has been satisfied.  |                                 |  |
| POSTAL ADDRESS:<br>(At time of subdivision) 607-609 Nepean Highway<br>Mc Crae   |   | (iii) The requirement is to be satisfied in Stage .....   |                                 |  |
| AMG Co-ordinates<br>(of approx centre of land<br>in plan) E 319400<br>N 5753600 ZONE: 55  |   | Council Delegate<br>Council Seal<br>Date / /  |                                 |  |
| VESTING OF ROADS AND/OR RESERVES  |   | Re-certified under Section 11(7) of the Subdivision Act 1988.<br>Council Delegate<br>Council Seal<br>Date / /                     |                                 |  |
| IDENTIFIER  | COUNCIL/BODY/PERSON   | NOTATIONS   |                                 |  |
| Road R1   | Shire of Flinders   | STAGING This <del>is</del> is not a staged subdivision.<br>Planning permit No. 15049  |                                 |  |
|   |   | DEPTH LIMITATION<br>Does not apply.<br>Lot 2 is not subject to survey.  |                                 |  |
| SURVEY THIS PLAN IS <del>IS NOT</del> BASED ON SURVEY<br>THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s)<br>IN PROCLAIMED SURVEY AREA No. |   |   |                                 |  |
| EASEMENT INFORMATION  |   |   |                                 | LTO USE ONLY   |
| LEGEND  | A - Appurtenant Easement  | E - Encumbering Easement  | R - Encumbering Easement (Road) | STATEMENT OF COMPLIANCE/<br>EXEMPTION STATEMENT                  |
| Easement<br>Reference   | Purpose   | Width<br>(Metres)   | Origin                          | Land Benefited/In Favour Of                                      |
| E - 1   | Drainage  | 1.52  | L.P. 11038                      | Lots on L.P. 11038   |
| R 1   | Way, Drainage, Sewerage<br>and supply of Gas,<br>Water, Electricity and<br>Telephone Services | See<br>Diagram  | This Plan                       | Lots on This Plan  |
| RECEIVED <input type="checkbox"/>   |   |   |                                 | DATE / /   |
| LTO USE ONLY  |   |   |                                 | PLAN REGISTERED  |
|   |   |   |                                 | TIME   |
|   |   |   |                                 | DATE / /   |
| Assistant Registrar of Titles   |   |   |                                 |  |
| SHEET 1 OF 2 SHEETS   |   |   |                                 |  |
| WATSONS PTY. LTD.<br>LICENSED SURVEYORS<br>5 MAIN STREET, MORNINGTON 3931 PH. (059) 75 4644   |   | LICENSED SURVEYOR (PRINT) Ian Thomas Muir<br>SIGNATURE Irrelevant / Sensitive DATE 5 / 6 / 91<br>REF 29188 VERSION 1              |                                 | DATE / /<br>COUNCIL DELEGATE SIGNATURE<br>ORIGINAL SHEET SIZE A3 |



24th December, 1991

The Manager  
A V Jennings  
2 Marlo Place  
HALLAM 3803

Dear Sir

PA.228337 PROPOSED DWELLING AT  
PROPERTY: 607 NEPEAN HIGHWAY, MCCRAE

In regard to your application received at this office on the 11th December, 1991 I wish to advise that in order to expedite the processing of your application, the following additional information is required in accordance with Section 54 of the Planning and Environment Act, 1987:-

Four copies of a site plan which shows the following:-

- . Location of existing trees and shrubs on the site to be retained or removed;
- . a landscape schedule for the whole site nominating proposed indigenous plants generally local to the area to be planted, their location, species, quantity and size at planting, any mounding or earthscaping of the land and, any landscaping features to be provided;
- . any existing easements or rights of way;
- . dimensions and title particulars of the site;
- . the front setback of the carport from its eave overhang.
- . the precise floor levels of the ground on which all buildings are to be erected and works carried on;
- . colour of roof tiles;

Cont'd ../2.

PA 228337 .



Page 2.

- . the maximum building height above natural ground level dimensioned on all elevations;

Upon receipt of the requested information you may be directed to give notice of the application by certified mail to abutting property owners.

Please contact Sotirios Katakouzinis at this office if you require further information on this matter.

Yours faithfully

Irrelevant / Sensitive

Alex Atkins  
SENIOR PLANNER

(Reference: SK:JM PA.228337 : Sotirios Katakouzinis - Direct Dial 86 0239)

PA 228 337



18th December, 1991

The Manager  
A V Jennings  
2 Marlo Place  
HALLAM 3803

Dear Sir

PROPERTY: 607-609 NEPEAN HIGHWAY, MCCRAE

A preliminary examination of your planning permit application indicates that advertising will be required.

The Council, as the Responsible Authority under the Flinders Planning Scheme, 1988 and the Planning and Environment Act, 1987, can only issue a permit without advertising where it forms the view there is likely to be no material detriment to the occupiers and owners of property in the vicinity. If the Council fails to accurately assess the proposal and does not require advertising, aggrieved persons may appeal and request cancellation of the permit even though works may have commenced.

As a service to applicants, the Development Approvals Section will prepare all required advertising material for a fee of \$20.00 to cover administrative costs.

If you wish the Shire to provide the necessary information, please sign and return the enclosed request form together with payment of the fee requested. This will allow us to prepare and forward to you this information with the minimum delay following assessment by the Planning Officer involved.

The Planning Officer dealing with your application is Sotirios Katakouzinis. Please contact the writer and quote application No. PA.228337 if you require any further information.

Please note that a Town Planning Fee of \$114.00 is also required.

Yours faithfully

*PA 228337*

Irrelevant / Sensitive

Rosemary Simpson  
DEVELOPMENT APPROVALS CO-ORDINATOR

Enc.

(Reference: DB:JM PA.228337 : Donna Brindley - Direct Dial 86 0144)



**DEVELOPMENT APPROVALS SECTION****RESIDENTIAL USES - DWELLINGS / UNITS / ASSOCIATED WORKS.**

Application no ..... 228337.

Date received ..... 11-12-91.

Counter / Mail

Property no ..... 114627

Title details ..... 8 # 9 A.52.

Property address ..... 607-609 NARRAN HWY, MCCORMACK

Zoning ..... HILLSIDE RES / COASTAL RANCY

Type of work ..... PROPOSED DWELLING

Permit

Required / not required

Type of permit

Delegated / Council

Officer dealing with application ..... SK

Comments to officer ..... this looks a bit big for the  
land particularly if earthworks are going  
into the block next door  
possible refusal

Plans

Town Planning application form

Permit fees rec no.

Carparking fee (commercial)

| REQUIRED | RECEIVED    |
|----------|-------------|
| 4.       | 2.          |
| 1.       |             |
| to come  | PAID 7/2/92 |
|          |             |

Building application

yes / no 228337

Drainage check

yes / no

Site inspection required

yes / no

Building height over 4.5 m

yes / no

Advertising required

yes / no

Advertising prepared

Date .....

Tree removal

yes/no

Colour on plan

yes/no

Referrals

yes / no

Engineer

yes / no

Road opening

yes / no

Health Dept.

yes / no

Building Surveyor

yes / no

Other

1A-NB  
BVTfee + advert letter  
16-12-91



# APPLICATION FOR PLANNING PERMIT

CODE 4!

3

PLANNING FEE \$114: 00  
=====228337  
APPLICATION NUMBER11-12-91  
DATE RECEIVED

Please print clearly. Please read the notes on the back before completing this form.

**THE APPLICANT.**

Who is making this application

|         |                        |   |
|---------|------------------------|---|
| Name    | A.V. JENNINGS.         |   |
| Address | 2 MARLO PL.<br>HALLAM. | 215-1400<br>Phone during business hours |

**THE LAND**

What is the address of the land

|                                   |
|-----------------------------------|
| Lot 1. NEPTUN HIGHWAY.<br>MCCRAE. |
|-----------------------------------|

Please attach a sketch plan if necessary

**THE PROPOSAL**

|   |
|---|
| Describe the way the land is proposed to be used or developed |
| NEW DWELLING.   |
| Describe the way the land is used now                         |
| VACANT.   |

**THE COST OF THE DEVELOPMENT**

State the estimated cost of the proposed development. Be aware that you may be required to verify this estimate.

\$ 115-000

**THE OWNER**

Complete either A, B, or C

|  |                        |
|--|------------------------|
| A. I/We, the Applicant, own the land:  | Signature              |
| B. I am the owner of the land. I have seen this application                            | Owner's Signature      |
| Name   |                        |
| Address  |                        |
| Phone  | Irrelevant / Sensitive |
| C. I/We the Applicant declare that I/We have notified the owner about this application |                        |
| I declare that all the information I have given is true.                               |                        |
| Name   |                        |
| Date   |                        |



## HOW TO APPLY FOR A PLANNING PERMIT

Applications must be filled out on an "Application for Planning Permit".

**YOU MUST GIVE FULL DETAILS** of your proposal and attach as many supporting documents as possible. If you do not give enough detail you will be asked for more information. This **WILL DELAY** your application.

### THE APPLICANT

- . Give your full name or the name of the company.
- . Give your full postal address and your contact phone number

### THE LAND

- . Give the street number, street name, town and postcode.
- . If you cannot give this information, then you must give:
  - the lot number and lodged plan number.
  - or -the Title particulars
  - or -the Crown Allotment particulars.

If you attach a plan, include:

- the boundaries of the land and their measurements.
- the street it faces.
- the nearest intersecting street and the distance from this street.
- the name of all streets on the plan.
- the direction of north.
- the scale of the plan

### THE PROPOSAL

- . Describe fully what you want to do with the land, for example, build a factory and use it for making milk cartons. Attach additional information if there is insufficient room.
- . Attach a plan to show details of the proposed development.
- . Briefly describe the current use of the land and any buildings.

### THE COST OF THE DEVELOPMENT

- . The estimated cost of the development is used to assess the amount of any fee you may have to pay. Development here refers to the buildings and works you intend to construct on the land. If no buildings or works are proposed and you only intend to change the use in an existing building or on the land, the word 'NIL' should be written in this square.
- . The Responsible Authority can tell you the fee you have to pay.

### HAVE YOU

- . Answered all the questions?
- . included payment to cover the application fee, if required?
- . attached all the maps, plans, photographs and other documents?
- . included a list of all the documents?
- . The Responsible Authority will tell you how many copies of each document it needs.

**REMEMBER** it is against the law to give false or misleading information. You may receive a heavy fine and your permit may be cancelled.

Send the completed form and all the documents to the Responsible Authority:

---



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**SHIRE OF FLINDERS**

MUNICIPAL OFFICES, ROSEBUD. 3939

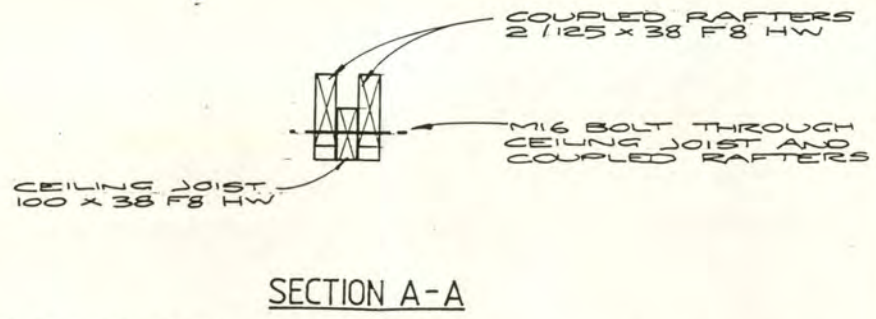
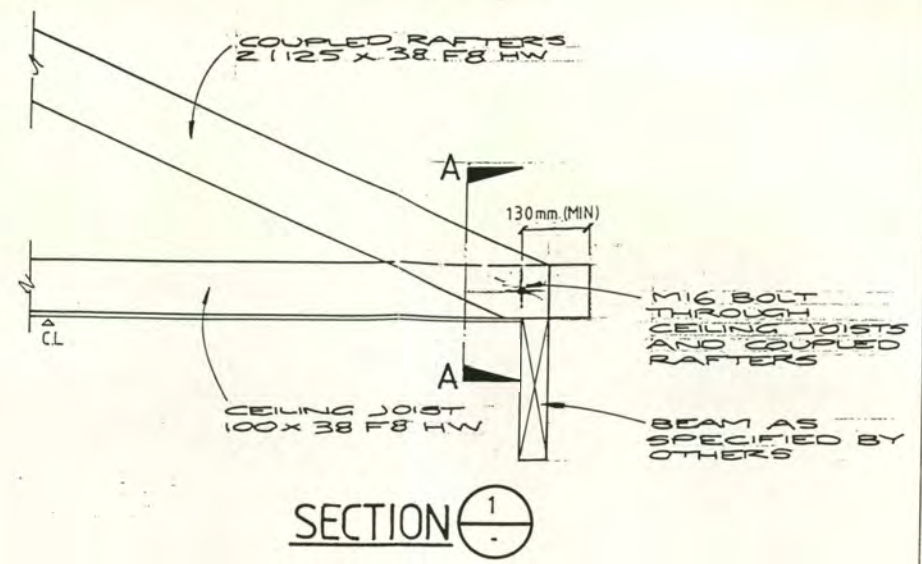
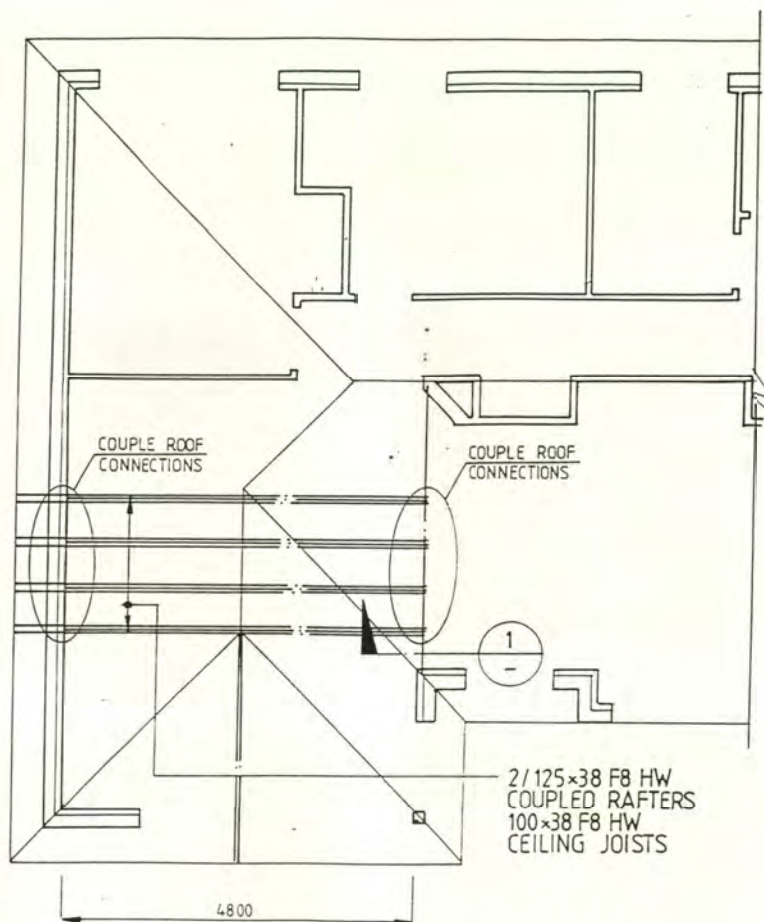
**OFFICIAL RECEIPT**

TELEPHONE: (059) 81 1500

| DATE              | REC. No. | DESCRIPTION         | REF. No.   | AMOUNT |
|-------------------|----------|---------------------|------------|--------|
| Cashier 2 Ctr CHq |          |                     |            |        |
| 07/02/92          | 6500     | PA228337 A JENNINGS | A330000504 | 114.00 |

RECEIVED PAYMENT AS DETAILED SUBJECT TO CHEQUES BEING PAID





NOTES

GENERAL

- G1 These drawings shall be read in conjunction with all Architectural and other Consultants drawings and specifications and with such other written instructions as may be issued during the course of the contract. Any discrepancies shall be referred to M.R. Anderson & Associates Pty. Ltd. before proceeding with the work.
- G2 Materials and workmanship are to be in accordance with the relevant current SAA Codes except where varied by the project specification.
- G3 All dimensions shown are to be verified on site. Engineer's drawings must not be scaled.

- G4 Substitutions must be approved by M.R. Anderson & Associates Pty. Ltd. and be included in any tender.
- G5 During construction the structure shall be maintained in a stable condition and no part shall be overstressed.
- G6 Filling under slabs on ground to be granular material compacted in 150 mm layers to achieve a minimum of 95% Relative "Standard" Density.

T2 ALL TIMBER FRAMEWORK SHALL COMPLY WITH TIMBER FRAMING MANUAL AND THE TIMBER FRAMING CODE AS 1684

STRUCTURAL TIMBERWORK

- T1 All structural timberwork and its testing shall comply with the current AS 1720 timber engineering code. All timber shall have a moisture content of not less than 10% and not more than 15% at the time of erection.

| NO. | AMENDMENT | DATE | ORIENTATION |
|-----|-----------|------|-------------|
|     |           |      |             |
|     |           |      |             |
|     |           |      |             |
|     |           |      |             |
|     |           |      |             |
|     |           |      |             |
|     |           |      |             |



**M. R. ANDERSON AND ASSOCIATES PTY. LTD.**  
CONSULTING ENGINEERS  
61 OXFORD STREET COLLINGWOOD VIC 3066 TELEPHONE (03) 419 2800

CLIENT: A.V. JENNINGS

COUPLED ROOF FOR BROADWAY 200

|                      |                      |
|----------------------|----------------------|
| DATE<br>SEPTEMBER 91 | JOB NO.<br>3567      |
| DRAWN<br>C. HAYES    |                      |
| CHECKED<br>VG.       | SHEET NO.<br>S1 OF 1 |
| SCALE<br>1:10 1:50   |                      |

TURNBULL DESIGN & CONSTRUCTION PTY. LTD.

*Consulting Structural Engineers*

21 Church Street, HAWTHORN, 3122 Phone: (03) 853 9688 Fax: 853 0420

DOUGLAS A. TURNBULL, B.E.(CIVIL), M.ENG.(CIVIL), M.I.E.AUST.

SHEET: 1 of 4

JOB No: 91144

DATE: May 30, 1991

ENGINEER: Patrick Irwin

## STRUCTURAL COMPUTATIONS

Beam over Rumpus/Meals to Broadway 200 Home

For A V Jennings Homes

CLIENT: A V Jennings Homes

ISSUE DATE: May 30, 1991

JOB No: 91144

ENGINEER:

Irrelevant / Sensitive

PATRICK IRWIN,  
B.ENG.(CIVIL), M.I.E. AUST., CP.ENG.



**TURNBULL DESIGN & CONSTRUCTION PTY. LTD.**  
*Consulting Structural Engineers*  
 21 Church Street, HAWTHORN, 3122 Phone: (03) 853 9688 Fax: 853 0420

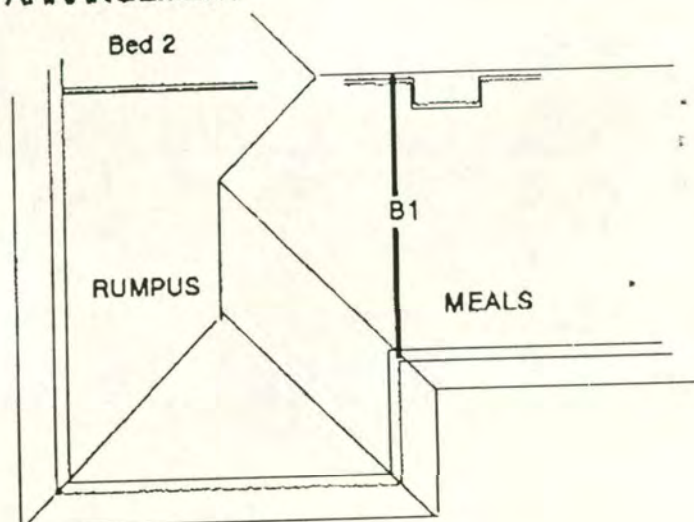
SHEET: 2 of 4  
 JOB No: 91144  
 DATE: May 30, 1991  
 ENGINEER: Patrick Irwin

DOUGLAS A. TURNBULL, B.E.(CIVIL), M.ENG.(CIVIL), M.I.E.AUST.

## INTRODUCTION

Require check of counter/propping ebeam over Rumpus/Meals to new Broadway Premier home. Installation is conventional.

## ARRANGEMENT



## DESIGN LOADS

|              |  |                                     |
|--------------|--|-------------------------------------|
| Roof dl =    | Concrete tiles & battens<br>hardwood rafters             | 0.60<br><u>0.08</u><br>0.68         |
| Roof ll =    | area < 14.0 m <sup>2</sup><br>area ≥ 14.0 m <sup>2</sup> | 1.8/A+0.12<br>0.25                  |
| Ceiling dl = | hardwood joists<br>insulation<br>13 mm plasterboard      | 0.06<br>0.02<br><u>0.11</u><br>0.19 |

## DESIGN STANDARDS

|         |                |
|---------|----------------|
| LOADS:  | AS 1170 - 1989 |
| TIMBER: | AS 1720 - 1988 |

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SHEET: 3 of 4

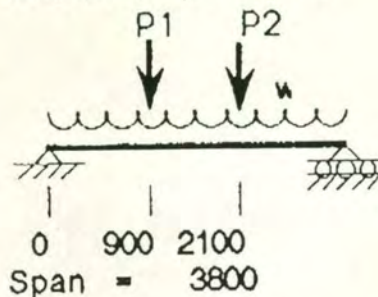
JOB No: 91144

DATE: May 30, 1991

ENGINEER: Patrick Irwin

**BEAM B1**

Carries roof props & ceiling hangers and tied rafters over rumpus. Laterally restrained by hangers.



|              |   |                                   |             |
|--------------|---|-----------------------------------|-------------|
| $P1_{dl}$    | = | 5.0 m <sup>2</sup> roof @ 0.68    | 3.40        |
| $P1_{ll}$    | = | 5.0 m <sup>2</sup> roof @ 0.25    | 1.25        |
| $P1_{dl+ll}$ | = |                                   | 4.65        |
| $P2_{dl}$    | = | 6.0 m <sup>2</sup> ceiling @ 0.19 | 1.14        |
| $w_{dl}$     | = | 2700 roof @ 0.68                  | 1.84        |
|              |   | 900 ceiling @ 0.19                | 0.17        |
|              |   | self weight estimate              | <u>0.20</u> |
|              |   |                                   | 2.21        |
| $w_{ll}$     | = | 2700 roof @ 0.25                  | 0.68        |
| $w_{dl+ll}$  | = |                                   | 2.89        |
| $M_{dl+ll}$  | = |                                   | 9.5         |

**TRY 3, 240 x 35 F27 SEASONED HARDWOOD**

|                      |   |                          |            |
|----------------------|---|--------------------------|------------|
| Long term deflection | = | 2*(dead load deflection) |            |
|                      | = | 8.7 mm                   | ok         |
|                      | = | L/435                    | < L/300 ok |

Live load deflection, not critical design case for roof supporting member. ok

$$f_{bc} = M_{dl+ll}/Z \quad 9.4$$

$$F_{bc} = K_1 * K_{12} * F'_b$$

$$= 1.65 * 0.90 * 27.0 \quad 40.1 \quad ok$$

**ALTERNATIVELY, TRY 3, 240 X 36 F14 LVL**

$$\text{Long term deflection} = 2 * \text{dead load deflection}$$



**TURNBULL DESIGN & CONSTRUCTION PTY. LTD.***Consulting Structural Engineers*

21 Church Street, HAWTHORN, 3122 Phone: (03) 853 9688 Fax: 853 0420

SHEET: 4 of 4

JOB No: 91144

DATE: May 30, 1991

ENGINEER: Patrick Irwin

**DOUGLAS A. TURNBULL, B.E.(CIVIL), M.ENG.(CIVIL), M.I.E.AUST.**

$$= 12.6 \text{ mm}$$

&lt; 9 mm ok

$$= L/301$$

&lt; L/300 ok

Live load def'n not critical design case for roof supporting member

ok

$$f_{bc} = M_{dl+ll}/Z$$

9.2

$$F_{bc} = K_1 * K_{12} * F'_b$$

$$= 1.65 * 0.90 * 14.0$$

20.8 ok

ADOPT

3, 240 x 35 F27 SEASONED HARDWOOD

ALTERNATIVELY

3, 240 X 38 F14 LVL



**WATER SUPPLY:**

~~NOTE: The Owner is to supply temporary water facilities for building purposes where house supply will be by tank or where water supply is not available prior to commencement.~~

The Contract allows for the gas main of the Local Supply to be available at the site. ~~Where gas is not available, special equipment and reticulation may be included as a variation to the Contract at the Owner's request, this will not include actual connection or "bottled gas" facilities.~~

The Contract allows for the power supply to be connected to the dwelling directly from the authorities supply pole not more than 10m away. Any further extension costs or heavier cable requirements due to low voltage areas are to be carried out at the expense of the Owner.

The Contract above for septic sewer system to be provided subject to the conditions stipulated by the Township Health Inspector in regard to type and method of installation. Pumps on filter bed systems not included in contract. Sewer where main is existing to be carried out to M.M.B.W. or Local Authority's requirements.

The Contract allows for the site to be clear of obstructions likely to interfere with building operations, and to be satisfactorily accessible for vehicles to deliver materials. This is to be made available by Owner at his expense where required, prior to the commencement of building operations.

Where boundary survey pegs or defined boundaries do not exist, a check survey will be required to be provided by the Owner at his expense prior to commencement of building operations.

The site will be fenced as specified to those boundaries defined on plan.  
The Owner is required to have removed all existing fencing or obstructions along boundaries required to have a new fence

The owner should take care not to significantly alter the foundation soil moisture conditions e.g. by allowing trees to grow near the building walls. The position of sewerage and stormwater drains as shown on site plan are indicative only. Subject to the approval of the local authority.

Excess solite to be removed from site.  
All vegetation and organic materials  
to be scraped clear of slab area.  
Fill as required to slab area.

**PLUMBING:**

- Septic affluent drains  
90mm untested P.V.C S.W.D  
Concrete encased S.W.D  
A.G drains  
Underground main drain  
(where known to exist)  
Precast Concrete spoon drain  
Precast Concrete silt pit

**FENCING:**

- Existing fencing  
Fencing Included  
in contract

DATUM:

Levels shown are approximate only and are to an assumed datum as indicated on plan.

**DRAINAGE:**

|                                  |    |        |
|----------------------------------|----|--------|
| 1. 90mm P.V.C S.W.D              | 28 | Metres |
| 2. 100mm P.V.C S.W.D             |    | Metres |
| 3. CLASS 12 P.V.C S.W.D          |    | Metres |
| 4. CONC ENCASED S.W.D            | 6  | Metres |
| 5. A.G DRAINS                    | 10 | Metres |
| 6. PRECAST CONCRETE SPOON DRAINS |    | Metres |
| 7. PRECAST CONCRETE SILT PITS    | 2  | No.    |
| 8. PRECAST GRATED CONC SILT PITS |    | No.    |

## MUNICIPALITY:

MELWAY'S MAP REF:



SCALE 1:250

CLIENT: J. & A. F. F. RADCLIFFE  
INEPEAN HIGHWAY McCRAE

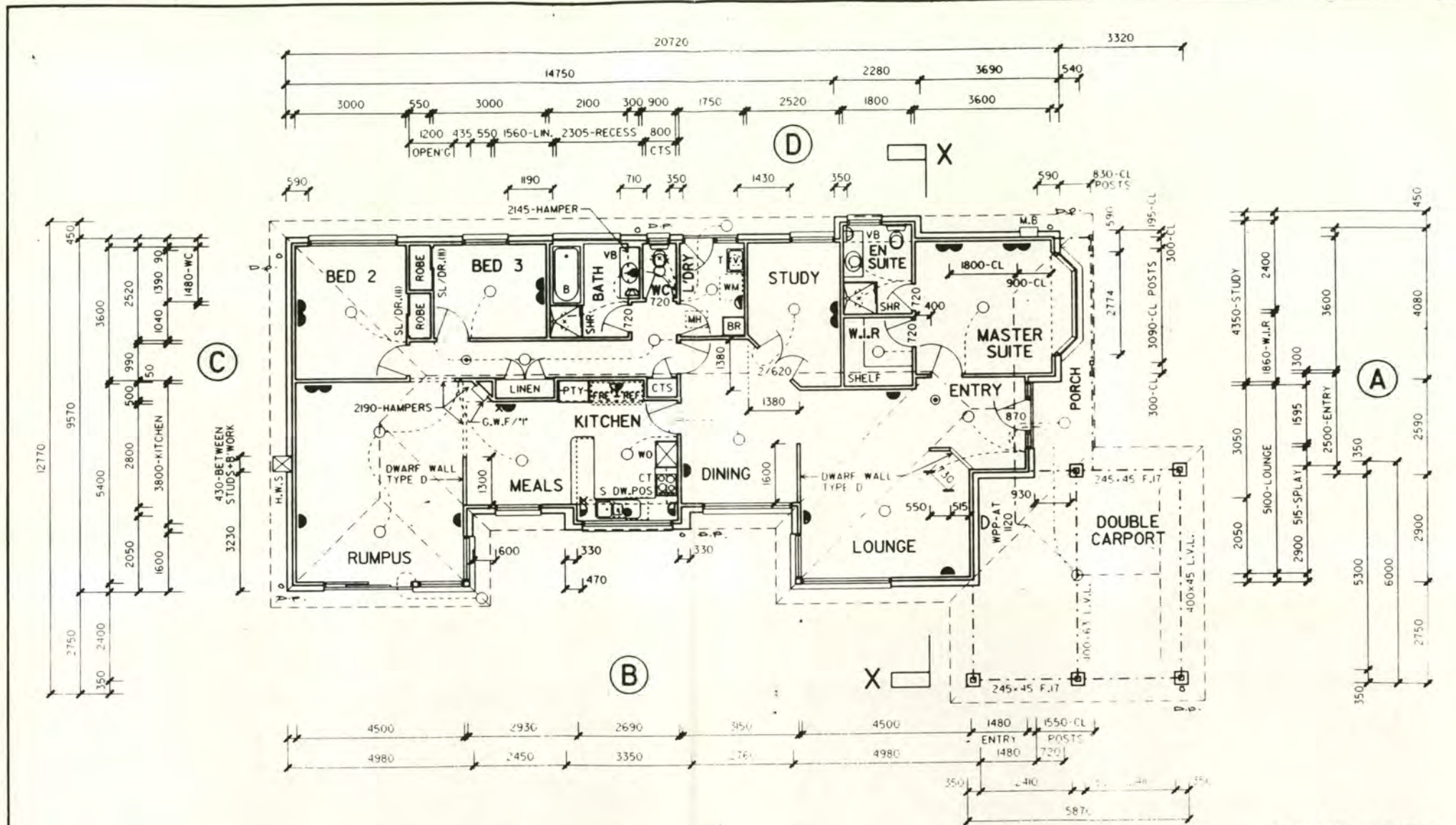
|          |                     |             |          |
|----------|---------------------|-------------|----------|
| CONTRACT | DRAWN: <i>J.</i>    | FINAL DRAWN | DRAWN:   |
|          | DATE: <i>2/1/91</i> |             | DATE:    |
| PERMIT   | DRAWN:              | WORK ORDER  | CHECKED: |
|          | DATE:               |             | FILE:    |



## AVJennings Homes

690 SPRINGVALE ROAD, MULGRAVE 3170 PH. 566-8888



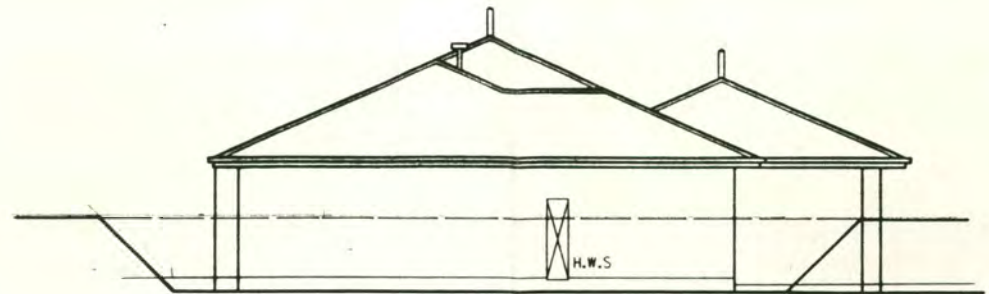


LIFESTYLE SERIES

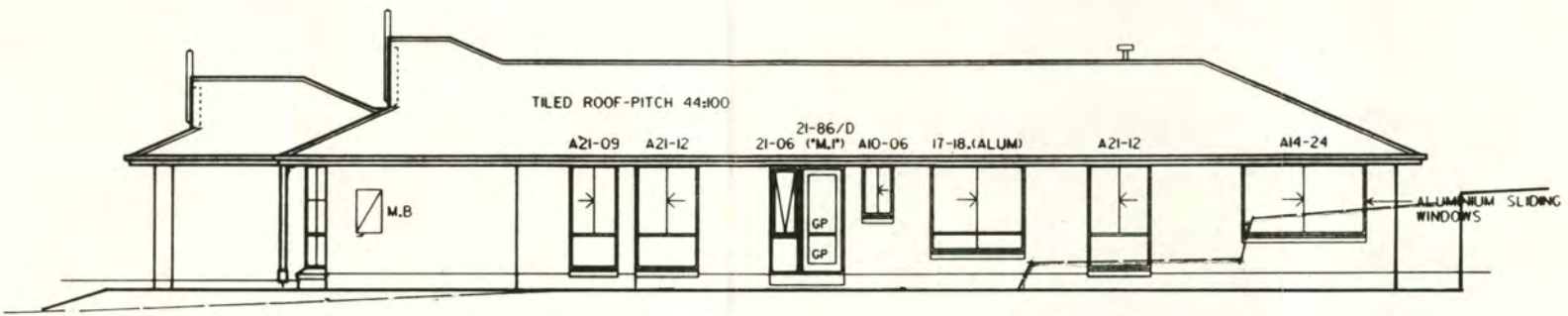
| GENERAL NOTES   |  |  |  | SYMBOLS AND ABBREVIATIONS   |  | ELECTRICAL LEGEND   |  | WORKING DRAWING<br>GROUND FLOOR & ELEC. PLAN   |  | BROADWAY 175<br>HERITAGE SPECIAL                                  |  | HAND<br>RH   | SHEET NO.<br>1 |
|---|--|--|--|---|--|---|--|--|--|---|--|--|----------------|
| <ul style="list-style-type: none"> <li>GROUND LEVELS &amp; STEPS ARE APPROX. ONLY</li> <li>WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE</li> <li>UNLESS OTHERWISE SHOWN, HINGED DOORS TO ROOMS TO BE 820-WIDE</li> <li>ON-SITE CLIPBOARD DOORS TO BE 520-WIDE</li> <li>TOP OF METER-BOX TO BE 1900mm ABOVE GROUND OR PORCH</li> <li>LIGHT SWITCHES AND INTERNAL DOOR FURNITURE TO BE 1055mm ABOVE FLOOR</li> <li>GLASS AREA TO W.C. 0.08m<sup>2</sup></li> <li>GLASS AREA TO W.C. 0.09m<sup>2</sup></li> <li>OPENABLE GLASS SIZE TO W.C. 0.09m<sup>2</sup></li> </ul> |  |  |  | <ul style="list-style-type: none"> <li>CLAVS D CAVITY SLEEPING DOOR</li> <li>FUMS D FACE IN WALL HINGED DOOR</li> <li>M.H. MANHOLE</li> <li>V CEILING VENT</li> <li>SUB FLOOR VENT AT 1200-CTS.</li> <li>THERMOSTAT</li> <li>T.V. POINT</li> <li>PHONE POINT</li> <li>SWITCH/AMP</li> <li>SMOKE DETE. TYP.</li> </ul> |  | <ul style="list-style-type: none"> <li>SINGLE POWER POINT AT 100mm</li> <li>DOUBLE POWER POINT AT 100mm</li> <li>SINGLE POWER POINT AT 120mm</li> <li>DOUBLE POWER POINT AT 120mm</li> <li>SINGLE POWER POINT AT 1250mm</li> <li>DOUBLE POWER POINT AT 1270mm</li> <li>FAN SWITCH DOUBLE POWER POINT AT 120mm</li> <li>ISOLATING SWITCH POWER POINT AT 200mm</li> <li>EXHAUST FAN EXHAUST FAN LIGHT</li> <li>CEILING LIGHT OUTLET DOWNLIGHT</li> <li>WALL LIGHT OUTLET SPOTLIGHT</li> </ul> |  | <p>SERIES DIVISION No. ISSUE</p> <p>NEWWAVE VIC 25B GEN: 60-25/6-9</p> <p>CLIENT: J. &amp; A.F.F. RADCLIFFE, LOT 1 LIEPEAH HWY</p> <p>© COPYRIGHT 1990 JENNINGS GROUP LIMITED REPRODUCTION IN WHOLE OR PART FORBIDDEN</p> <p>M<sup>c</sup> CRAE.</p> |  | <p>STATE CONTRACT/CONST/ORD</p> <p>DATE 2/9/91</p> <p>CHECKED</p> |  | <p>SCALE: 1:100</p> <p>GRD FL: 176.375m</p> <p>1ST FL:</p> <p>FIN TOTAL:</p> <p>VERANDAH: 5.755sq</p> <p>CAR. ACC: 33.565sq</p> <p>FILE NO: 25b/25bwin.sgn</p> |                |

**AVJennings Homes**  
690 SPRINGVALE ROAD, MULGRAVE 3170 PH: 564 1488

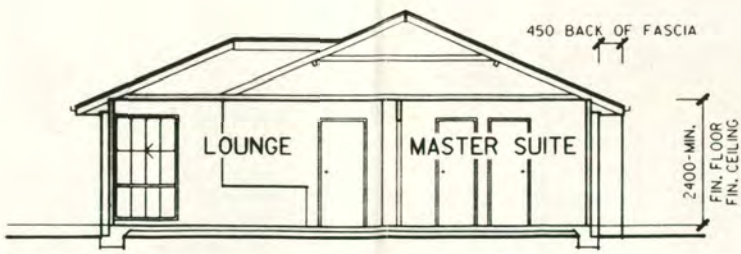




ELEVATION C



ELEVATION D



SECTION X-X

CLASS 'A'

TERMITE PROOFING TO AS 2067.

- 175 x 38 RIDGE
- 125 x 38 RAFTERS AT 600-CTS.
- 75 x 38 COLLAR TIES
- 100 x 75 RIDGE AND PURLIN STRUTS
- 100 x 38 CEILING JOISTS AT 600-CTS.

NOTES:-  
EXPANSION JOINTS ARE TO BE PROVIDED EVERY 12-METRES FOR CLAY BRICKS AND EVERY 6-METRES FOR MASONRY.

INSULATION:- CEILING R-2.5  
WALL R-1.5

**AVJennings Homes**  
690 SPRINGVALE ROAD, MULGRAVE 3170 PH. 566-8888

SERIES **NewWave** DIVISION **VIC** No. **25B**  
GEN 60-25/6/91  
H.T. 10-2/9/91  
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REPRODUCTION IN WHOLE OR PART FORBIDDEN

WORKING DRAWINGS  
EXTERNAL ELEVATIONS  
BROADWAY 175  
HERITAGE SPECIAL

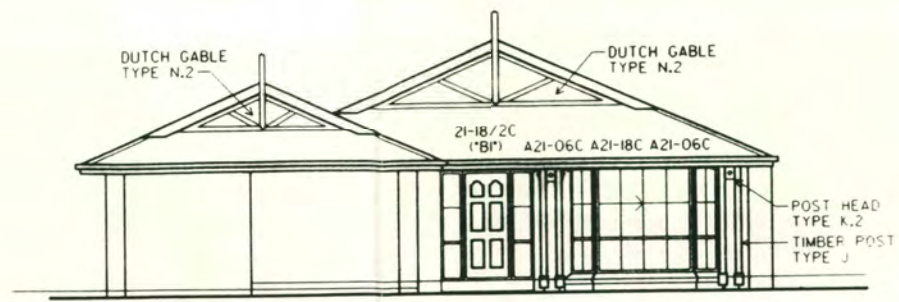
CLIENT: **J. & A.F.F. RADCLIFFE**  
**LOT 1 NEPEAN HWY.**  
**M<sup>o</sup> CRAE.**

NOTES:  
DRAWN **DG 2/9/91**  
CHECKED **3/10/91**

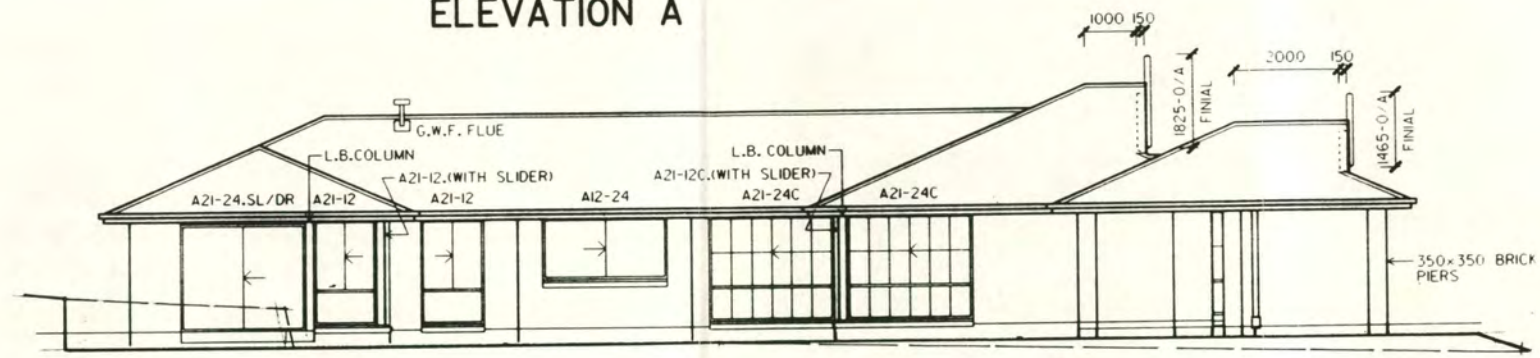
MANH **RH** SHEET **20**  
SCALE: **1:100**  
FILE NO: **25B/25bwr 2nd.dgn**

**LIFESTYLE SERIES**






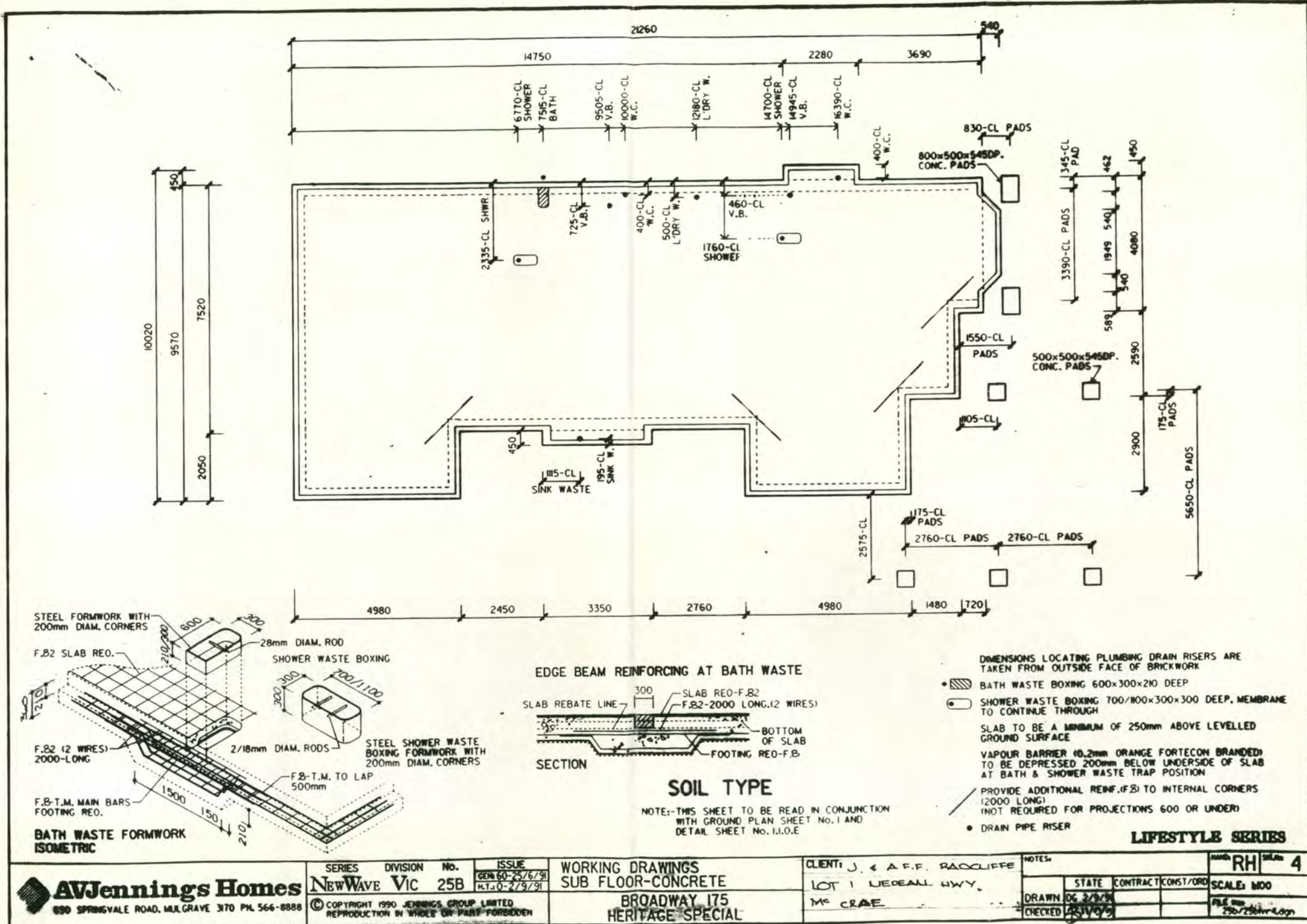
ELEVATION A



ELEVATION B

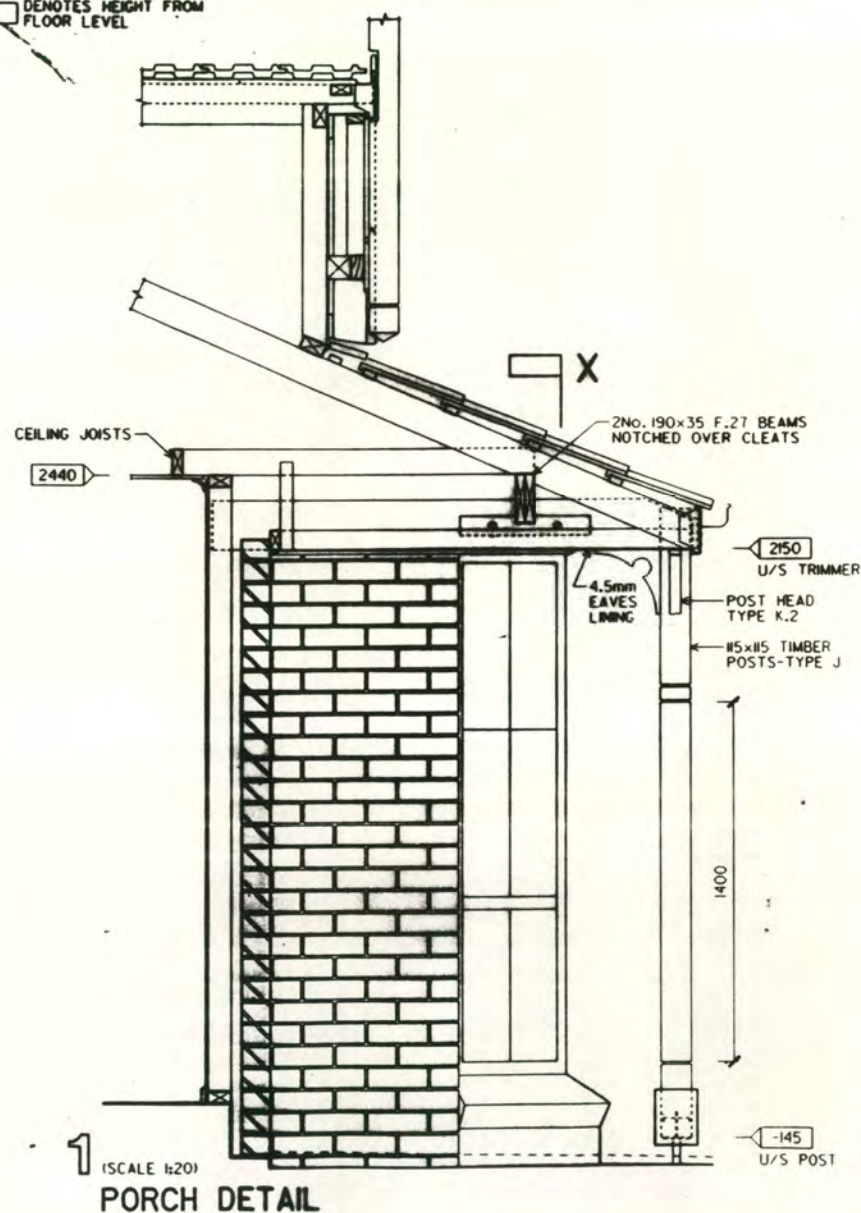
LIFESTYLE SERIES

|   |  |          |     |       |   |  |                                  |                    |          |           |              |
|---|--|----------|-----|-------|---|--|----------------------------------|--------------------|----------|-----------|--------------|
|  <b>AV Jennings Homes</b><br>690 SPRINGVALE ROAD, MULGRAVE 3170 PH. 566-8888 | SERIES   | DIVISION | No. | ISSUE | WORKING DRAWINGS<br>EXTERNAL ELEVATIONS<br>BROADWAY 175<br>HERITAGE SPECIAL | CLIENT: J. & A. F. F. RADCLIFFE<br>LOT 1 NEPEAN HWY<br>M <sup>c</sup> CRE. | PROT:                            | HARDY RH SH. No. 2 |          |           |              |
|   | NEW  | WAVE     | VIC | 25B   |   |  | GEN: 60-25/6/91<br>MT: 0-22/9/91 | STATE              | CONTRACT | CONST/ORD | SCALE: 1:100 |
|   | © COPYRIGHT 1990 JENNINGS GROUP LIMITED<br>REPRODUCTION IN WHOLE OR PART FORBIDDEN |          |     |       |   |  | DRAWN                            | DC 2/9/91          |          | FILE No.  | 25B-1251-137 |
|   |  |          |     |       | CHECKED   | 2/10/91  |                                  |                    |          |           |              |



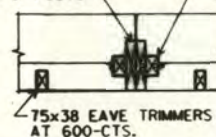


DENOTES HEIGHT FROM FLOOR LEVEL

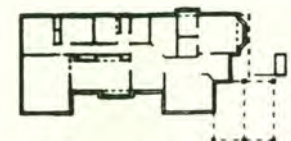


2No. 190x35 F.27 BEAMS FIXED TO DOUBLE STUDS & POSTS

75x50 CLEATS BOLTED TO BEAMS



**SECTION X**  
(SCALE 1:20)



**GROUND PLAN**  
(SCALE 1:500)

**LIFESTYLE SERIES**

**AVJennings Homes**  
630 SPRINGVALE ROAD, MULGRAVE 3170 PH 566-8888

SERIES DIVISION No. ISSUE  
NEW WAVE VIC 25B  
GEN 60-25/6/91  
REV 0-2/9/91

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ASSOCIATED DETAIL  
WALL SECTIONS  
BROADWAY 175  
HERITAGE SPECIAL

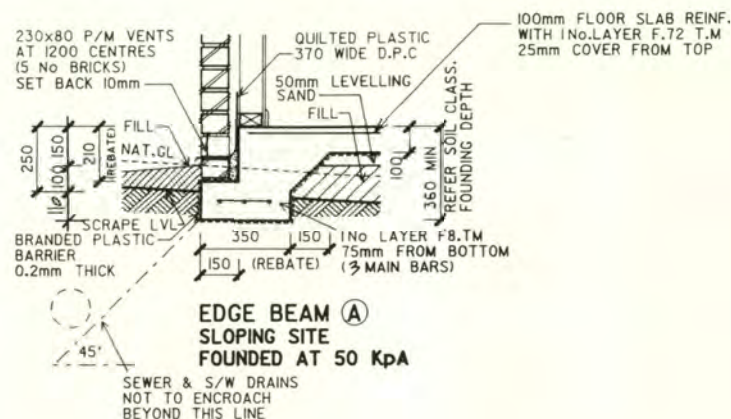
CLIENT: J. & A.F.F. RADCLIFFE  
LOT 1 NEPEAN HWY.  
M.C.R.A.E.

NOTES:

|                  |          |           |       |
|------------------|----------|-----------|-------|
| STATE            | CONTRACT | CONST/ORD | SCALE |
| DRAWN DB 2/9/91  |          |           |       |
| CHECKED JIV 6/91 |          |           |       |

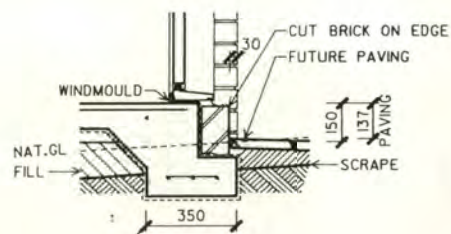
HAND: RH  
SHEET: 5  
FILE NO: 25b/25bhrs.dwg

FOR LOCATION OF WASTE  
BOXING REFER CONCRETE  
SLAB PLAN

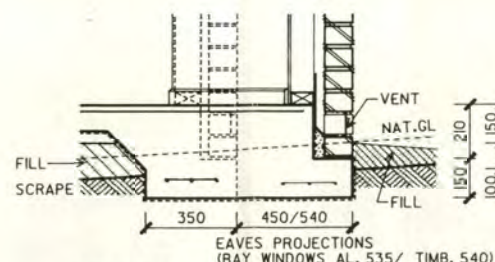


### GENERAL NOTES

- NO CONSTRUCTION TO TAKE PLACE ON SLAB FOR 48 HOURS MIN AFTER POUR.
- EDGE BEAM FORMWORK AND PLUMBING BOXES TO BE REMOVED AFTER 24 HOURS
- FOUNDATION DEPTH TO U/S OF BEAMS TO BE AS SOIL REPORT
- SLAB SUBGRADE SHALL BE SCRAPED CLEAR OF VEGETATION AND ORGANIC MATTER
- THE AREA WITHIN 1.2M OF THE SLAB EDGE SHALL BE BACKFILLED WITH TOP SOIL 150 BELOW FLOOR LEVEL AND GRADED SO THAT WATER WILL NOT POND AGAINST THE SLAB
- SLAB TO ACHIEVE A STRENGTH OF 20MPa AFTER 28 DAYS.
- SLUMP TO BE 50-80mm TAKEN PRIOR TO POURING ON SITE
- CURE SLAB FOR 2 DAYS MIN.
- PLATE TO BE FIXED AT 1200 CTS WITH H/T HAND DRIVEN NAIL
- ALL SITES ARE TO BE SOIL CLASSIFIED BY SOIL ENGINEER



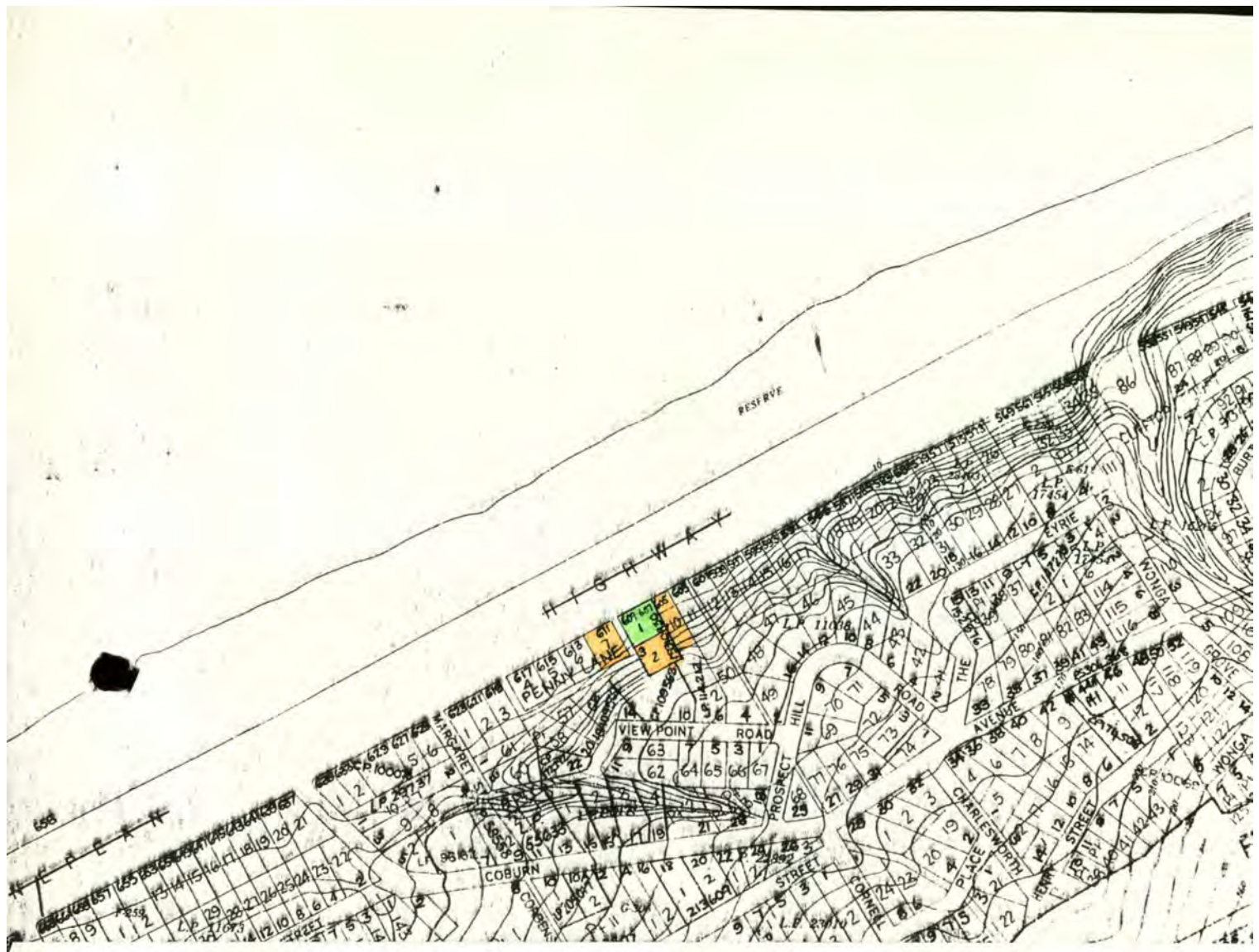
ENTRY DOOR (E)



### PROJECTION UNDER EAVES ©

### TYPE 'A' SOIL CLASSIFICATION (GREATER THAN 18000mm)





228337

## SHIRE OF FLINDERS LOCALITY AND ZONING MAP

This plan is an extract from Base Map .....

Scale 1:4800

**SUBJECT LAND** 607  
**STREET** Nepean Highway **LOT** 9 **LP.** 11038.  
**PART OF CROWN ALLOTMENT** ..... **SEC.** ..... **PARISH OF** .....  
**ZONING** - **LOCAL PLANNING SCHEME** Hillside Res Coastal Policy

**PLANNING SCHEME BOUNDARY**

BAYSIDE URBAN  
 BAYSIDE RESIDENTIAL 1  
 BAYSIDE RESIDENTIAL 2  
 BAYSIDE RECREATION  
 HILLSIDE RESIDENTIAL  
 CLIFFTOP RESIDENTIAL  
 HIGHLANDS RESIDENTIAL  
 WILDCOAST RESIDENTIAL  
 WILDCOAST PROTECTION  
 VILLAGE RESIDENTIAL 1  
 VILLAGE RESIDENTIAL 2  
 RURAL RESIDENTIAL  
 COMPREHENSIVE RETAIL DEVELOPMENT  
 BAYSIDE COMMERCIAL  
 LOCAL COMMERCIAL  
 FUTURE COMMERCIAL  
 URBAN RELATED INDUSTRY

BU  
 BR1  
 BR2  
 BR  
 HR  
 CR  
 HD  
 WR  
 WP  
 VR1  
 VR2  
 RR1  
 CD  
 BC  
 LC  
 FC  
 UI

VILLAGE CENTRE 1  
 VILLAGE CENTRE 2  
 SPECIAL USES  
 SPECIAL CONTROL  
 PUBLIC PURPOSE RESERVE  
 PUBLIC OPEN SPACE  
 PRIMARY ARTERIAL ROAD  
 SECONDARY ARTERIAL ROAD  
 FUTURE ROAD  
 RIGHT OF WAY  
 STREAMLINES  
 HISTORIC SITES  
 COASTAL POLICY  
 SORRENTO HISTORIC TOWNSHIP  
 SCIENTIFIC SITES -  
 ARCHAEOLOGICAL  
 BOTANICAL  
 ZOOLOGICAL

VC1  
 VC2  
 SU  
 SC  
 R.O.W.  
 (A)  
 (B)  
 (Z)



PLANAPPAUD

NEW PLANNING APPLICATIONS

Plannapp 228337

Date Lodged.....: 11 DEC 91

Property Number.....: 148725

Property Address.....: 607-609 POINT NEPEAN ROAD, MCCRAE, 3938

Lot Number.....: 1 PT52

Plan Number.....: PS310930

App. Surname.....: A V JENNINGS

Proposed use.....: 1A-NB

Fees Payable.....: 114.00

Date Fees Paid.....: 07 FEB 92

Receipt Number.....: 6500

Planner Name.....: SK

Delegation Authority: Y

Plannapp End 228337

Plannapp