Folio No.	Referred to	Date	Clearing Officer's Initials	Folio No.	Referred to	Date	Clearing Officer's Initials	Folio No.	Referred to	Date	Clearing Officer's Initials
2	ME	DT 5-7-95.	DL								
	FIO	24/4/03									

SHIRE OF FLINDERS

PROPERTY FILE

OTHER RELEVANT FILES:

PROPERTY SITUATE

PENNY LANE 3
57476.00000

148726

055157 01

14872

HISTORY FILES

114627
114628

WARNING

THIS FILE HAS A HISTORY

PLEASE CHECK RELATED FILES

This file is closed

Documents received since 1st April 1999 have been scanned.

The images are available on Ausinfo.

M/N
44715

848186

file no:- 148726

ONLY THREE INSPECTIONS FOR PERMIT.

INSOICE FOR INSPECTIONS -

360
·57·60
15
432·60

90,000
64
360000
54000000
5436000000

Mornington Peninsula Shire

ABN: 53 159 890 143
Private Bag 1000
Rosebud 3939

TAX INVOICE
OFFICIAL RECEIPT

24/02/2003 Receipt No: 258302

To FRANK DIMOPOULOUS

3 PENNY LANE
MCCRAE

Qty/ Applic	Reference	Amount
	046 Statutory Instl	$137.50
GL Receipt	3 PENNY LANE, MCCRAE	
To GL Receipt:		

Total Amount:	$137.50
Includes GST of:	$0.00

Amounts Tendered

Cash	$0.00
Cheque	$137.50
Card	$0.00
Money Order	$0.00
Agency Rec	$0.00
Total	$137.50
Rounding	$0.00
Change	$0.00
Nett	$137.50

Printed 24/02/2003 12:06:26
Cashier: mccrm

With Compliments

FRANK Dimopoulos

VMOB

Personal Information

MORNINGTON PENINSULA
Shire

Private Bag 1000
Besgrove Street
Rosebud 3939
www.mornpen.vic.gov.au
Tel 1300 850 600
Fax (03) 5986 6696
DX 30059

Att: Lorraine

Mornington Peninsula Shire
ABN: 53 159 890 143
Private Bag 1000
Rosebud 3939

REPRINTED

TAX INVOICE
OFFICIAL RECEIPT

26/03/2001 Receipt No: 42005

To F & V DIMOPOULOS

3 PENNY LANE
MC'CRAE

Qty/ Applic	Reference	Amount
	046 Statutory Fees	$315.00
GL Receipt	RE: 3 PENNY LANE MC'CRAE	
To GL Receipt:		

Total Amount:	$315.00
Includes GST of:	$0.00
Cash	
Cheque	$315.00
Card	$0.00
Money Order	$0.00
Agency Rec	$0.00
Total	$315.00
Rounding	$0.00
Change	$0.00
Nett	$315.00

Printed 26/03/2001 12:40:33
Cashier: haira

Printed by strolj 26/03/01 13:11:09

Receipt No	42005	Name	F & V DIMOPOULOS
Cashier Id	haira	Address	3 PENNY LANE MCCRAE
Journal No	2152		
Receipt Date	26/03/01	Message	
Remittance No	0		

Cash In	$0.00		
Cash Out	$0.00	Net Cash Total	**$0.00**
Db/Cr Card Amount	$0.00		
Cheque Amount	$315.00		
Money Order Amount	$0.00		
Agency Amount	$0.00	Payment Total	**$315.00**
Rounding	$0.00	Transaction Total	**$315.00**
		GST	$0.00

Printed Y

Balanced / Banked N

Frank
0411787641

Form 8

BUILDING ACT 1993

BUILDING REGULATIONS 1994
Regulations 7.3

CERTIFICATE OF FINAL INSPECTION
B 1001/03

TO:
Owner: **F DIMOPOULOS** **Agent:** **N/A**
3 PENNY LANE
McCRAE 3938

Property Details:
- LOT 4 No 3 PENNY LANE McCRAE 3938

MUNICIPAL DISTRICT: MORNINGTON PENINSULA SHIRE COUNCIL

Description of Building Works

Part of Building: DWELLING ADDITIONS & ALTERATIONS
Permitted Use: -
BCA Class: 1a

All directions under Part 4 of the Building Act 1993 have been complied with.

Final Certificate Inspection Date: 21/7/03

Building Surveyor
NAME: PETER PHILLIPS **Registration Number : BS 2222**

Personal Information

Signature:_____ DATE OF ISSUE: 22 JULY 2003

NOTE: This Certificate of Final Inspection is not evidence that the building, part of building or building work listed above complies with the Building Act 1993 or Building Regulations 1994.

(Template/Fincert.Dot)

Building Act 1993
Building Regulations 1994
Regulations 15.7 (2) **Form 14**

UP-Right Building Inspections
206 North RD Langwarrin
Vic- 3910 PH: 0416 006 219

CERTIFICATE OF COMPLIANCE - INSPECTION REPORT

To:
Name : Peter Phillips
Address : 9 Queen st Mornington
Fax No : 5975 6566

From:
Name : Craig Matheson
Address : 206 North RD Langwarrin
Fax No : 03 9789 7847

Address of the Property:
3 Penny Lane McCrae

Inspection type :

Blinding		Pre Slab / Foundation		Footing / Steel		Sub Floor Frame		Final	✔
Piers		Pre Pour / Steel		Stump Holes		Frame		Other	re

Inspection Details:
Dwelling Addition

Building Permit documents assessed:

Building Permit:	✔	Structural Design / Dwawings:		Architectural Drawings:	✔	Plan No:	
Specifications:		Town Planning Permit:		Soil Report:		Other:	

Special Areas:

Termite:	✔	Flood:		High wind:		Landslip:		Bushfire:		Other:	

Description of Building Works Inspected: **N/A = Refer Direction** **✓ = OK**

Site excavations		Architectural layout		Wall & roof cladding	✔	Other matters	
Angle of repose		Structural design		Storm water	✔	Permit Conditions	
Layout		Load points		Fire safety	✔	Inspection incomplete	
Easements		Frame tie down		Safe movement & access	✔	No Access	
Foundation material		Bracing - roof & walls		Health & amenity	✔	**Certificates Required**	
Size / depth		Wall & Roof frames		Services	✔	Plumbing	Yes
Preparation		Frame construction / fixings		Glazing	✔	Termite	Yes
Reinforcement		Sub floor construction		Sub floor ventilation	✔	Insulation	Yes
Service Pipes		Protection works		Site drainage		Health	

Inspection Result:

Approved :	✔	**Not Approved :**		**Approved subject to :**	

Notified:

Owner:	✔	Builder:		Contractor:		Surveyor:	✔	Report left on site:		Supervisor:	

I certify that the building work as described in this report and inspected by myself, to the best of my ability complies with the following provisions of the Act Or Regulations* (* Includes BCA and relevant standards) , As are relevant to the approved Building Permit documents. This report covers works completed at the time of the Inspection, non visible aspects, or works incomplete do not form part of this report.

AS2870 -1996 Slabs & ftgs	&/or BCA Vol-2 (Part 3.2)		BCA Vol 2 Part 3.7	(fire safety)	
AS3700 -1998 Masonry	&/or BCA Vol-2 (Part 3.3)		BCA Vol 2 Part 3.9	(Safe movement & access)	✔
AS3959 -1999 Bushfire	&/or BCA Vol-2 (Part 3.7.4)		BCA Vol 2 Part 3.8	(Health & amenity)	✔
AS1684 -1999 Timber framing	&/or BCA Vol-2 (Part 3.4)		BCA Vol 2 Part 3.5	(Roof & Wall Cladding)	✔
AS1288 -1994 Glazing	&/or BCA Vol-2 (Part 3.6)	✔	BCA Vol 2 Part 3.1.2.3	(Surface Drainage)	
AS3660.1- 1999 Termites	&/or BCA Vol-2 (Part 3.1.3.2)		BCA Vol 2 Part 3.1.2.5	(Storm water Drainage)	✔
AS3786 - 1993 Smoke alarms	&/or BCA Vol-2 (Part 3.7.2)	✔	BCA Vol 2 Part 3.1.1.2	(Excavation adjacect vacant land)	
AS1926.1- 1993 Pool fencing	&/or BCA Vol-2 (Part 3.9.3)		BCA Vol 2 Part 3.1.1.3	(Excavation adjacent existing works)	
AS2918 - 1990 Solid fuel app'	&/or BCA Vol-2 (Part 3.7.3)		BCA Vol 2 Part 3.10.1	(High wind areas)	
AS2601 - 1993 Metal framing	&/or BCA Vol-1 (Part 3.4.2)		AS3740 - 1994	(Water proofing of wet areas)	
AS2269 - 1994 Structural Plywood			AS2601 - 1991	(Demolition of structures)	
AS2699 - 1984 Masonry wall ties			AS2082 - 1979	(Visually stress graded hardwoods)	
AS2050 - 1995 Installation of roof tiles			AS2858 - 1986	(Visually stress graded softwoods)	
AS2904 - 1995 Dampproof courses & Flashings			AS1613 - 1974	(Colors for marking timbers)	

Notes:

Inspection date: 21/7/03
Inspection time: 10:45
Signature: Personal Information

Registration No : IN-U 1588

Customer copy

CERTIFICATE OF ELECTRICAL SAFETY

for Non-Prescribed Electrical Installation Work

Certificate no. 5374 884 3

ELECTRICITY SAFETY ACT 1998, ELECTRICITY SAFETY (INSTALLATIONS) REGULATIONS 1999

Print clearly

CERTIFICATE OF COMPLIANCE

1 Details of Responsible Person (eg. electrical contractor, supervising electrician, electrician)

REC reg. no. or if none, licence no.: 2562 Userid: 7096998

Name: N. LYNCH

Address: PO BOX 320

Suburb or town: SORRENTO Postcode: 3943

Office use only:

Signature:

Telephone no.: 0408102460 Facsimile no.:

2 Details of Licensed Electrical Installation Worker (eg. electrician)

Licence no.: E11097 Userid: 10230621

Name: N. LYNCH

3 Details of Installation

Name of customer: DIMOPOULOS

Address of installation (include lot no. if required): 2 PENNY LANE

Suburb or town: McRAE Postcode: 3939

Telephone no.: Office use only:

4 Details of Non-Prescribed Electrical Installation Work Undertaken

No. light points	No. single GPOs	No. double GPOs	Other
74	4	19	R. HOOD.

Maximum demand in amps per phase on completion:

Consumers mains capacity in amps:

Description of work undertaken (if insufficient space, please attach list)

REPAIRS TO U/G SERVICE CABLE.

5 Has this ***electrical installation work*** failed a previous OCEI audit? Yes ☐ No ☑

If yes, quote previous certificate number:

6 Is a residual current device installed at this site? Yes ☑ No ☐

I, the licensed electrical installation worker named above, who carried out the electrical installation work described above, certify that the electrical work has passed all the required tests and complies in all respects with the Electricity Safety Act 1998 and the Electricity Safety (Installations) Regulations 1999

Signature (Licensed Electrical Installation Worker): Personal Information

7 Date of completion of work: 13/3/03 8 Date certified: 13/3/03

Live with electricity

Office of the Chief Electrical Inspector

Certificate of Electrical Safety

CUSTOMER INFORMATION

Prescribed Electrical Installation Work

In a domestic situation, this covers all work done on wiring and equipment where you cannot switch off the electricity. This generally means work on wires up to the switchboard and may include the wiring from the street to the house/building and the electricity meter.

Non-Prescribed Electrical Installation Work

In a domestic situation, this covers all work done on wiring where you can switch off the electricity at the switchboard. For example, installation or maintenance of safety switches, circuit breakers, power points, non-plug in electrical equipment or lighting points within the house.

Please note: Your installation may be subject to audit by representatives of the Office of the Chief Electrical Inspector.

Office of the Chief Electrical Inspector
Level 3, 4 Riverside Quay, Southbank
PO Box 262, Collins Street West, VIC 8007
Telephone 9203 9700
Facsimile 9686 2197
Website: http://www.ocei.vic.gov.au
email: info@ocei.vic.gov.au

TYPES OF NON-PRESCRIBED ELECTRICAL INSTALLATION WORK

All work **other** than that listed below is non-prescribed work.

TYPES OF PRESCRIBED ELECTRICAL INSTALLATION WORK

For the purposes of section 45 of the Electricity Safety Act 1998, **prescribed electrical installation work** means work on all or part of any of the following electrical installations if they are ordinarily operated at low voltage or a voltage exceeding low voltage –

1. A consumers mains, main earthing system and those parts of a main switchboard related to the control of the installation and protection against spread of fire.
2. A sub-main, earthing system and any distribution board related to the control of an individual occupier's portion of a multiple installation unless the occupier has immediate and unimpeded access to the main switch or switches controlling the whole of the multiple installation.
3. Electrical wiring and electrical equipment in hazardous areas within the meaning of Section 9.0 of the SAA Wiring Rules and protection equipment associated with hazardous areas.
4. A high voltage installation except high voltage wiring and equipment –
   (i) associated with an electric discharge lighting system; or
   (ii) associated with X-ray equipment; or
   (iii) associated with high frequency equipment; or
   (iv) within self contained equipment supplied at low voltage.
5. Control and protection equipment associated with standby generation or co-generation electricity supply systems.
6. An electric fence used for security purposes but not including an electric fence intended primarily for the control or containment of animals.
7. An electrical installation comprising remote area power supplies with a power rating exceeding 500 volt amperes not connected to a supply authority distribution system.
8. Electrical wiring and associated fixed electrical equipment installed in body-protected or cardiac-protected electrical areas of hospitals and medical and dental practices.

PENINSULA PEST CONTROL
28C PENINSULA BLV., SEAFORD 3198
ABN: 49 006 640 722
PH: 9786 2000 FAX: 9782 5253

STANDARDS AUSTRALIA

No. 12510

PROTECTION OF BUILDINGS FROM SUBTERRANEAN TERMITES—PREVENTION, DETECTION AND TREATMENT OF INFESTATION—

CERTIFICATE OF TERMITICIDE APPLICATION

AUSTRALIAN STANDARD AS 3660—1993

This certificate refers to Clauses 3.7 and 5.5 of AS 3660 and that Standard should be read in conjunction with this certificate.

NAME OF OWNER: M/. F. Dompoulos ....

SITE ADDRESS: 3. penny lane ....

Mt Crae .... POSTCODE 3938 ....

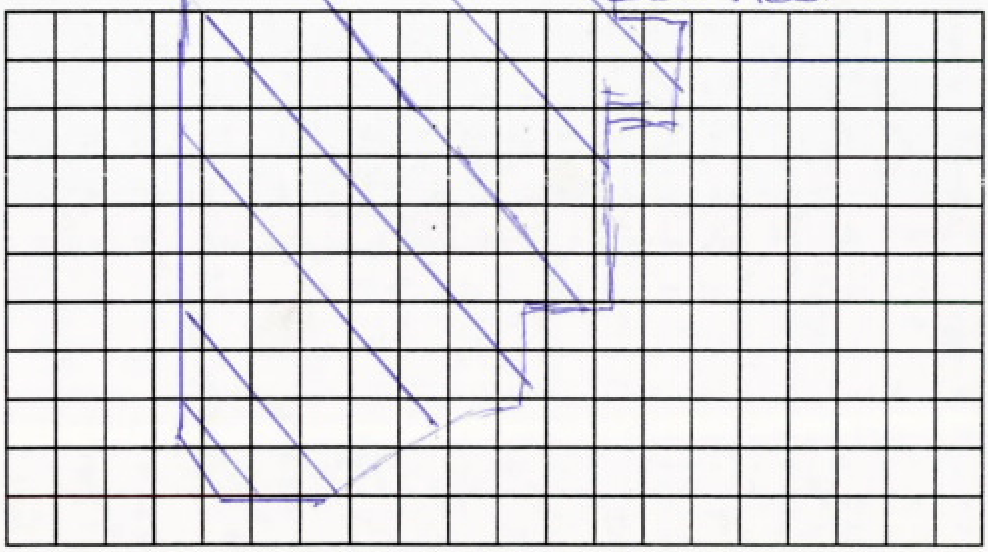
TYPE OF TREATMENT PRECONSTRUCTION ☑ EXISTING BUILDING ☐

TERMITICIDE USED .... Biflex	DEVIATION(S) FROM ....
CONCENTRATION OF EMULSION .... g/L	STANDARD APPLICATION ....
VOLUME OF EMULSION USED L	GIVE REASONS ....
AREA PROTECTED .... 185 sqm .. m²	....
TOTAL GROUND AREA OF BUILDING .... m²	PRICE OF APPLICATION (PEST CONTROL FIRM) . $ . . .

PLAN OF BUILDING SITE SHOWING TREATED AREAS

Sub floor

(Use of Legend codes to indicate plumbing, piers, steps, treated areas)



LEGEND:

Plumbing line

Pier

Steps

Treated areas ////

SITE PREPARATIONS—CERTIFICATION BY BUILDER

I certify that site preparations have been carried out in accordance with the requirements of AS 3660 (see overleaf).

Limitations (please specify) ....

The builder warrants to provide this certificate to the purchaser as part of the contract of sale.

Builder's name .... Authorized signatory ....

TERMITICIDE APPLICATION CERTIFICATION BY PEST CONTROL FIRM

I certify that termiticide application has been carried out in accordance with the requirements of AS 3660.

Limitations (please specify) ....

PEST CONTROL FIRM—NAME..........	NAME OF APPLICATOR .... phillip
Address .... PENINSULA PEST CONTROL	Licence No. .... bee 49
28C PENINSULA BLV., SEAFORD 3198	Authorized signatory Personal Information
Phone No. .... ABN: 49 006 640 722 PH: 9786 2000 FAX: 9782 5253	Date .. 5.3.03 ....

A certificate of completion referring to this termiticide application is required to confirm that the treatment for prevention of infestation by chemical methods has been completed.

PENINSULA PEST CONTROL
28C PENINSULA BLV., SEAFORD 3198
ABN: 49 006 640 722
PH: 9786 2000 FAX: 9782 5253

AS 3660 Supp2—1993

STANDARDS AUSTRALIA

No. 12510

PROTECTION OF BUILDINGS FROM SUBTERRANEAN TERMITES—PREVENTION, DETECTION AND TREATMENT OF INFESTATION—

CERTIFICATE OF COMPLETION

AUSTRALIAN STANDARD AS 3660—1993

This certificate refers to Clauses 3.7 and 5.5 of AS 3660 and that Standard should be read in conjunction with this certificate.

NAME OF OWNER: Mr. & Mrs. Damipoulos

SITE ADDRESS: 3 penny lane

McGraw POSTCODE 3938

TYPE OF TREATMENT PRECONSTRUCTION ☑ EXISTING BUILDING ☐

TERMITICIDE USED: Biflex	DEVIATION(S) FROM STANDARD APPLICATION: /
CONCENTRATION OF EMULSION: ... g/L	GIVE REASONS: ...
VOLUME OF EMULSION USED: ... L	PRICE OF APPLICATION (PEST CONTROL FIRM): $ ...
AREA PROTECTED: 173 sq m: ... m^2	
TOTAL GROUND AREA OF BUILDING: ... m^2	

THIS TREATMENT INCLUDES TERMITICIDE APPLICATION CERTIFICATE	TREATMENT NOTICE FIXED (YES)/NO
No. 12510 Date 5.3.03	Location of notice: in meter box

CERTIFICATION—This document certifies that the above property has been treated in accordance with AS 3660 except for the limitations listed below and overleaf and those recorded on the Certificates of termiticide application referred to.

Specific limitations: /

PEST CONTROL FIRM ... NAME OF APPLICATOR: Phillip

Name ... Registration No.: PP 76 Licence No. ...

Address: PENINSULA PEST CONTROL
28C PENINSULA BLV., SEAFORD 3198
ABN: 49 006 640 722
PH: 9786 2000 FAX: 9782 5253

Authorized signatory: Personal Information

Postcode ... Phone No.: 9786 2609 Date: 5.3.03

PRECONSTRUCTION TREATMENT

The builder warrants to provide this certificate to the purchaser as part of the contract of sale.

Builder's name ...

Address ...

... Postcode ... Authorized signatory ...

CONDITIONS AND LIMITATIONS

1 This certificate warrants that the treatment to protect the building described overleaf has been performed in compliance with AS 3660.

2 With chemical soil treatments property owners should be aware that action by the occupiers of the building, or others, may reduce the effectiveness of the protective barrier by any of the following:

(a) Breaching of the barrier may occur if the soil next to the substructure is physically disturbed (by gardening, drainage work or by the activities of burrowing animals).

(b) Bridging of the barrier may occur by appendages being attached to the building after treatment. Such appendages include carports, annexes, trellises, steps, fences and raised garden beds in contact with exterior walls.

(c) Offcuts and formwork left on site, or materials stored under or against the building may also bridge the barrier.

(d) Poor ventilation or damp conditions can be attractive to termites and may lead to increased activity in the subfloor area, increasing the risk of infestation.

3 Although the chemical soil barrier system provides significant protection for many years if undisturbed, regular competent inspection is recommended.

Additional treatment is only required when bridging or breaching has occurred.

Where the activities in Items 2(a) or 2(b) above have occurred or are planned then such activities should be referred to a licensed pest control firm for appropriate advice and treatment.

CONDITIONS AND LIMITATIONS

1 The completion of this certificate does not in itself certify that the building described overleaf has been treated in compliance with AS 3660.

A certificate of completion referring to this termiticide application must be provided by the authorized applicator when the treatment for prevention of termite infestation by chemical methods has been completed.

2 With pre-construction treatments it is the responsibility of the builder/owner to ensure that the site is properly prepared before the application is commenced. The treatment should not be undertaken until the following conditions are met:

(a) All roots exposed during excavation, tree stumps, logs and timber removed from the area to be treated.

(b) All offcuts and other debris removed from the area to be treated.

(c) All cuttings, trenches and excavations completed and all pipes, wastes and conduits in position.

(d) All grading completed and any fill in place, levelled and compacted.

PLUMBING INDUSTRY COMMISSION

Compliance Certificate

221ZH BUILDING ACT 1993

Certifier's Name: David Morrison **Licence Nº** 24101

Certificate Nº 1103125

INSTALLATION ADDRESS:

Number / Lot / Street: 3 Penny Lane

Address Code:

Town / Suburb: Mc Crae

Post Code: 3938

Consumer's Name: Mr Frank Dimos

DATE OF COMPLETION OF PLUMBING WORK:

31-1-03

BELOW GROUND SANITARY DRAINS ☐

Please place a ✓ in this box to confirm that you have lodged an "as-laid" property drainage plan with the relevant Water Agency (where a drainage plan is required by that Agency). 221ZO Building Act 1993.

Where a consent to connect/alter underground sanitary drainage is required to be sought from a Water Agency, please enter the Consent Nº below.

WATER AGENCY 'CONSENT TO CONNECT' NUMBER:

INSTALLATION DATA

(Circle appropriate number/s and insert any appliance/fixture details below. Rule a line through each work category/number which does not apply to this compliance certificate.)

ROOF PLUMBING (including above ground Stormwater Drainage)	(0)
SANITARY PLUMBING	1
SEPTIC TANK INSTALLATION	2
DRAINAGE (Below Ground Sewer)	3
DRAINAGE (Below Ground Stormwater)	4
COLD WATER PLUMBING	5
HOT WATER PLUMBING	6
MECHANICAL SERVICES (includes Duct Fixing & Refrigeration)	7
BACKFLOW PREVENTION (Medium & High Risk Only)	8
RESIDENTIAL & DOMESTIC FIRE SPRINKLER SYSTEMS	90
GREY OR RECLAIMED WATER	91
GASFITTING (Natural Gas Type A Installation)	92
GASFITTING (LPG Type A Installation)	93
GASFITTING (Other types of Gases)	94

INSTALLATION DETAILS (including Scope of Work)

To carry out roof repairs as requested.

Supply + fit short section of ridge capping, flashing and gutters on high sections of roof area to complete work by others.

I certify that the above plumbing work complies in all respects with the plumbing laws (inc. passed all required tests) as defined in Part 12A of the Building Act 1993.
Delete either a) or b) as appropriate:

a) The plumbing work was carried out by me or under my supervision.

b) I have inspected and tested the work started by another licensed plumber. Any necessary completion work was carried out by me or under my supervision.

Certifier's signature: Personal Information

Date: 31.1.03

IMPORTANT NOTICE TO CONSUMERS:

All work subject to a Compliance Certificate carries insurance to protect the consumer against defective work of the plumber. You should retain your Certificate for six years as evidence of your cover. For further reference the attached sticker should be fixed to the inside of the property electrical meter box.

THIS COPY MUST BE GIVEN TO THE CONSUMER

PLUMBING INDUSTRY COMMISSION

Compliance Certificate

221ZH BUILDING ACT 1993

Certifier's Name: COLIN ROWLEY Licence Nº 26547

Certificate Nº 5621729

INSTALLATION ADDRESS:

Number / Lot / Street: 3 PENNY LANE.

Address Code:

Town / Suburb: Mc CRAE

Post Code: 3938

Consumer's Name: FRANK DIMOPOULOS.

DATE OF COMPLETION OF PLUMBING WORK:

20/2/00

BELOW GROUND SANITARY DRAINS ☐

Please place a ✓ in this box to confirm that you have lodged an "as-laid" property drainage plan with the relevant Water Agency (where a drainage plan is required by that Agency). 221ZO Building Act 1993.

Where a consent to connect/alter underground sanitary drainage is required to be sought from a Water Agency, please enter the Consent Nº below.

WATER AGENCY 'CONSENT TO CONNECT' NUMBER:

INSTALLATION DATA (Circle appropriate number/s and insert any appliance/fixture details below. Rule a line through each work category/number which does not apply to this compliance certificate.)	
ROOF PLUMBING (including above ground Stormwater Drainage)	(0)
SANITARY PLUMBING	(1)
SEPTIC TANK INSTALLATION	2
DRAINAGE (Below Ground Sewer)	3
DRAINAGE (Below Ground Stormwater)	(4)
COLD WATER PLUMBING	(5)
HOT WATER PLUMBING	(6)
MECHANICAL SERVICES (includes Duct Fixing & Refrigeration)	7
BACKFLOW PREVENTION (Medium & High Risk Only)	8
RESIDENTIAL & DOMESTIC FIRE SPRINKLER SYSTEMS	90
GREY OR RECLAIMED WATER	91
GASFITTING (Natural Gas Type A Installation)	(92)
GASFITTING (LPG Type A Installation)	93
GASFITTING (Other types of Gases)	94

INSTALLATION DETAILS (including Scope of Work)

CONNECT FIXTURES TO EXISTING DRAINS

GAS TO H.W.S HOT PLATES + DUCTED HEATER

DUCT WORK BY OTHERS

I certify that the above plumbing work complies in all respects with the plumbing laws (inc. passed all required tests) as defined in Part 12A of the Building Act 1993.

Delete either a) or b) as appropriate:

a) The plumbing work was carried out by me or under my supervision.

b) I have inspected and tested the work started by another licensed plumber. Any necessary completion work was carried out by me or under my supervision.

Certifier's signature: Personal Information

Date: 20-2-00

IMPORTANT NOTICE TO CONSUMERS:

All work subject to a Compliance Certificate carries insurance to protect the consumer against defective work of the plumber. You should retain your Certificate for six years as evidence of your cover. For further reference the attached sticker should be fixed to the inside of the property electrical meter box.

THIS COPY MUST BE GIVEN TO THE CONSUMER

I, FOTI DIMOPOULOS

of 3 PENNY LANE MCCRAE in the State of Victoria do solemnly and sincerely declare

THAT

Insulation to all external and all Internal walls were used at 3 Penny Lane MCCRAE 3938.

AND I make this solemn declaration conscientiously believing the same to be true and by virtue of the provisions of an Act of the Parliament of Victoria rendering persons making a false declaration punishable for wilful and corrupt perjury.

DECLARED at Hampton Park in the State of Victoria this 5 day of June in the year of 2013

Before me

Personal Information

Hampton Park Pharmacy
Prop: Greg Clements
48-49 Somerville Rd.
Hampton Park 3976
Ph: 9799 3222

Dated 20

Statutory Declaration

of

Building Act 1993
Building Regulations 1994
Regulations 15.7 (2) **Form 14**

UP-Right Building Inspections
206 North RD Langwarrin
Vic- 3910 PH: 0416 006 219

CERTIFICATE OF COMPLIANCE - INSPECTION REPORT

To:
Name : Peter Phillips
Address : 9 Queen st Mornington
Fax No : 03 5975 6566

From:
Name : Craig Matheson
Address : 206 North RD Langwarrin
Fax No : 03 9789 7847

Address of the Property:
3 Penny lane McCrae

Inspection type :

Blinding		Pre Slab / Foundation		Footing / Steel		Sub Floor Frame		Final	✔
Piers		Pre Pour / Steel		Pads / Steel		Frame		Other	re

Inspection Details:
Dwelling Addition

Building Permit documents assessed:

Building Permit:	✔	Structural Design / Dwawings:		Architectural Drawings:	✔	Plan No:	
Specifications:		Town Planning Permit:		Soil Report:		Other:	

Special Areas:

Termite:	✔	Flood:		High wind:		Landslip:		Bushfire:		Other:	

Description of Building Works Inspected: **N/A = Refer Direction** **✓ = OK**

Site excavations		Architectural layout		Wall & roof cladding	✔	Other matters	
Angle of repose		Structural design		Storm water	✔	Permit Conditions	
Layout		Load points		Fire safety	✔	Inspection incomplete	
Easements		Frame tie down		Safe movement & access	X	No Access	
Foundation material		Bracing - roof & walls		Health & amenity	✔	**Certificates Required**	
Size / depth		Wall & Roof frames		Services	✔	Plumbing	Yes
Preparation		Frame construction / fixings		Glazing	✔	Termite	Yes
Reinforcement		Sub floor construction		Sub floor ventilation	✔	Insulation	Yes
Service Pipes		Protection works		Site drainage		Electrical	

Inspection Result:

Approved :		Not Approved :	✔	Approved subject to :	

Notified:

Owner:		Builder:		Contractor:		Surveyor:	✔	Report left on site:	✔	Supervisor:	

I **certify / do not certify** that the building work as described in this report and inspected by myself, complies with the following provisions of the Act Or Regulations* (* Includes BCA and relevant standards) , As are relevant to the approved Building Permit documents.
This report covers works completed at the time of the Inspection, non visible aspects or works incomplete do not form part of this report.

AS2870 -1996 Slabs & ftgs &/or BCA Vol-2 (Part 3.2)		BCA Vol 2 Part 3.7 (fire safety)	
AS3700 -1998 Masonry &/or BCA Vol-2 (Part 3.3)		BCA Vol 2 Part 3.9 (Safe movement & access)	x
AS3959 -1999 Bushfire &/or BCA Vol-2 (Part 3.7.4)		BCA Vol 2 Part 3.8 (Health & amenity)	
AS1684 -1999 Timber framing &/or BCA Vol-2 (Part 3.4)		BCA Vol 2 Part 3.5 (Roof & Wall Cladding)	
AS1288 -1994 Glazing &/or BCA Vol-2 (Part 3.6)		BCA Vol 2 Part 3.1.2.3 (Surface Drainage)	
AS3660.1- 1995 Termites &/or BCA Vol-2 (Part 3.1.3.2)		BCA Vol 2 Part 3.1.2.5 (Storm water Drainage)	
AS3786 - 1993 Smoke alarms &/or BCA Vol-2 (Part 3.7.2)		BCA Vol 2 Part 3.1.1.2 (Excavation adjaceet vacant land)	
AS1926.1- 1993 Pool fencing &/or BCA Vol-2 (Part 3.9.3)		BCA Vol 2 Part 3.1.1.3 (Excavation adjacent existing works)	
AS2918 - 1990 Solid fuel app' &/or BCA Vol-2 (Part 3.7.3)		BCA Vol 2 Part 3.10.1 (High wind areas)	
AS2601 - 1993 Metal framing &/or BCA Vol-1 (Part 3.4.2)		AS3740 - 1994 Water proofing of wet areas	
AS2269 - 1994 Structural Plywood		AS2601 - 1991 Demolition of structures	
AS2699 - 1984 Masonry wall ties		AS2082 - 1979 Visually stress graded hardwoods	
AS2050 - 1995 Installation of roof tiles		AS2858 - 1986 Visually stress graded softwoods	
AS2904 - 1995 Dampproof courses & Flashings		AS1613 - 1974 Colors for marking timbers	

Notes: Provide all certificates.
Provide droppers at 900mm centres to wire balustrade.

Inspection date: 8/7/03
Inspection time: 10:15
Signature
Personal Information

Registration No : IN-U 1588

BUILDING WORK DIRECTION

Issued in accordance with Section 37
of the Building Act 1993

Issued to:

Owner:	F DIMOPOULOS, V DIMOPOULOS 3 Penny Lane MCCRAE VIC 3938

Property Address:

Lot 4 PS 348585 Vol 10283 Fol 265 3 Penny Lane MCCRAE VIC 3938

Nature of works:

Dwelling Additions		Building Permit	**B1001/03**

Date of Inspection:	27/05/2003	Date of Direction:	28/05/2003

Inspection carried out;

Site Pre-slab Slab steel Frame **Final**

Rectification works required:

1. No top plate to stud tie downs have been provided to the East wall of the sunroom
2.Provide non slip treads to internal stairs
3. Provide a solid handrail and droppers at 900mm ctr's as per wire specification (internal stairs)
4. Provide safety glass beside the ensuite shower
5Provide smoke detectors as per plans
6. Provide stat deck stating that insulation was installed as per plan
7. Provide complying stairs up into the store room
8Provide a Termite certificate
9. Provide Plumbing certificates

Re-inspection, Required/ *Prior to continuation of works.*

Person who undertook inspection

Building Inspector		Practitioners No.	***IN-U-1588***

Signed; Craig Matheson Date: 28/05/2003

(Our Ref: WD022/03 Land No. 44715)

Building Act 1993
Section 37

UP-Right Building Inspections
206 North RD Langwarrin
Vic- 3910 PH: 0416 006 219

Building Permit No:

BUILDING INSPECTION DIRECTION

To:		**From:**	
Name :	Peter Phillips	Name :	Craig Matheson
Address :	9 Queen st Mornington	Address :	206 North RD Langwarrin
Fax No :	03 5975 6566	Fax No :	03 9789 7847

Address of the Property:

3 Penny Lane McCrae

Inspection type :

Blinding		Pre Slab / Foundation		Footing / Steel		Sub Floor Frame		Final	✓
Piers		Pre Pour / Steel		Pads / Steel		Frame	✓	Other	

Inspection Details:

Dwelling Addition

Inspection Result:

Approved:		Not Approved:	✓	Approved subject to:	

Notified:

Owner:	✓	Builder:		Contractor:		Surveyor:	✓	Supervisor:		Report left on site:	

Inspection Result – Not Approved Refer directions below for details

Directions:

1)	No top plate to stud tie downs have been provided to the East wall of the sunroom.
2)	Provide non slip treads to internal stairs.
3)	Provide a solid handrail and droppres at 900mm ctr's as per wire balustrading specification. (Internal stairs).
4)	Provide complying stairs up into the store room.
5)	Provide safety glass beside the ensuite shower.
6)	Provide smoke detectors as per plans.
7)	Provide stat deck stating that Insulation was installed as per plans.
8)	Provide a Termite certificate.
9)	Provide Plumbing certificates.

You are required to carry out the above requiremments, and on completion of all requirements please contact the office and arrange a further Inspection.

Inspection date:	**Inspection Time:**	**Signature**	**Registration No : IN-U 1588**
27/5/03	10:30	Personal Information	

BUILDING WORK DIRECTION

Issued in accordance with Section 37
of the Building Act 1993

Issued to:

Owner:	F DIMOPOULOS, V DIMOPOULOS 3 Penny Lane MCCRAE VIC 3938

Property Address:

Lot 4 PS 348585 Vol 10283 Fol 265 3 Penny Lane MCCRAE VIC 3938

Nature of works:

Dwelling Additions		Building Permit	**B1001/03**

Date of Inspection:	16/05/2003	Date of Direction:	26/05/2003

Inspection carried out;

Site Pre-slab Slab steel Frame **Final**

Rectification works required:

1 Deck Ledger is to be screwed to the Dwelling at 900mm ctr's	OK
2.Top plate tie downs are to be made visible at the next inspection via roof space or external cladding is to be removed	
3 Bottom plate tie downs are to be exposed at the next inspection .Plaster is to be removed where requested on site.	OK
4. Tiedowns are to be provided to both ends of RB2,RB4, & RB5 as per Engineering details, must run 1200mm down the wall from the under side of the beam. 2 straps of hoop iron to each end of each beam.	OK
5. Nailing of ply bracing to be made visible at the next inspection,plaster is to be removed where request on site.	OK
6. Provide blocking under RB1 & RB2 studs.	OK
7. Brick steps which have been built over the boundary are to be removed.	
Verandah frame inspection OK	

Re-inspection, Required/ *Prior to continuation of works.*

Person who undertook inspection

Building Inspector		Practitioners No.	***IN-U-1588***

Signed; Craig Matheson Date: 26/05/2003

(Our Ref: WD020/03 Land No. 44715)

Building Act 1993
Section 37

UP-Right Building Inspections
206 North RD Langwarrin
Vic- 3910 PH: 0416 006 219

Building Permit No:

BUILDING INSPECTION DIRECTION

To:		**From:**	
Name :	Peter Phillips	Name :	Craig Matheson
Address :	9 Queen st Mornington	Address :	206 North RD Langwarrin
Fax No :	03 5975 6566	Fax No :	03 9789 7847

Address of the Property:
3 Penny Lane McCrae

Inspection type :

Blinding		Pre Slab / Foundation		Footing / Steel		Sub Floor Frame		Final	
Piers		Pre Pour / Steel		Pads / Steel		Frame	✓	Other	re

Inspection Details:
Dwelling Addition

Inspection Result:

Approved:		Not Approved:	✓	Approved subject to:	

Notified:

Owner:		Builder:		Contractor:		Surveyor:	✓	Supervisor:		Report left on site:	

Inspection Result – Not Approved Refer directions below for details

Directions:

1)	Deck Ledger is to be screwed to the Dwelling at 900mm ctr's.
2)	Top Plate tie downs are to be made visible at the next Inspection, Via roof space or external cladding is to be removed.
3)	Bottom plate tie downs are to be exposed at the next Inspection., Plaster is to be removed where requested on site.
4)	Tiedowns are to be provided to both ends of R.B.2, R.B.4 and R.B.5 as per Engineering details, Must run 1200mm
	Down the wall from the under side of the beam, 2 straps of hoop Iron to each end of each beam.
5)	Nailing of plybracing to be made visible at the next Inspection, plaster is to be removed where requested on site.
6)	Provide blocking under R.B.1 & R.B.2 Studs.
7)	Brick steps which have been built over the boundary are to be removed.
Verandah frame Inspected and OK	

You are required to carry out the above requiremments, and on completion of all requirements please contact the office and arrange a further Inspection.

Inspection date: 16/5/03 **Inspection Time:** 9:30 **Signature** Personal Information **Registration No : IN-U 1588**

Building Act 1993
Building Regulations 1994
Regulations 15.7 (2) **Form 14**

UP-Right Building Inspections
206 North RD Langwarrin
Vic- 3910 PH: 0416 006 219

CERTIFICATE OF COMPLIANCE - INSPECTION REPORT

To:
Name : Peter Phillips
Address : 9 Queen st Mornington
Fax No : 03 5975 6566

From:
Name : Craig Matheson
Address : 206 North RD Langwarrin
Fax No : 03 9789 7847

Address of the Property:
3 Penny Lane Mc Crae

Inspection type :

Blinding		Pre Slab / Foundation		Footing / Steel		Sub Floor Frame		Final	
Piers		Pre Pour / Steel		Pads / Stump holes	✔	Frame		Other	

Inspection Details:
Deck

Building Permit documents assessed:

Building Permit:	✔	Structural Design / Dwawings:		Architectural Drawings:	✔	Plan No:	
Specifications:		Town Planning Permit:		Soil Report:		Other:	

Special Areas:

Termite:	✔	Flood:		High wind:		Landslip:		Bushfire:		Other:	

Description of Building Works Inspected: **N/A = Refer Direction** **✓ = OK**

Site excavations		Architectural layout		Wall & roof cladding		Other matters	
Angle of repose		Structural design		Storm water		Permit Conditions	
Layout	✔	Load points		Fire safety		Inspection incomplete	
Easements		Frame tie down		Safe movement & access		No Access	
Foundation material	✔	Bracing - roof & walls		Health & amenity		**Certificates Required**	
Size / depth	✔	Wall & Roof frames		Services		Plumbing	
Preparation	X	Frame construction / fixings		Glazing		Termite	
Reinforcement		Sub floor construction		Sub floor ventilation		Insulation	
Service Pipes		Protection works		Site drainage		Electrical	

Inspection Result:

Approved :		Not Approved :		Approved subject to :	✔

Notified:

Owner:	✔	Builder:		Contractor:		Surveyor:	✔	Report left on site:		Supervisor:	

I **certify** / that the building work as described in this report and inspected by myself, complies with the following provisions of the Act Or Regulations* (* Includes BCA and relevant standards) , As are relevant to the approved Building Permit documents.
This report covers works completed at the time of the Inspection, non visible aspects or works incomplete do not form part of this report.

AS2870 -1996 Slabs & ftgs &/or BCA Vol-2 (Part 3.2)	✔	BCA Vol 2 Part 3.7 (fire safety)	
AS3700 -1998 Masonry &/or BCA Vol-2 (Part 3.3)		BCA Vol 2 Part 3.9 (Safe movement & access)	
AS3959 -1999 Bushfire &/or BCA Vol-2 (Part 3.7.4)		BCA Vol 2 Part 3.8 (Health & amenity)	
AS1684 -1999 Timber framing &/or BCA Vol-2 (Part 3.4)		BCA Vol 2 Part 3.5 (Roof & Wall Cladding)	
AS1288 -1994 Glazing &/or BCA Vol-2 (Part 3.6)		BCA Vol 2 Part 3.1.2.3 (Surface Drainage)	
AS3660.1- 1995 Termites &/or BCA Vol-2 (Part 3.1.3.2)		BCA Vol 2 Part 3.1.2.5 (Storm water Drainage)	
AS3786 - 1993 Smoke alarms &/or BCA Vol-2 (Part 3.7.2)		BCA Vol 2 Part 3.1.1.2 (Excavation adjacect vacant land)	
AS1926.1- 1993 Pool fencing &/or BCA Vol-2 (Part 3.9.3)		BCA Vol 2 Part 3.1.1.3 (Excavation adjacent existing works)	
AS2918 - 1990 Solid fuel app' &/or BCA Vol-2 (Part 3.7.3)		BCA Vol 2 Part 3.10.1 (High wind areas)	
AS2601 - 1993 Metal framing &/or BCA Vol-1 (Part 3.4.2)		AS3740 - 1994 Water proofing of wet areas	
AS2269 - 1994 Structural Plywood		AS2601 - 1991 Demolition of structures	
AS2699 - 1984 Masonry wall ties		AS2082 - 1979 Visually stress graded hardwoods	
AS2050 - 1995 Installation of roof tiles		AS2858 - 1986 Visually stress graded softwoods	
AS2904 - 1995 Dampproof courses & Flashings		AS1613 - 1974 Colors for marking timbers	

Notes:
Must clean all loose matter and water from holes before pouring.

Inspection date: 14/4/03
Inspection time: 10:30
Signature
Personal Information

Registration No : IN-U 1588

Building Act 1993
BUILDING REGULATIONS 1994
Regulation 2.6

FORM 2

BUILDING PERMIT – B1001/03

Issued to
Owner/Agent of owner: FOTI DIMOPOULOS
3 Penny Lane MCCRAE VIC 3938

Ownership Details (only if agent of owner is listed above)
Owner

Property Details:- Lot 4 PS 348585 Vol 10283 Fol 265 3 Penny Lane MCCRAE VIC 3938
Allotment area m2: 827.0000 Square Metres

Municipal District **Mornington Peninsula Shire**
Builder: Owner Builder

Stages of work permitted: As shown on approved plans
Project estimated value : $15000
Nature of Building Work: DWELLING

Building details:

Class :	1a	Persons accommodated for:	0
Description:	dwelling additions	No of storeys:	2
		Allowable live load:	1.5kpa
Area (m2):	44.4	New floor area,m2:	44.4

Details of building practitioners and architects

Details of domestic building work insurance
The issuer or provider of the required insurance policy is:-

Details of Relevant Planning Permit (if applicable)
Planning Permit No:P02/2535 Planning Permit Date:17/2/2003.
Inspection requirements: Mandatory notification stages foundations, frame (including existing outstanding items & existing verandah roof), Final

Occupation of Building: An occupancy permit/certificate of final inspection is required prior to the occupation or use of this building

Commencement and Completion: This building work must commence by 10/04/2004 and must be completed by 10/04/2005

Relevant Building Surveyor
Name: **PETER PHILLIPS** Registration No **BS-2222**

Personal Information

Signature_____ Date of Issue: **10 April 2003**

Note No alteration to or variation from the stamped plans and specifications may be made without written consent of the Building Surveyor. Before building work is commenced additional permits or approvals may need to be obtained under other Acts or other regulations- including the Planning and Environment Act 1987. Where registration with the Housing Guarantee Fund is required all provisions of the House Contracts Guarantee Act 1987 apply.

342.40 258302
137.50
204

Building Fee $275.00

GST. $ 27.50

19-20

Levy / Hill Levy $ ~~24.90~~ 5-70

Lodgement $ 15.00

TOTAL $ 342.40.

Less 137-50

204-90

L.

Can You Please Ring

Frank. [illegible] Advise

of above.

[illegible] Lands [illegible] 17/3/03

Mornington Peninsula Shire

ABN: 53 159 398 143

Private Bag 1000

Rosebud 3939

REPRINTED

TAX INVOICE
OFFICIAL RECEIPT

18 03 2003 Receipt No: 265194

To: MR F DIMOPOULOS

Qty/ Applic	Reference	Amount
	[illegible]	[illegible]
	[illegible]	
	To GL Receipt	

Total Amount	$204.90
Includes GST of:	$0.00

Amount Tendered

Cash	$0.00
Cheque	$204.90
Card	$0.00
Money Order	$0.00
Agency fee	$0.00
Total	$204.90
Rounding	$0.00
Change	$0.00
Nett	$204.90

Printed 18/03/2003 11:21:22

Cashier: adamm

9.60
9.60
5.70 (HIH)

19-20
5 70
24 90

Building Act 1993
BUILDING REGULATIONS 1994
Regulation 2.11(1)(a) *Form 1*

APPLICATION FOR A BUILDING PERMIT

MORNINGTON PENINSULA
Shire
Private Bag 1000
Besgrove Street
Rosebud 3939
Tel (03)5986 0200
Fax (03)5986 6696
DX 30059

To: **Municipal Building Surveyor**

From
Agent or owner* F. Dimopoulos
Postal address 3 PENNY LANE MCCRAE Post code 3938
Address for serving or giving of documents ... Post code ...

Indicate if the applicant is a Lessee or licensee of Crown land to which this a application applies YES [ ] NO [x]

Ownership details (only if agent of owner listed above)
Owner FRANK Dimopoulos
Postal address 3 PENNY LANE MCCRAE Post code 3938
Contact person FRANK Telephone 0411287641

Property details (include title details as and if applicable)

Number 34	~~Street/road~~ PENNY LANE	~~City~~/suburb/~~town~~ MCCRAE	Post code 3938
Lot/s 1	~~LP~~/PS 348585-B	Volume 10283 10052	Folio 245
~~C~~n allotment —	Section B	Parish WANNAEUE	County
Municipal District -		Allotment area (for new dwellings only) 827 m²	

Builder (if known)
Name OWNER Builder Telephone 0411287641
Postal address ... Post code ...

Building Practitioners[1] and/or architects
a) to be engaged in the building work[2]
Name ... Category/Class ... Registration No. ...
Name ... Category/Class ... Registration No. ...
(if a registered domestic builder carrying out domestic building work, attach details of the required insurance)

b) who were engaged to prepare documents forming part of the application for this permit[3]
Name ... Category/Class ... Registration No. ...
Name ... Category/Class ... Registration No. ...

Nature of building work: Indicate X where applicable or give other description

Construction of a new building	[ ]	Alterations to an existing building	[X]
~~D~~emolition of a building	[ ]	Removal of a building	[ ]
Extension to an existing building	[ ]	Change of use of an existing building	[ ]
Re-erection of a building	[ ]	Other	[ ]

Proposed use of building[4]: HOME

Owner Builder[5] I intend to carry out the work as an owner builder YES [X] NO [ ]

Cost of Building work Is there a contract for the building work? YES [ ] NO [X]
If no, state the estimated cost of the building work *(including the cost of labour and materials)* $
If yes, state the contract price $

Stage of building work
If application is to permit a stage of the building work
Extent of stage FOR C.F.O
Value of building work for this stage $ 15,000

Personal Information

Signature of owner or agent/applicant... Date 28-2-03

Refer to notes over page.

Explanation of Notes referred to on page 1

Note 1 Building practitioner means:-

(a) a building surveyor; or
(b) a building inspector; or
(c) a quantity surveyor; or
(d) an engineer engaged in the building industry; or
(e) a draftsperson who carries on a business of preparing plans for building work or preparing documentation relating to permits and permit applications; or
(f) a builder including a domestic builder; or
(g) a person who erects or supervises the erection of prescribed temporary structures; or
(h) a person responsible for a building project or any stage of a building project and who belongs to a class of people prescribed to be building practitioners.

but does not include:-

(I) an architect except in Part 9 and sections 24(3) and 176(6); or
(j) a person (other than a domestic builder) who does not carry on the business of building.

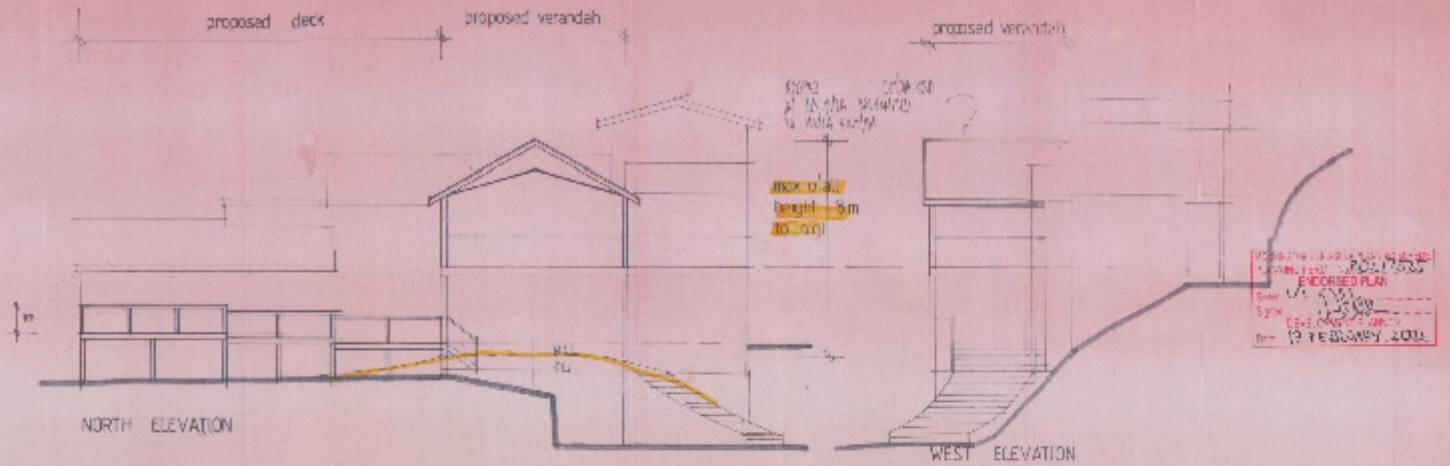
Note 2 include building practitioners with continuing involvement in the building work

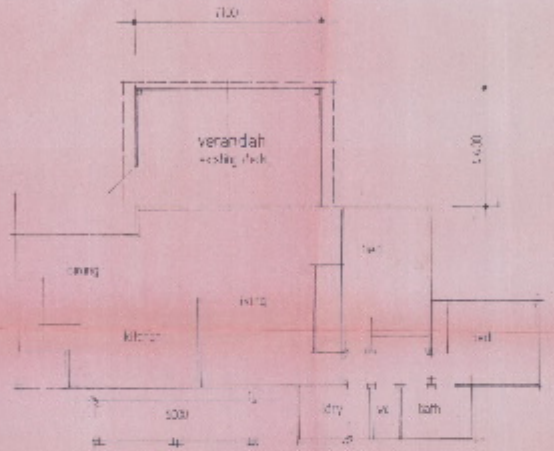
Note 3 Include only building practitioners with no further involvement in the building work

Note 4 The use of the building may also be subject to additional requirements under other legislation such as the **Liquor Control Reform Act 1998** and the dangerous **Goods Act 1985**

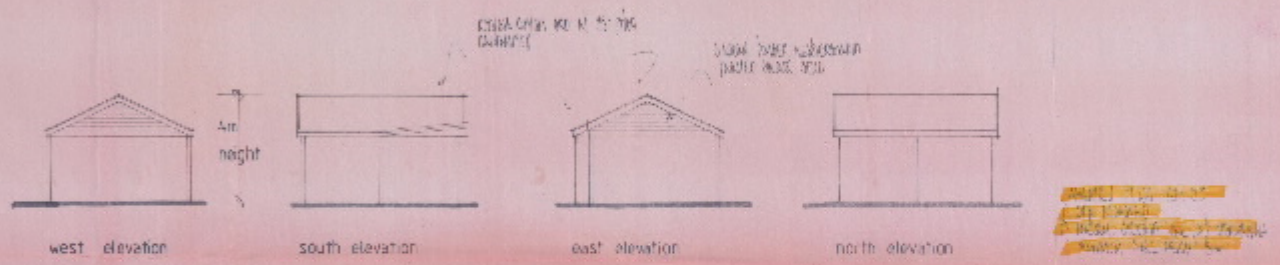
Note 5 If an owner builder restrictions on the sale of the property apply under section 137B of the Act. Section 137B also prohibits an owner builder of domestic building work from selling the building within 6½ years from the date of completion of the relevant works unless they have satisfied certain requirements including obtaining compulsory insurance. The Building Control Commission maintains a current list of domestic building insurance providers.

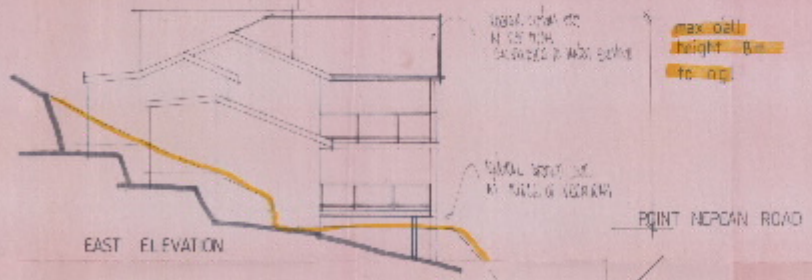
BUILDING FEE	$	PLANNING ADVICE		BUILDING SURVEYOR APPROVAL
COMPUTATIONS	$	PLANNING	REQUIRED	
BUILDING PERMIT LEVY	$	Part 4	REQUIRED	DATE .....
HIH Levy	$			SIGNED .....
LODGEMENT FEE	$			
TOTAL AMOUNT	$			

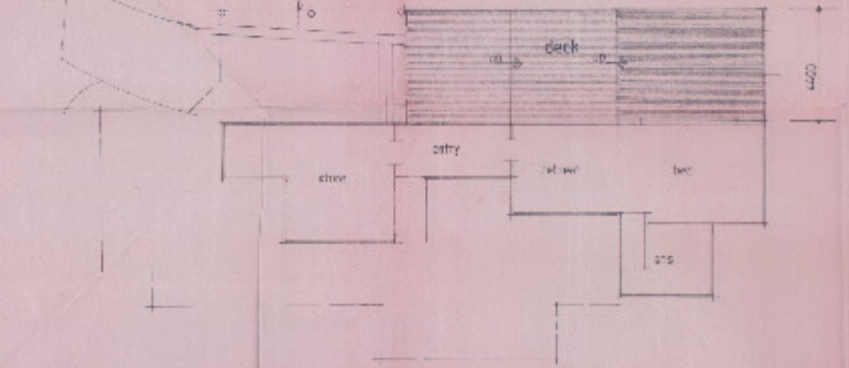




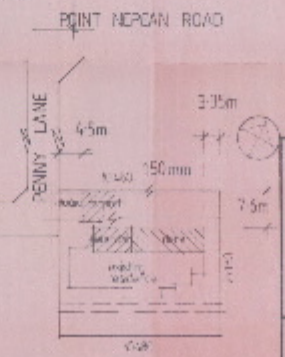
FLOOR PLAN







LOWER FLOOR PLAN



SITE PLAN

AMENDED

proposed additions at
3 PENNY LANE
Mc CRAE
for
Mr & Mrs F DIMOPOLOUS

longbeach drafting

00596

19 March, 2003

NO CHIMNEY

Mr F Dimopoulos
3 Penny Lane
McCRAE 3938

Dear Sir — DECK LEDGER.

RE: 3 PENNY LANE, MCCRAE – BA 981848

I refer to you submission of amended plans received on 14/3//03 detailing the proposed amendments to the dwelling and the submission of the survey undertaken by Watson P/L and received on 18/3//03 for the above site and advise as follows.

I am willing to issue a new building permit for the building work still to be undertaken being-

1. Framing items

- Bearer ends and joins to be supported in the store & steps ✓
- Tie top plates to studs/studs to sub-floor — PETER
- Provide tie downs to RB2/RB4 & RB5 as per engineering computations (page B) N/A
- Nail ply bracing @ 50 mm centres top & bottom — PETER —
- Amend all plans to show wall and window positions (submitted 24/2/03) ✓
- Block under studs RB1 & RB2

2. Building work

- Completion of the timber decking adjacent to the entry, bedroom and retreat

3.

- Submission of the computations for the glazed balustrading including computations, from the manufacturer
- It would appear that the columns known as DC3 & DC5 exceed the design length of 6.9 metres considerably and amended engineering computations (with Form 13) will need to be submitted confirming their adequacy prior to the issue of the Occupancy permit

TIES + TRUSSES OK

The existing roofed area over the decking adjacent to the living room cannot be issued with a building permit as the work has been completed. You must expose all framing members and connections to enable inspection to be undertaken to ensure that compliance with the submitted engineering drawings is achieved.

Furthermore, from the survey submitted it is evident that portion of the entry stairs and retaining wall (masonry) have been constructed on the adjoining allotment. You are required to submit amended plans detailing the removal of all structures over the title boundary and proposed new replacement structures. The existing timber sleeper retaining wall may remain on the adjoining property provided written consent is received from the owner of the allotment agreeing to the current siting.

If you have any queries in regard to this matter please do not hesitate to contact me on (03) 5986 0160.

Yours faithfully,

Personal Information

Peter Phillips
MUNICIPAL BUILDING SURVEYOR

(Our ref: Land No. 44715)

5987 2000


BAILEY

Manufacture, handling and installation of trusses to comply with DTUG-0008.

JOB DETAILS
Design Wind Velocity = 36.0m/s

TRUSS DETAILS

Group Number	1	2	3
Roof Material	S	S	S
Top Chord Restraint (mm)	900	900	900
Ceiling Material	10B	10B	LS12
Bottom Chord Restr. (mm)	450	450	300
Truss Centres (mm)	900	900	900
Pitch 1 (degrees)	27.00	15.00	26.20
Pitch 2 (degrees)	27.00	8.00	15.00
External Pressure Coeff.	-0.90	-0.90	-0.90
Internal Pressure Coeff.	0.20	0.20	0.20
TC to Match at Heel (mm)	90	90	90
Preferred Timber for TCs	DRP4	DRP4	DRP4
Preferred Timber for BCs	DRP4	DRP4	DRP4
Pref. Timber for Webs.	DRP4	DRP4	DRP4
Conseq. of Failure Class	Norm	Norm	Norm

MATERIALS	Code	Description	DL kPa	S.Wt kN/m
Roof Materials	S	Steel deck	0.114	0.032
Ceiling Materials	10B	10mm Plaster,battened	0.108	0.032
	LS12	Lining Boards,softwood,12mm	0.096	0.040

NOTES: Truss self-weight modified for truss thickness during design.
Additional DL on TC overhang due to eave lining = 0.080 kPa.
Pressure coefficient on underside of TC overhang = 0.80.
Load sharing from structural fascia assumed for Point LL on TC overhang.

TIMBER

Spec. Code	Timber Description	Str. Group	Jnt. Group	Timb. Thick	Undersize on Depth	Undersize on Thick.	Group
DHW3	Dry Hardwood	SD4	JD3	35	0	0	1,2,3
				45	0	0	
DRP4	Dry Radiata Pine	SD6	JD4	35	0	0	1,2,3
				45	0	0	
DSA5	DRY SADDLE	SD6	JD5	35	0	0	1,2,3

Long Term Creep Factor for Seasoned Timber = 2.0

Assumptions in Plate Design
Plates Platen pressed.
Plate placement tolerance perpendicular/parallel to chord = 6mm/ 6mm.
Edge/End distance of member ignored for plate design = 6mm/12mm.
Criticality Codes for Timber Design - Refer DataTRUSS User Guide DTUG-0017.
Country Code = Australia Version type = Fabricator Engineering
Engineering Notes
Hold down details to resist uplift loads from wind by others (DL+WL).
Truss design assumes supporting structure is stable in its own right.
Truss bracing and layout details by others.

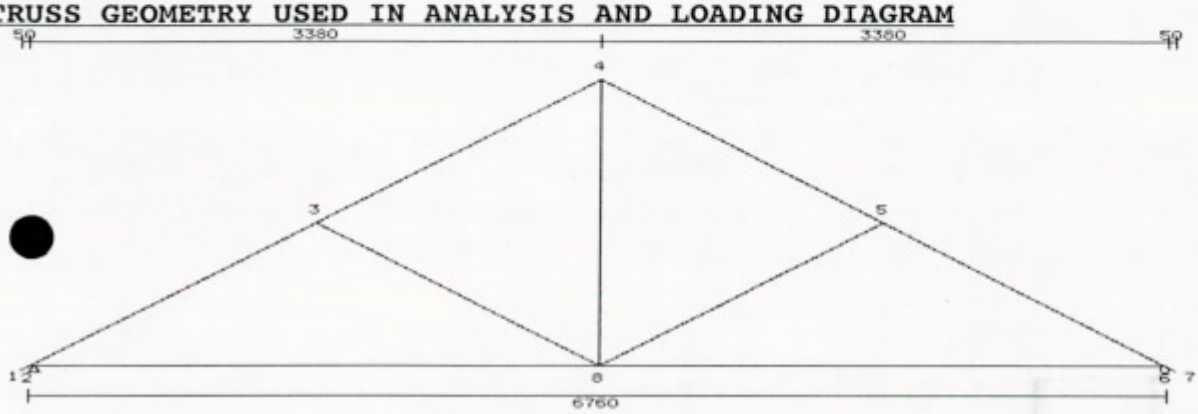
Job No : GIB-710 Client : FRANK DIMOPULOS
Job Date : 12NOV98 Site : 3 PENNY LANE McCRAE
Printed : 27FEB03 ; 12:33
Estimator: PETER OWEN Melway: Form No.: 0606 Mar95
GANG-NAIL DataTRUSS v4.81-p25
"OWEN" ROOF TRUSS & WALL FRAMES 2 JOHN STREET, DANDENONG. 3175.

DESIGN DATA FOR THIS TRUSS

Dead Load on Truss TC / BC = 0.150 / 0.144 kPa
Parallel Support Factor (k8) = 1.00 Grid Factor (k9) = 1.15 (3 trusses)
Live Load = 0.412 kPa
Loading Type : T (Standard Strip Loading) [Pin jointed analysis]
Truss Mark T1 Web Layout Q Number Off = 3 T.D.Grp.No. 1
Actual Thick. 35 mm : Single truss Nom. Span 6760 mm

	Left:	Right:
Overhang	50 mm	50 mm
Cutoff	0 mm	0 mm
Cantilever	0 mm	0 mm

TRUSS GEOMETRY USED IN ANALYSIS AND LOADING DIAGRAM



Notes : (i) TCs, BCs and Webs are numbered consecutively from left to right.

DESIGNED TIMBER SIZES AND GRADES

MEM.	DESC.	SPEC.	SIZE	CR.	RSTR.	PITCH	LOH	ROH	HL	ST	TA
T1	T1	DRP4	90F 5	N	900	27.0	50	0	101	0	0
T2	T2	DRP4	90F 5	N	900	-27.0	0	50	101	0	0
B1	B1	DRP4	90F 8	LD	450	0.0	0	0			
W1	W1	DRP4	70F 4	N							
W2	W2	DRP4	70F 4	N							
W3	W3	DRP4	70F 4	N							

DEFLECTIONS, SUPPORT JOINTS AND REACTIONS

Joint No.	: 8	
Long Term Defl.,DL,0.00mm slip =	1mm	
Vertical Support at Joint No. :	2	6
Horizon. Displ. (Long Term) =	0mm	0mm
Vertical Reaction(kN) DL Only =	0.93	0.93
Vertical Reaction(kN) DL+LL =	2.16	2.16
Vertical Reaction(kN) DL+WL =	-1.65	-1.65
*** UPLIFT *** Hold Down :	1 TLG	1 TLG
Horizon. Support at Joint No. :	2	

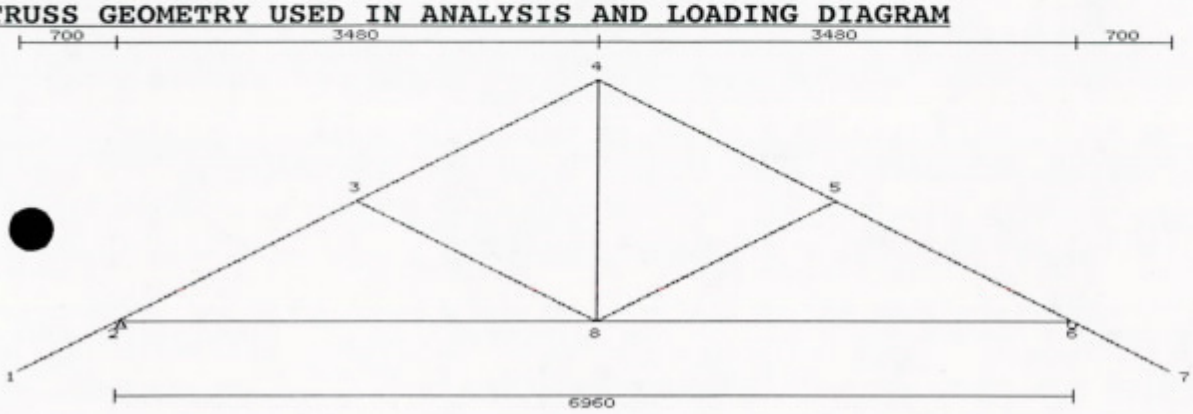
Job No : GIB-710 Client : FRANK DIMOPULOS
Job Date : 12NOV98 Site : 3 PENNY LANE McCRAE
Printed : 27FEB03 ; 12:33
Estimator: PETER OWEN Melway: Form No.: 0606 Mar95
GANG-NAIL DataTRUSS v4.81-p25
"OWEN" ROOF TRUSS & WALL FRAMES 2 JOHN STREET, DANDENONG. 3175.

DESIGN DATA FOR THIS TRUSS

Dead Load on Truss TC / BC = 0.150 / 0.144 kPa
Parallel Support Factor (k8) = 1.00 Grid Factor (k9) = 1.10 (2 trusses)
Live Load = 0.359 kPa
Loading Type : T (Standard Strip Loading) [Pin jointed analysis]
Truss Mark T2 Web Layout Q Number Off = 2 T.D.Grp.No. 1
Actual Thick. 35 mm : Single truss Nom. Span 6960 mm

	Left:	Right:
Overhang	700 mm	700 mm
Cutoff	0 mm	0 mm
Cantilever	0 mm	0 mm

TRUSS GEOMETRY USED IN ANALYSIS AND LOADING DIAGRAM



Notes : (i) TCs, BCs and Webs are numbered consecutively from left to right.

DESIGNED TIMBER SIZES AND GRADES

MEM.	DESC.	SPEC.	SIZE	CR.	RSTR.	PITCH	LOH	ROH	HL	ST	TA
T1	T1	DRP4	90F	5 N	900	27.0	700	0	101	0	0
T2	T2	DRP4	90F	5 N	900	-27.0	0	700	101	0	0
B1	B1	DRP4	90F	8 LD	450	0.0	0	0			
W1	W1	DRP4	70F	4 N							
W2	W2	DRP4	70F	4 N							
W3	W3	DRP4	70F	4 N							

DEFLECTIONS, SUPPORT JOINTS AND REACTIONS

Joint No. :	8	
Long Term Defl.,DL,0.00mm slip =	1mm	
Vertical Support at Joint No. :	2	6
Horizon. Displ. (Long Term) =	0mm	0mm
Vertical Reaction(kN) DL Only =	1.10	1.10
Vertical Reaction(kN) DL+LL =	2.42	2.42
Vertical Reaction(kN) DL+WL =	-2.33	-2.33
*** UPLIFT *** Hold Down :	2 TLG	2 TLG
Horizon. Support at Joint No. :	2	

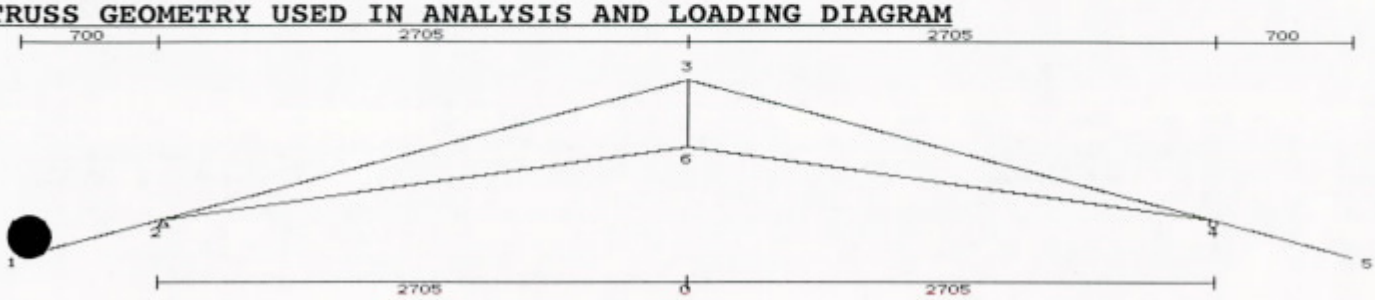
Job No : GIB-710 Client : FRANK DIMOPULOS Page 5
Job Date : 12NOV98 Site : 3 PENNY LANE McCRAE
Printed : 27FEB03 ; 12:33
Estimator: PETER OWEN Melway: Form No.: 0606 Mar95
GANG-NAIL DataTRUSS v4.81-p25
"OWEN" ROOF TRUSS & WALL FRAMES 2 JOHN STREET, DANDENONG. 3175.

DESIGN DATA FOR THIS TRUSS

Dead Load on Truss TC / BC = 0.150 / 0.144 kPa
Parallel Support Factor (k8) = 1.00 Grid Factor (k9) = 1.21 (8 trusses)
Live Load = 0.414 kPa
Loading Type : T (Standard Strip Loading) [Pin jointed analysis]
Truss Mark SC3 Web Layout K Number Off = 8 T.D.Grp.No. 2
Actual Thick. 35 mm : Single truss Nom. Span 5410 mm

	Left:	Right:
Overhang	700 mm	700 mm
Cutoff	0 mm	0 mm
Cantilever	0 mm	0 mm

TRUSS GEOMETRY USED IN ANALYSIS AND LOADING DIAGRAM



Notes : (i) TCs, BCs and Webs are numbered consecutively from left to right.

DESIGNED TIMBER SIZES AND GRADES

MEM.	DESC.	SPEC.	SIZE	CR.	RSTR.	PITCH	LOH	ROH	HL	ST	TA
T1	T1	DRP4	90F	8 S2	900	15.0	700	0	93	0	0
T2	T2	DRP4	90F	8 N	900	-15.0	0	700	93	0	0
B1	B1	DRP4	90F	8 DD	450	8.0	0	0			
B2	B2	DRP4	90F	8 N	450	-8.0	0	0			
W1	W1	DRP4	70F	4 N							

DEFLECTIONS, SUPPORT JOINTS AND REACTIONS

Joint No. :	6	
Long Term Defl.,DL,0.00mm slip =	7mm	
Vertical Support at Joint No. :	2	4
Horizon. Displ. (Long Term) =	0mm	3mm
Vertical Reaction(kN) DL Only =	0.88	0.88
Vertical Reaction(kN) DL+LL =	2.15	2.15
Vertical Reaction(kN) DL+WL =	-2.04	-2.04
*** UPLIFT *** Hold Down :	1 TLG	1 TLG
Horizon. Support at Joint No. :	2	

Truss Notes, Warnings and Error Messages

** Note ** Truss has one or more sloping bottom chords.. Refer DTRS-0006.

Job No : GIB-710 Client : FRANK DIMOPULOS
Job Date : 12NOV98 Site : 3 PENNY LANE McCRAE
Printed : 27FEB03 ; 12:33
Estimator: PETER OWEN Melway: Form No.: 0606 Mar95
GANG-NAIL DataTRUSS v4.81-p25
"OWEN" ROOF TRUSS & WALL FRAMES 2 JOHN STREET, DANDENONG. 3175.

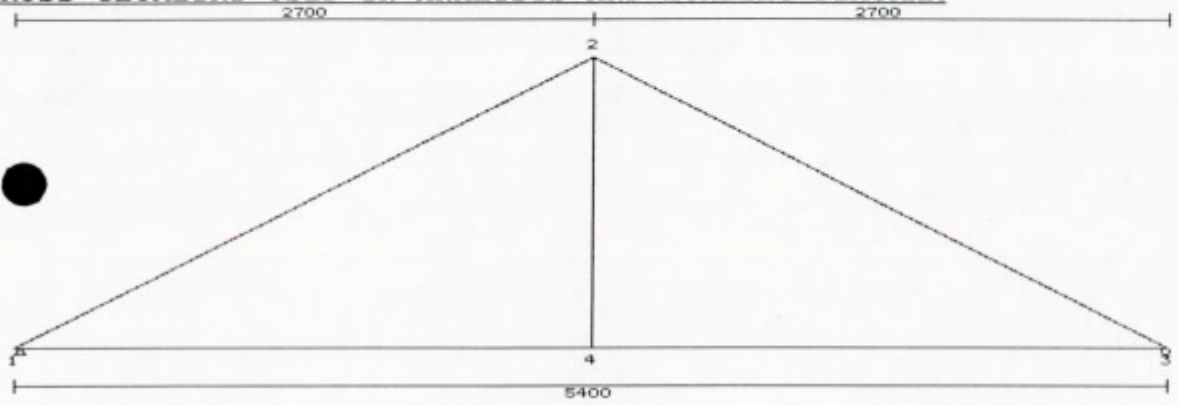
DESIGN DATA FOR THIS TRUSS

Dead Load on Truss TC / BC = 0.150 / 0.032 kPa
Parallel Support Factor (k8) = 1.00 Grid Factor (k9) = 1.00
Live Load = 0.490 kPa
Loading Type : SA (Standard Strip Loading on TC) [Pin jointed analysis]
Truss Mark SA5400-1 Web Layout W Number Off = 1 T.D.Grp.No. 1
Actual Thick. 35 mm : Single truss Nom. Span 5400 mm

	Left:	Right:
Overhang	0 mm	0 mm
Cutoff	0 mm	0 mm
Cantilever	0 mm	0 mm

Vertical Strut Centres = 1900 mm

TRUSS GEOMETRY USED IN ANALYSIS AND LOADING DIAGRAM



Notes : (i) TCs, BCs and Webs are numbered consecutively from left to right.

DESIGNED TIMBER SIZES AND GRADES

MEM.	DESC.	SPEC.	SIZE	CR.	RSTR.	PITCH	LOH	ROH	HL	ST	TA
T1	T1	DSA5	70F 8	S2	900	27.0	0	0			
T2	T2	DSA5	70F 8	S2	900	-27.0	0	0			
B1	B1	DSA5	70F 5	S3	900	0.0	0	0			
W1	W1	DSA5	70F 4	N							

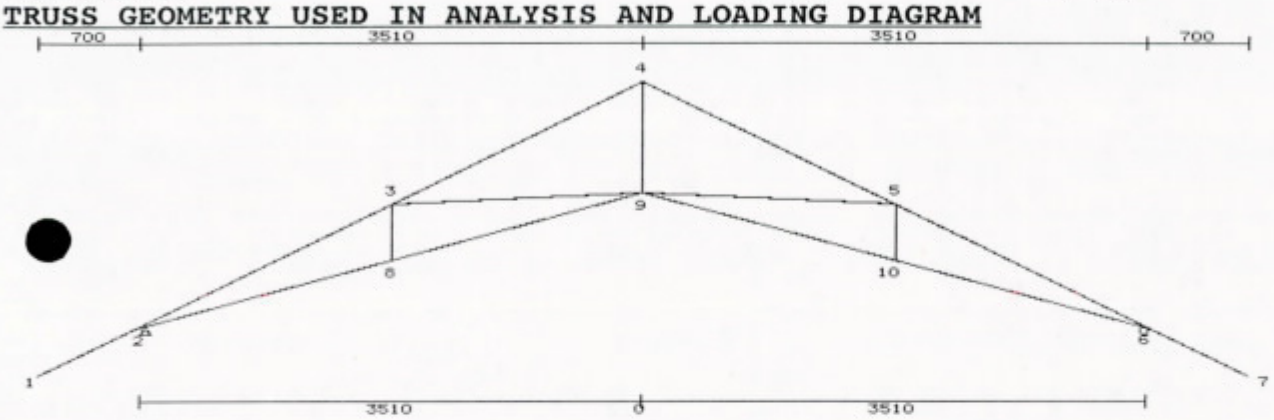
Job No : GIB-710 Client : FRANK DIMOPULOS Page 7
Job Date : 12NOV98 Site : 3 PENNY LANE McCRAE
Printed : 27FEB03 ; 12:33
Estimator: PETER OWEN Melway: Form No.: 0606 Mar95
GANG-NAIL DataTRUSS v4.81-p25
"OWEN" ROOF TRUSS & WALL FRAMES 2 JOHN STREET, DANDENONG. 3175.

DESIGN DATA FOR THIS TRUSS

Dead Load on Truss TC / BC = 0.150 / 0.140 kPa
Parallel Support Factor (k8) = 1.00 Grid Factor (k9) = 1.21 (6 trusses)
Live Load = 0.358 kPa
Loading Type : T (Standard Strip Loading) [Pin jointed analysis]
Truss Mark SC4 Web Layout HA Number Off = 6 T.D.Grp.No. 3
Actual Thick. 35 mm : Single truss Nom. Span 7020 mm

Overhang	Left:	700 mm	Right:	700 mm
Cutoff		0 mm		0 mm
Cantilever		0 mm		0 mm

TRUSS GEOMETRY USED IN ANALYSIS AND LOADING DIAGRAM



Notes : (i) TCs, BCs and Webs are numbered consecutively from left to right.

DESIGNED TIMBER SIZES AND GRADES

MEM.	DESC.	SPEC.	SIZE	CR.	RSTR.	PITCH	LOH	ROH	HL	ST	TA
T1	T1	DRP4	90F	5 N	900	26.2	700	0	100	0	0
T2	T2	DRP4	90F	5 N	900	-26.2	0	700	100	0	0
B1	B1	DRP4	90F	4 N	300	15.0	0	0			
B2	B2	DRP4	90F	4 N	300	-15.0	0	0			
W1	W1	DRP4	70F	4 N							
W2	W2	DRP4	70F	4 N							
W3	W3	DRP4	70F	4 N							
W4	W4	DRP4	70F	4 N							
W5	W5	DRP4	70F	4 N							

DEFLECTIONS, SUPPORT JOINTS AND REACTIONS

Joint No. :	8	9	10
Long Term Defl.,DL,0.00mm slip =	8mm	9mm	8mm
Vertical Support at Joint No. :	2	6	
Horizon. Displ. (Long Term) =	0mm	6mm	
Vertical Reaction(kN) DL Only =	1.14	1.14	
Vertical Reaction(kN) DL+LL =	2.50	2.50	
Vertical Reaction(kN) DL+WL =	-2.39	-2.39	
*** UPLIFT *** Hold Down :	2 TLG	2 TLG	
Horizon. Support at Joint No. :	2		

Truss Notes, Warnings and Error Messages

** Warning ** Horizontal displacement at support > 4 mm. Refer DTRS-0006
** Note ** Truss has one or more sloping bottom chords.. Refer DTRS-0006.

Job No : GIB-710 Client : FRANK DIMOPULOS
Job Date : 12NOV98 Site : 3 PENNY LANE McCRAE
Printed : 27FEB03 ; 12:33
Estimator: PETER OWEN Melway: Form No.: 0606 Mar95
GANG-NAIL DataTRUSS v4.81-p25
"OWEN" ROOF TRUSS & WALL FRAMES 2 JOHN STREET, DANDENONG. 3175.

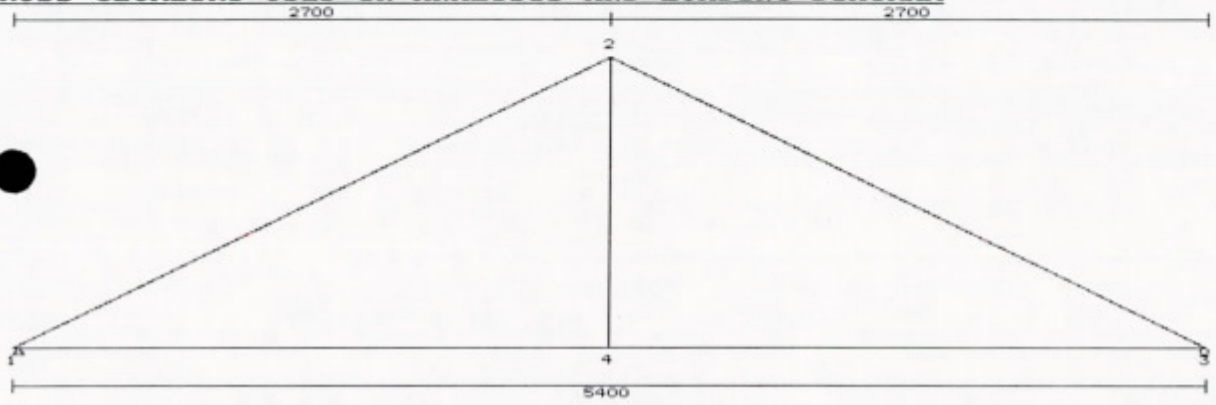
DESIGN DATA FOR THIS TRUSS

Dead Load on Truss TC / BC = 0.150 / 0.040 kPa
Parallel Support Factor (k8) = 1.00 Grid Factor (k9) = 1.00
Live Load = 0.490 kPa
Loading Type : SA (Standard Strip Loading on TC) [Pin jointed analysis]
Truss Mark SA5400-2 Web Layout W Number Off = 1 T.D.Grp.No. 3
Actual Thick. 35 mm : Single truss Nom. Span 5400 mm

	Left:	Right:
Overhang	0 mm	0 mm
Cutoff	0 mm	0 mm
Cantilever	0 mm	0 mm

Vertical Strut Centres = 1900 mm

TRUSS GEOMETRY USED IN ANALYSIS AND LOADING DIAGRAM



Notes : (i) TCs, BCs and Webs are numbered consecutively from left to right.

DESIGNED TIMBER SIZES AND GRADES

MEM.	DESC.	SPEC.	SIZE	CR.	RSTR.	PITCH	LOH	ROH	HL	ST	TA
T1	T1	DSA5	70F 8	S2	900	26.2	0	0			
T2	T2	DSA5	70F 8	S2	900	-26.2	0	0			
B1	B1	DSA5	70F 5	S3	900	0.0	0	0			
W1	W1	DSA5	70F 4	N							

OWENS ROOF TRUSS & WALL FRAMES
20 BRAITHWAITE STREET, WARRNAMBOOL, VIC 3280
PHONE:(055) 62 6855 Fax:(055) 62 9908

Form No.: 0607 Mar95

JOB NO.: GIB-710 **** **COUNCIL DETAILS** **** **PAGE** 1

DATE : 27FEB03

CLIENT : FRANK DIMOPULOS

Estimator : PETER OWEN
Melway :

SITE ADDRESS :
3 PENNY LANE McCRAE

JOB DETAILS

Design Wind Velocity = 36.0m/s

Group Number	1	2
Roof Material.	Steel deck	Steel deck
Top Chord Restraint (mm)	900	900
Ceiling Material	10mm Plaster,battened	10mm Plaster,battened
Bottom Chord Restr. (mm)	450	450
Truss Centres (mm) . . .	900	900
Pitch 1 (degrees). . . .	27.00	15.00
Pitch 2 (degrees). . . .	27.00	8.00
Overhang (mm).	700	700
External Pressure Coeff.	-0.90	-0.90
Internal Pressure Coeff.	0.20	0.20

TIMBER	Description	Str.Grp.	Jnt.Grp.	Group
DHW3	Dry Hardwood	SD4	JD3	1,2,3
DRP4	Dry Radiata Pine	SD6	JD4	1,2,3
DSA5	DRY SADDLE	SD6	JD5	1,2,3

The trusses for this project have been designed using the DataTRUSS computer system written by MiTek Australia Ltd. The design procedure is in accordance with Australian Standards AS1170.1 & 2, AS1720.1-1988 & AS1649.

These trusses should be erected, fixed and braced in accordance with specifications published by MiTek Australia Ltd.

OWENS ROOF TRUSS & WALL FRAMES

certify that these trusses are manufactured under licence to and in accordance with specifications published by MiTek Australia Ltd.

Signed : _____

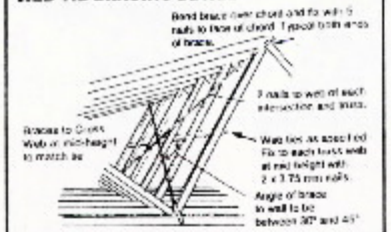
Name : PETER OWEN B.Eng.
Position : DESIGN ENGINEER

NOTES:
DIMENSIONS SHOWN WITH * ARE FROM OUTSIDE OF THE TOP PLATE TO THE FRONT FACE OF THE TRUSS OR RAFTER .
" X " DENOTES BEARING POINT OF CANTERLEVERED TRUSS .
S/B DENOTES SPEED BRACE WIND BRACING .
O DENOTES MK II GIRDER BRACKETS .
[] DENOTES HIGH LOAD GIRDER BRACKETS .
† DENOTES JOIST HANGERS

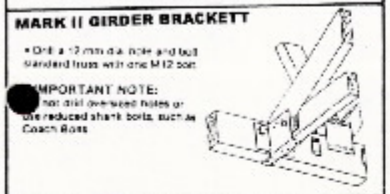
ANCILLARIES:

		CHECK LIST
TRIPPLE L GRIPS	50 OFF	CH12
TRUSS GRIPS	OFF	
SPEED BRACE	12 OFF	CH12
WALL BRACKETS	10 OFF	CH12
GIRDER BRACKETS	X OFF	
HI LOAD BRACKETS	X OFF	
JOIST HANGERS	X OFF	
TEMP. BRACING	30 OFF	MARK
CEILING TRIMMERS	X OFF	
VALLEY BOARDS	X OFF	
LOOSE SPACERS	10 OFF	
	OFF	
	OFF	
	OFF	
	OFF	
	OFF	

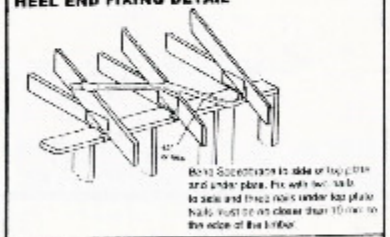
WEB TIE BRACING DETAIL



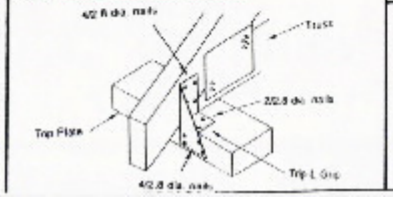
MARK II GIRDER BRACKETT

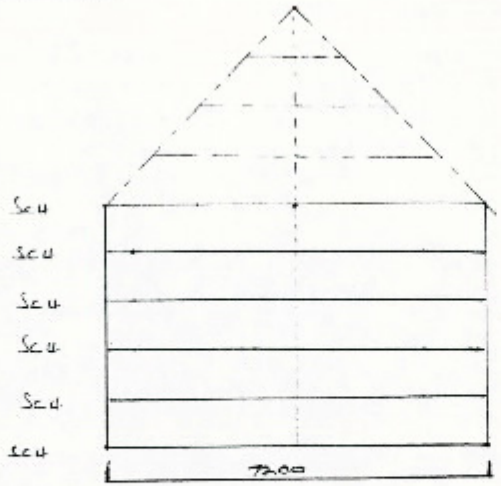


HEEL END FIXING DETAIL

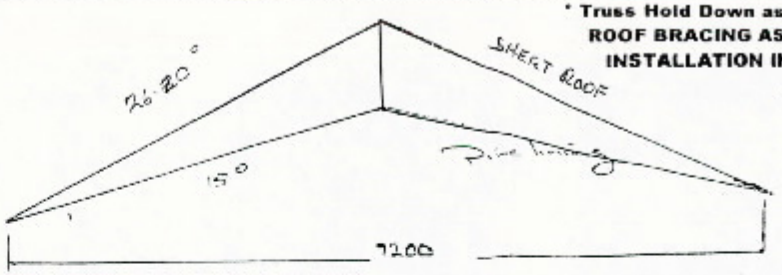


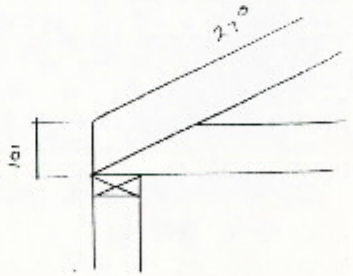
TRIP-L-GRIP FIXING DETAIL

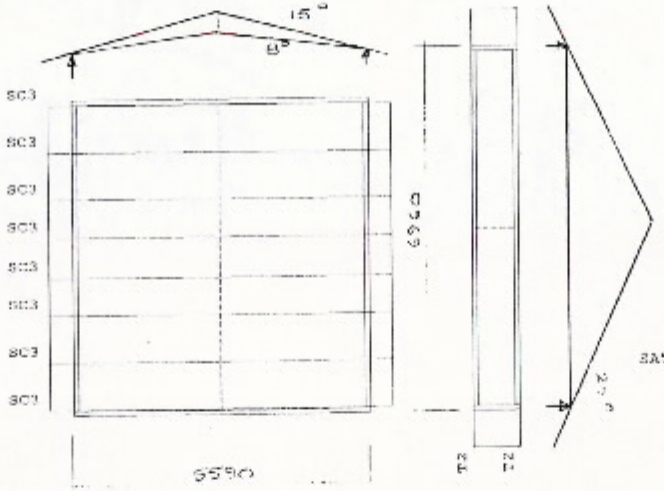


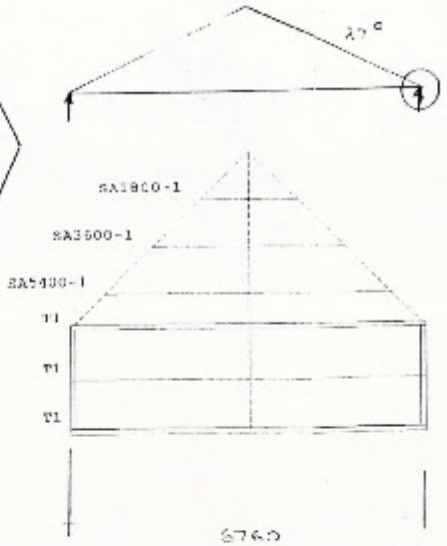


* Truss Hold Down as per Computations *
ROOF BRACING AS PER GANG NAIL INSTALLATION INSTRUCTIONS









CLIENT :	FRANK DIMOPOULOS		
SITE ADDRESS:	3 PENNY LANE McGEAR		
ROOF MATERIAL:	IRON	PITCH:	27° - 15° - 8°INT 26·2°
WIND VELOCITY:	36m/s	OVER HANG:	700 - 450 - 0
TRUSS CENTRES:	900	TIMBER:	RADIATA PINE

"OWEN" ROOF TRUSSES & WALL FRAMES
20 BRAITHWAITE STREET, WARRNAMBOOL, 3280
phone : (03) 55 626855 fax : (03) 55 629908

OR

2 JOHN STREET, DANDENONG, 3175
phone : (03) 9701 3119 fax : (03) 9701 3136

Please reply to : Mornington

Reference Number : 29188

FACSIMILE TRANSMISSION

Watsons Pty. Ltd.
ABN: 47 637 509 613

Date : 18-03-03

Time sent : 11-45 am

Fax. : 59756566

From : Ian Muir

Company : M.P.S.C.

Address :

Project : Lot 4, Penny Lane, McCrae

Attention : Peter Phillips

Number of pages including this one : 2

If any page is illegible or not received please contact sender

Peter,

At the request of Peter Phillips we enclose a copy of a plan which shows the method of defining the western boundary of lot 4.

Ian

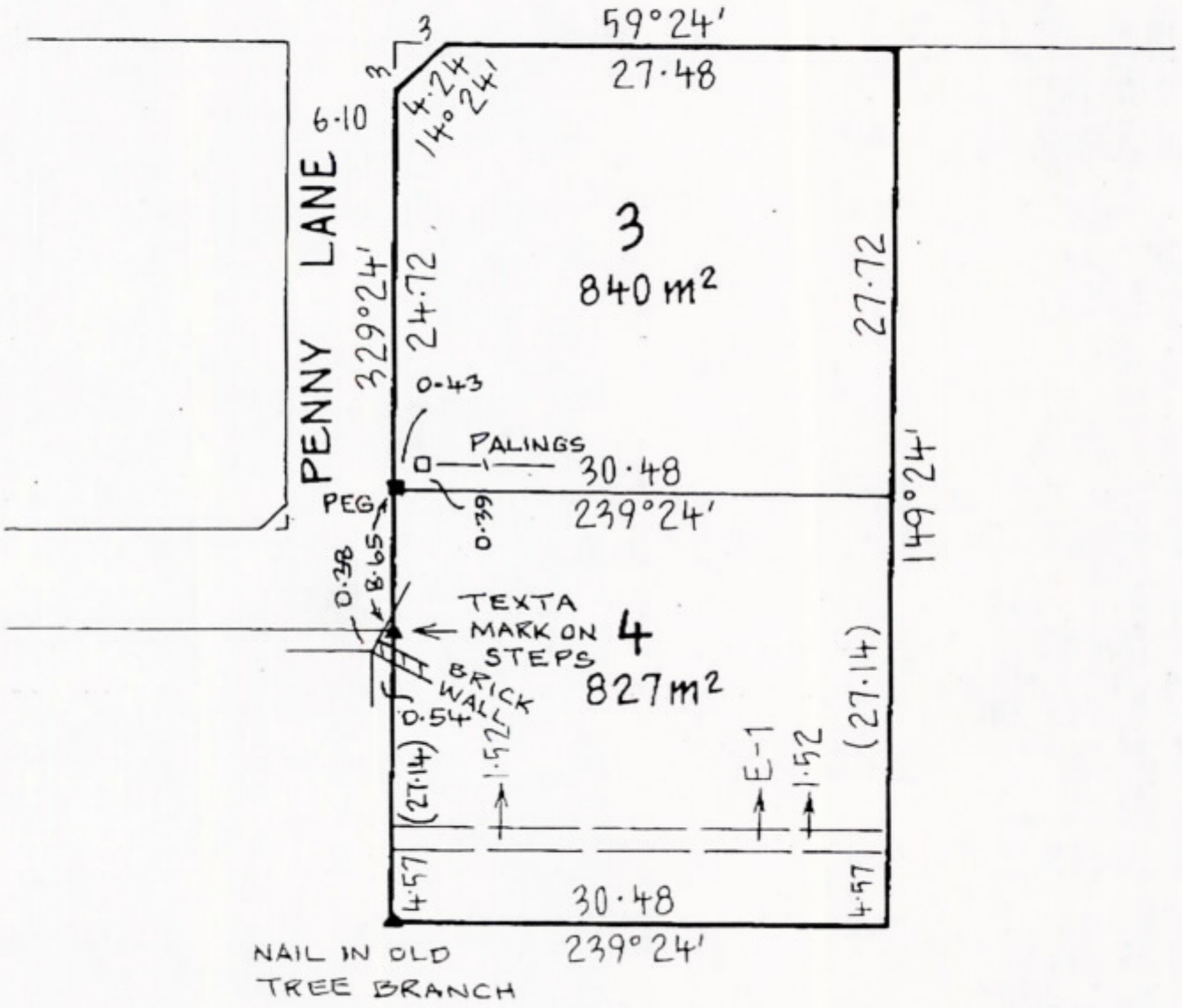
U.D.I.A. Award Winning Land Development Consultants

MORNINGTON
5 Main Street,
P.O.Box 171, 3931
Phone:(03) 5975 4644
Fax:(03) 5975 3916
DX 93118, Mornington

MELBOURNE
Level 2
470 St. Kilda Road
P.O. Box 7223, 3004
Phone:(03) 9820 8144
Fax:(03) 9820 3574

DLIQ ★★★★★
Quality Endorsed Company

POINT NEPEAN ROAD



TY. LTD.

VEERS
OWN PLANNERS

8 gm 00561

27 February, 2003

Mr F Dimopoulos
3 Penny Lane
McCRAE 3938

Dear Sir

RE: 3 PENNY LANE, MCCRAE – BA 981848

I refer to you recent submission of amended plans detailing a proposed roofed area to an existing timber deck and the construction of an additional deck adjacent to the entry, bedroom and retreat at the above site and advise as follows.

As the existing permit was issued on 11 August 1998 with an extension issued on 26 March 2001 to lapse on 26 March 2002, your Building Permit has now lapsed. In accordance with the Building Regulations 1994, (the "Regulations") Regulation 2.8(4). I am unable to extend the Building permit. There exists two (2) alternatives to bring the above project back on track being –

1. Apply for a modification to the Building Appeals Board to allow me to extend a lapsed permit in accordance with Regulation 2.8(4)

2. Apply for a new building permit detailing all outstanding building work. This will require the completion of a new Form 1 (encl), all relevant documentation and fees as applicable

Perusal of the Building permit file reveals that the frame inspection undertaken on 15 February 2000 required the rectification of 6 items that are still outstanding as of today's date-

1. Bearer ends and joins to be supported in the store & steps
2. Tie top plates to studs/studs to sub-floor
3. Provide tie downs to RB2/RB4 & RB5 as per engineering computations (page B)
4. Nail ply bracing @ 50 mm centres top & bottom
5. Amend all plans to show wall and window positions (submitted 24/2/03)
6. Block under studs RB1 & RB2

In accordance with the Building Act 1993, (the "Act") Section 16, a Building Permit is required for all building work prior to that work commencing. As the deck is currently partially constructed and the roof completed over the existing deck, I am unable to issue a Building Permit for this work. Stiff penalties apply to owners that undertake building work without the issue of a Building Permit and as such you will be required to expose all framing/structural members. The above building work will be the subject of a Building Notice served in accordance with Part 8 of the Act that will be served on you in due course.

Furthermore, following a site inspection on 25 February 2003 it appears that portion of the steps and masonry/timber retaining walls have been constructed over the northwestern title boundary of the allotment into either or both the adjoining allotment or the road reserve. In order to clarify this situation you are required to provide a survey undertaken by a Licensed Land surveyor plotting the exact locations of the above mentioned structures. Further action may be taken depending on the results of the survey.

If you have any queries in regard to this matter please do not hesitate to contact me on (03) 5986 0160.

Yours faithfully,

Personal Information

Peter Phillips
MUNICIPAL BUILDING SURVEYOR

Encl. ✓

(Our ref: Land No. 44715)

March 26, 2001

Mr F Dimopolous
3 Penny Lane
McCRAE 3939

RE: 3 PENNY LANE McCRAE

I refer to your request for an extension of time for Building Approval 981848 which approves the construction of a new dwelling at the above address.

I agree to extend the period within which the works approved by the permit are required to be completed by twelve (12) months to then March 26, 2002

You are requested to make every effort to complete the works within this period, as further renewals may not be an option. As such a new building permit would need to be taken out.

Yours faithfully

Personal Information

DARYL WOODS BS-1267
RELEVANT BUILDING SURVEYOR

MARCH 20, 2001

MR F DIMOPOLOUS
3 PENNY LANE
McCRAE. 3939

Dear Sir,Madam

RE: - 3 PENNY LANE McCRAE
BUILDING PERMIT 981848

I refer to the above building permit which approved the construction of a dwelling on the above-mentioned property. A check of our records indicated the building permit and planning permit has lapsed.

As it is illegal to carry out building works without a current permit you are required to extend your building permit for a further 12 months and pay a fee of $ 315.00.

You are required to apply for a new planning permit.

If no response to this letter is received within 14 days, the building permit will be deemed to be expired and as such, any further action with respect to these works will require a new application for a Building Permit to be submitted to Council.

Enclosed is a copy of last Frame inspection carried out on:- 15/2/00 which was not approved.

Please do not hesitate to contact me if you have any queries, or further information is required Phone 59860192.

Personal Information

DARYL WOODS, BS-1267
RELEVANT BUILDING SURVEYOR

Building Act 1993
BUILDING REGULATIONS 1994
Regulations 7.2 & 15.7(2)

AIBS

Building Permit No. : ..... Inspectors ref No. : .....

BUILDING INSPECTION REPORT / CERTIFICATE OF COMPLIANCE

To: Relevant Building Surveyor
Name: Daryl Woods
Address: Besgrove St Private bag 1000
Fax No: 0359772397 Rosebud

From: Building Inpector
Name: Craig Matheson
Address: 206 North Rd Langwarrin
Fax No: 97597647

Address of the Property: 3 PENNY LANE M^C CRAE

Inspection type: [ ] Foundation [ ] Reinforcement [✓] Frame [ ] Final [ ] Other RE

Inspection details: DWELLING ADDITION

Special Areas: [✓] Termite [ ] Flood [ ] High wind [ ] Bushfire [ ] Other .....

Description of Building Works Inspected ✓ satisfactory x refer notes

	Layout	X	Bracing roof & walls		Wall & roof cladding		Other Matters
	Foundation Material	X	Roof frame		Stormwater & site drainage		
	Size / depth	X	Roof tie down		Fire safety		Permit conditions
	Preparation	X	Frame construction/ fixings		Safe movement & access		Siting
	Reinforcement	X	Sub floor construction		Health & amenity		Protection works
	Service Pipes	X	Load points		Services		Certificates
	Site excavations				Glazing		

Inspection Result ☐ approved ☑ not approved ☐ approved subject to...

Comments/Directions:

1) BEARER JOINS AND ENDS TO BE SUPPORTED IN THE STORE + STEPS
2) TIE TOP PLATES TO STUDS / STUDS TO SUBFLOOR
3) PROVIDE TIE DOWNS TO R.B.2 / R.B.4 AND R.B.5 AS PER PAGE B ENGINEERS COMPS
4) NAIL PLY BRACING 50 mm CTRS TOP + BOTTOM
5) AMEND PLANS TO SHOW WALL + WINDOW POSITIONS
6) BLOCK UNDER STUDS R.B-1 + R.B.2

Notified : ☑ Owner ☐ Builder ☐ Contractor ☐ Report left on site

Compliance
I certify/do not certify that the works as described in this report and inspected by me comply with the provisions of the Act, Regulations, BCA and Australian Standards as are relevant to the approved Building Permit documents as follows:
☑ Plans ☐ Specifications ☐ Structural Design ☐ Foundation Report

15.2.00 10 — Personal Information — IN-U 1588
Inspection date and time — *Signature* — *Reg'n Number*

TRYED TO RING
OWNER 28.6.99
3PM
NO ANSER

SENT COPY

INSULATION CERTIFICATE	DATE RECEIVED
TERMITE SPRAY CERTIFICATE - PART A	
TERMITE SPRAY CERTIFICATE - PART B	
MELBOURNE WATER / HEALTH FINAL	
TREATED PINE 20KG/M³ CERTIFICATION	
WHITE CYPRESS PINE GUARANTEE	

DATE	
28.6.99	FRAME N/A CM FAXED COPY TO OWNER.
/1)	BEARERS TO THE SOUTH WEST END OF THE HOUSE ARE INCOMPLETE, THEY DO NOT MEET METAL BRACKETS. PINE PACKERS ARE UN-EXCEPTABLE.
✓ 2)	BLOCKING IS REQ UNDER THE JAMB STUDS IN THE LAUNDRY, KITCHEN AND BATHROOMS.
✓ 3)	EXTERNAL (MASTER/RETREAT) WALL REQUIRES METAL BRACE.
✓ 4)	INTERNAL (ENTRY / BASEMENT) WALLS REQUIRE METAL BRACING.
5)	UPPER STORE ROOM FLOOR JOISTS TO BE SUPPORTED. (BASEMENT/STORE) ROOF.
6)	THERE ARE SEVERAL UN-SUPPORTED BEARER JOINS NEXT TO ENTRY STAIR CASE. (STUMPS TO BE PROVIDED).

Firemans Print, Ref. 179

copy posted to owner 29/6 dw

INSULATION CERTIFICATE	DATE RECEIVED
TERMITE SPRAY CERTIFICATE - PART A	
TERMITE SPRAY CERTIFICATE - PART B	
MELBOURNE WATER / HEALTH FINAL	
TREATED PINE 20KG/M³ CERTIFICATION	
WHITE CYPRESS PINE GUARANTEE	

DATE	
28.6.99	FRAME N/A CON'T CM
✓ 7)	STUD SUPPORT AND BLOCK UNDER (HANGING BEAM BED 1).
✓ 8)	EVERY BATTEN REQUIRES A TIEDOWN AT EVERY RAFTER CONNECTION.
✗ 9)	TOP PLATE IS TO BE TIED TO STUDS AT EVERY STUD.
✓ 10)	UPPER STOREY STUD'S ARE TO BE TIED TO LOWER STOREY STUDS AT EVERY STUD.
11)	STUDS ARE TO BE TIED TO BEARERS AT EVERY STUD.
12)	TIE DOWNS TO R.B.2 / R.B.4 AND R.B.5 ARE NOT AS ENGINEERS DESIGN. R.L.1 IS THE SAME.

INSULATION CERTIFICATE	DATE RECEIVED
TERMITE SPRAY CERTIFICATE - PART A	
TERMITE SPRAY CERTIFICATE - PART B	
MELBOURNE WATER / HEALTH FINAL	
TREATED PINE 20KG/M^3 CERTIFICATION	
WHITE CYPRESS PINE GUARANTEE	

DATE	
28.6.99	FRAME N/A CON'T CM
✓ 12)	BRACING IS NOT AS PER ENGINEERS DESIGN "SUN ROOM".
✓ 13)	DECK JOISTS WERE TO BE TREATED PINE. MELTHOID TO BE PLACED BETWEEN DECKING AND JOISTS AND ALL EXPOSED OREGON IS TO BE PAINTED.
14)	COLUMNS TO SUNROOM STAIRS AND CORNER OF SUNROOM ARE STILL TO BE PLACED.
✓ 15)	DINING ROOM LINTEL IS TO BE SUPPORTED BY 3 F17 STUDS AT EACH END. SEE ENG DRAWINGS.
16)	D.C.1 + D.C.2 HAVE NOT BEEN PLACED.

Foremans Pride, Ref. 139

INSULATION CERTIFICATE	DATE RECEIVED
TERMITE SPRAY CERTIFICATE - PART A	
TERMITE SPRAY CERTIFICATE - PART B	
MELBOURNE WATER / HEALTH FINAL	
TREATED PINE 20KG/M³ CERTIFICATION	
WHITE CYPRESS PINE GUARANTEE	

DATE	
28·6·99	FRAME N/A CON'T CM.
17)	NAILS HAVE PENITRATED THROUGH PLY BRACING SHEETS. (TO BE RE-NAILED).
18)	PLY BRACING UNITS REQUIRE NAILS AT 50mm CTR'S. ACROSS ALL HORIZONTAL NAILING LINES.
19)	VERANDAH, DECKS AND STEPS INCOMPLETE.
√20)	DINING ROOM AND KITCHEN PLY BRACING IS NOT AS DESIGNED.
21)	AMENDED PLAN SHOWING WALL AND WINDOW POSITIONS. E.G KITCHEN/LIVING WALL OR W.C. WINDOW. CHIMNEY HAS BEEN REMOVED.
22)	BLOCK UNDER DOUBLE STUDS R.B.1 + R.B.2.
/23)	DOUBLE STUD REQUIRED UNDER R.B.2.

Max 3 inspections.
Invoice any further ones.

INSULATION CERTIFICATE	DATE RECEIVED
TERMITE SPRAY CERTIFICATE - PART A	
TERMITE SPRAY CERTIFICATE - PART B	
MELBOURNE WATER / HEALTH FINAL	
TREATED PINE 20KG/M³ CERTIFICATION	
WHITE CYPRESS PINE GUARANTEE	

DATE	
25.8.98	RETAINING WALL PADS OK CM (REAR)
21.9.98	RETAINING WALL PADS + FOOTING OK CM (MIDDLE)
13.10.98	SIDE ADDITION STUMP HOLE OK. C.M
	HOUSE RE-STUMPING BY OTHERS.
2.12.98	RETAINING WALL FOOTING (FRONT ONLY)
	OK SUBJECT TO F:13 FROM
	J. FITZ.
15.12.98	STUMP HOLE OK (MASTER + RETREAT)
	DECK NOT INSPECTED 1100 DEEP
	C.M O.O.S.
15.2.00	RE-FRAME N/A CM O.O.S
	ITEMS 5,6,9,11,12,14,16,17,18,19
	21, 22 INCOMPLETE FROM
	28.6.99.

D. A. Pingiaro B.E. (Civil) Grad Dip Bus (Management)
RBPV RPEQ M.I.E. (Aust)

P.O. Box 456
Mount Martha 3934
Phone: 5974 1219
Fax: 5974 1240

Tony Pingiaro

And Associates

Consulting Structural Engineers

ABN 25 299 846 774

31.3.03 13/2003

Mornington Peninsula Shire
Private Bag 1000
ROSEBUD VIC 3939

Att: Mr. Peter Phillips

Dear Sir,

RE: 3 PENNY LANE, McCRAE – BA 981848

Further to our telephone conversation today, please find enclosed copy of Structural Calculations and Form 13 Structural Certification for the existing balustrades to the balconies at the above residence. The existing balustrades are structurally adequate.

I also wish to confirm the I have measured the tallest column, DC3, supporting the main deck, and found it to be 6400 mm high to the underside of the deck beam. This is less than the original design height of 6900 mm.

I trust that the above information satisfies your requirements in relation to the above matters.

Yours Faithfully,

Personal Information

A. Pingiaro

Tony Pingiaro and Associates
Consulting Engineers

Form 13

Building Act 1993

BUILDING REGULATIONS 1994

Regulation 15.7(2)

CERTIFICATE OF COMPLIANCE – DESIGN

To:

Relevant Building Surveyor:.....

Postal Address:.....

From:

Building Practitioner: D.A. Pingiaro. Category/Class: Civil Engineer

Postal Address: P.O. Box 456 Mt. Martha 3934.

I certify that the part of the design described as:

Structural Calculations for Proposed Alt and Addit to Residence -
3 Penny Lane, McCrae, complies with the following provisions of
the Regulations: Building Code of Australia and the relevant Australian Standards.

Design Documents

Structural Calculations: 13/2003 Sheet 1 Prepared by: Tony Pingiaro Date: Mar 03

Working Drawings: A4 Sheets 1 & 2 Prepared by: Frank Dimopoulos Date: Mar 03

Test Reports, accreditations, other documentation:

Signature:

Personal Information

Signed Building Practitioner.. .....Registration No.: EC-1150

Date: 31.3.03.

Tony Pingiaro and Associates
PO Box 456 Mount Martha 3934
Phone: 5974 1219 Fax: 5974 1240
ABN 25 299 846 774

13/2003

Structural Calculations

Proposed Alt and Addit to Residence

3 Penny Lane, McCrae

31st March, 2003

TONY PINGIARO AND ASSOCIATES

PROPOSED RESIDENCE
3 PENNY LANE,
McCRAE

Sheet No: 1
Job No: 13/2003.
Date: 31.3.03
Engs: AP.

BALUSTRADE TO DECK:

TOP HANDRAIL:

Span: 7100 mm c/c (Max.)

$M^{Horiz.}_{Dist} = 0.35 \times 7.10^2/8 = 2.21$ kN.m.

$M^{Horiz.}_{Conc} = 0.60 \times 7.10/4 = 1.07$ kN.m.

For Existing 76.1x3.6 CHS. Top Handrail:

$f_b = 2.21 \times 10^3 / 14.2 = 155.6$ MPa.

$F_b = 0.66 \times 250 = 165$ MPa ✓ ok.

EXISTING 76.1 x 3.6 CHS HOT DIP GALVANISED TOP HANDRAIL IS ADEQUATE.

GLASS INFILL PANELS:

Vertical Span: 1000 mm.

- Spanning Vertically (Supported Along Top and Bottom Edges)

$M^{Vert}_{Dist.} = (0.50 \times 1.00) \times 1.00^2/8 = 0.062$ kN.m/m.

$M^{Vert}_{Conc.} = 0.25 \times 1.00/4 = 0.063$ kN.m. (Conc. Load over $0.01m^2$)

For Existing 8 mm Toughened Glass:

For $0.01 m^2$ Conc. Load @ Midspan (ie 100mm x 100mm)

Eff. Width = 100 + (1.20 x 500) = 700 mm

$\therefore Z_{min} = 1/6 \times 700 \times 7.70^2 = 6917.16$ mm^3.

$\therefore f_b = 0.063 \times 10^6 / 6917.16 = 9.11$ MPa.

For 8mm Toughened Glass: $F_b = 2.50 \times 15.2 = 38.0$ MPa ✓ ok.

EXISTING 8.00 mm TOUGHENED GLASS INFILL PANELS TO BALUSTRADES ARE ADEQUATE.

Tony Pingiaro and Associates
PO Box 456 Mount Martha 3934
Phone: 5974 1219 Fax: 5974 1240
ABN 25 299 846 774

13/2003

Structural Calculations

Proposed Alt and Addit to Residence

3 Penny Lane, McCrae

31st March, 2003

TONY PINGIARO AND ASSOCIATES

PROPOSED RESIDENCE
3 PENNY LANE,
McCRAE

Sheet No: 1
Job No: 13/2003.
Date: 31.3.03
Engr: A.P.

BALUSTRADE TO DECK:

TOP HANDRAIL:

Span: 7100 mm c/c (Max.)

$M_{DIST.}^{Horiz.} = 0.35 \times 7.10^2/8 = 2.21$ kN.m.

$M_{CONC}^{Horiz.} = 0.60 \times 7.10/4 = 1.07$ kN.m.

For Existing 76.1x3.6 CHS. Top Handrail:

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$F_b = 0.66 \times 250 = 165$ MPa ✓ ok.

EXISTING 76.1 x 3.6 CHS HOT DIP GALVANISED TOP HANDRAIL IS ADEQUATE.

GLASS INFILL PANELS:

Vertical Span: 1000 mm.

- Spanning Vertically (Supported Along Top and Bottom Edges)

$M_{DIST.}^{VERT} = (0.50 \times 1.00) \times 1.00^2/8 = 0.062$ kN.m/m.

$M_{CONC.}^{VERT} = 0.25 \times 1.00/4 = 0.063$ kN.m. (Conc. Load over $0.01m^2$)

For Existing 8 mm Toughened Glass:

For $0.01 m^2$ Conc. Load @ Midspan (ie 100mm x 100mm)

Eff. Width = 100 + (1.20 x 500) = 700 mm

$\therefore z_{min} = 1/6 \times 700 \times 7.70^2 = 6917.16 mm^3$.

$\therefore f_b = 0.063 \times 10^6 / 6917.16 = 9.11$ MPa.

For 8mm Toughened Glass: $F_b = 2.50 \times 15.2 = 38.0$ MPa ✓ ok.

EXISTING 8.00 mm TOUGHENED GLASS INFILL PANELS TO BALUSTRADES ARE ADEQUATE.

Tony Pingiaro and Associates
PO Box 456 Mount Martha 3934
Phone: 5974 1219 Fax: 5974 1240
ABN 25 299 846 774

13/2003

Structural Calculations

Proposed Alt and Addit to Residence

3 Penny Lane, McCrae

31st March, 2003

TONY PINGIARO AND ASSOCIATES

PROPOSED RESIDENCE
3 PENNY LANE,
McCRAE

Sheet No: 1
Job No: 13/2003.
Date: 31.3.03
Engr: AP.

BALUSTRADE TO DECK:

TOP HANDRAIL:

Span: 7.00 mm c/c (Max.)

$M_{DIST.}^{HORIZ.} = 0.35 \times 7.10^2/8 = 2.21$ kN.m.

$M_{CONC}^{HORIZ.} = 0.60 \times 7.10/4 = 1.07$ kN.m.

For Existing 76.1x3.6 CHS Top Handrail:

$f_b = 2.21 \times 10^3 / 14.2 = 155.6$ MPa.

$F_b = 0.66 \times 250 = 165$ MPa ✓ ok.

EXISTING 76.1 x 3.6 CHS HOT DIP GALVANISED TOP HANDRAIL IS ADEQUATE.

GLASS INFILL PANELS:

Vertical Span: 1000 mm.

- Spanning Vertically (Supported Along Top and Bottom Edges)

$M_{DIST.}^{VERT} = (0.50 \times 1.00) \times 1.00^2/8 = 0.062$ kN.m/m.

$M_{CONC.}^{VERT} = 0.25 \times 1.00/4 = 0.063$ kN.m. (Conc. Load over $0.01m^2$)

For Existing 8 mm Toughened Glass:

For $0.01 m^2$ Conc. Load @ Midspan (ie 100mm x 100mm)

Eff. Width = 100 + (1.20 x 500) = 700 mm

$\therefore Z_{min} = 1/6 \times 700 \times 7.70^2 = 6917.16 mm^3$.

$\therefore f_b = 0.063 \times 10^6 / 6917.16 = 9.11$ MPa.

For 8mm Toughened Glass: $F_b = 2.50 \times 15.2 = 38.0$ MPa ✓ ok.

EXISTING 8.00 mm TOUGHENED GLASS INFILL PANELS TO BALUSTRADES ARE ADEQUATE.

Tony Pingiaro and Associates
PO Box 456 Mount Martha 3934
Phone: 5974 1219 Fax: 5974 1240
ABN 25 299 846 774

13/2003

Structural Calculations

Proposed Alt and Addit to Residence

3 Penny Lane, McCrae

31st March, 2003

TONY PINGIARO AND ASSOCIATES

PROPOSED RESIDENCE
3 PENNY LANE,
McCRAE

Sheet No: 1
Job No: 13/2003.
Date: 31.3.03
Engr: A.P.

BALUSTRADE TO DECK:

TOP HANDRAIL:

Span: 7100 mm c/c (Max.)

$M_{DIST.}^{HORIZ.} = 0.35 \times 7.10^2/8 = 2.21$ kN.m.

$M_{CONC.}^{HORIZ.} = 0.60 \times 7.10/4 = 1.07$ kN.m.

For Existing 76.1 x 3.6 CHS. Top Handrail:

$f_b = 2.21 \times 10^3 / 14.2 = 155.6$ MPa.

$F_b = 0.66 \times 250 = 165$ MPa ✓ ok.

EXISTING 76.1 x 3.6 CHS HOT DIP GALVANISED TOP HANDRAIL IS ADEQUATE.

GLASS INFILL PANELS:

Vertical Span: 1000 mm.

- Spanning Vertically (Supported Along Top and Bottom Edges)

$M_{DIST.}^{VERT} = (0.50 \times 1.00) \times 1.00^2/8 = 0.062$ kN.m/m.

$M_{CONC.}^{VERT} = 0.25 \times 1.00/4 = 0.063$ kN.m. (Conc. Load over $0.01m^2$)

For Existing 8 mm Toughened Glass:

For $0.01m^2$ Conc. Load @ Midspan (ie 100mm x 100mm)

Eff. Width = $100 + (1.20 \times 500) = 700$ mm

$\therefore Z_{min} = 1/6 \times 700 \times 7.70^2 = 6917.16$ mm^3.

$\therefore f_b = 0.063 \times 10^6 / 6917.16 = 9.11$ MPa.

For 8mm Toughened Glass: $F_b = 2.50 \times 15.2 = 38.0$ MPa ✓ ok.

EXISTING 8.00 mm TOUGHENED GLASS INFILL PANELS TO BALUSTRADES ARE ADEQUATE.

GANG-NAIL DataTRUSS v4.81-p11b
"OWEN" ROOF TRUSS & WALL FRAMES 77 DONOVANS RD, WARRNAMBOOL, VIC. 3820.

Manufacture, handling and installation of trusses to comply with DTUG-0008.

JOB DETAILS
Design Wind Velocity = 36.0m/s

TRUSS DETAILS

Group Number	1	2	3
Roof Material	S	S	S
Top Chord Restraint (mm)	900	900	900
Ceiling Material	10B	10B	LS12
Bottom Chord Restr. (mm)	450	450	300
Truss Centres (mm)	900	900	900
Pitch 1 (degrees)	27.00	15.00	26.20
Pitch 2 (degrees)	27.00	8.00	15.00
External Pressure Coeff.	-0.90	-0.90	-0.90
Internal Pressure Coeff.	0.20	0.20	0.20
TC to Match at Heel (mm)	90	90	90
Preferred Timber for TCs	DRP4	DRP4	DRP4
Preferred Timber for BCs	DRP4	DRP4	DRP4
Pref. Timber for Webs.	DRP4	DRP4	DRP4
Conseq. of Failure Class	Norm	Norm	Norm

MATERIALS	**Code**	**Description**	**DL kPa**	**S.Wt kN/m**
Roof Materials	S	Steel deck	0.114	0.032
Ceiling Materials.	10B	10mm Plaster,battened	0.108	0.032
	LS12	Lining Boards,softwood,12mm	0.096	0.040

NOTES: Truss self-weight modified for truss thickness during design.
Additional DL on TC overhang due to eave lining = 0.080 kPa.
Pressure coefficient on underside of TC overhang = 0.80.
Load sharing from structural fascia assumed for Point LL on TC overhang.

TIMBER

Spec. Code	**Timber Description**	**Str. Group**	**Jnt. Group**	**Timb. Thick**	**Undersize on Depth**	**Thick.**	**Group**
DHW3	Dry Hardwood	SD4	JD3	35	0	0	1,2,3
				45	0	0	
DRP4	Dry Radiata Pine	SD6	JD4	35	0	0	1,2,3
				45	0	0	

Long Term Creep Factor for Seasoned Timber = 2.0

Assumptions in Plate Design
Plates Platen pressed.
Plate placement tolerance perpendicular/parallel to chord = 6mm/ 6mm.
Edge/End distance of member ignored for plate design = 6mm/12mm.
Criticality Codes for Timber Design - Refer DataTRUSS User Guide DTUG-0017.
Country Code = Australia Version type = Fabricator - Multiple Data sets

2

Truss Mark T1

Job No : GIB-710 Client : FRANK DIMOPOULOS (D) Page 3
Job Date : 12NOV98 Site : 3 PENNY LANE
Printed : 20MAY99 ; 13:44 McCRAE
Estimator: ROB GIBSON Melway:

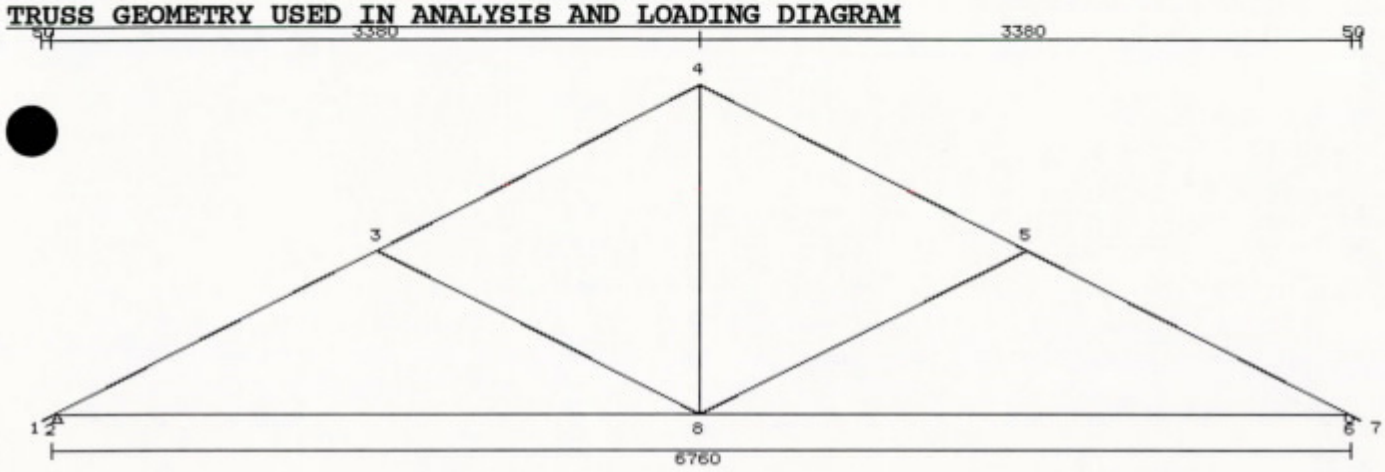
GANG-NAIL DataTRUSS v4.81-p11b
"OWEN" ROOF TRUSS & WALL FRAMES 77 DONOVANS RD, WARRNAMBOOL, VIC. 3820.

DESIGN DATA FOR THIS TRUSS

Dead Load on Truss TC / BC = 0.150 / 0.144 kPa
Parallel Support Factor (k8) = 1.00 Grid Factor (k9) = 1.15 (3 trusses)
Live Load = 0.412 kPa
Loading Type : T (Standard Strip Loading) [Pin jointed analysis]
Truss Mark T1 Web Layout Q Number Off = 3 T.D.Grp.No. 1
Actual Thick. 35 mm : Single truss Nom. Span 6760 mm

	Left:	Right:
Overhang	50 mm	50 mm
Cutoff	0 mm	0 mm
Cantilever	0 mm	0 mm

TRUSS GEOMETRY USED IN ANALYSIS AND LOADING DIAGRAM



Notes : (i) TCs, BCs and Webs are numbered consecutively from left to right.

DESIGNED TIMBER SIZES AND GRADES

MEM.	DESC.	SPEC.	SIZE	CR.	RSTR.	PITCH	LOH	ROH	HL	ST	TA
T1	T1	DRP4	90F	5 N	900	27.0	50	0	101	0	0
T2	T2	DRP4	90F	5 N	900	-27.0	0	50	101	0	0
B1	B1	DRP4	90F	8 LD	450	0.0	0	0			
W1	W1	DRP4	70F	5 N							
W2	W2	DRP4	70F	5 N							
W3	W3	DRP4	70F	5 N							

DEFLECTIONS, SUPPORT JOINTS AND REACTIONS

Joint No.	: 8	
Long Term Defl.,DL,0.00mm slip =	1mm	
Vertical Support at Joint No. :	2	6
Horizon. Displ. (Long Term) =	0mm	0mm
Vertical Reaction(kN) DL Only =	0.93	0.93
Vertical Reaction(kN) DL+LL =	2.16	2.16
Vertical Reaction(kN) DL+WL =	-1.65	-1.65
*** UPLIFT *** Hold Down :	1 TLG	1 TLG
Horizon. Support at Joint No. :	2	

Truss Mark T2

Job No : GIB-710 Client : FRANK DIMOPOULOS (D) Page 4
Job Date : 12NOV98 Site : 3 PENNY LANE
Printed : 20MAY99 ; 13:44 McCRAE
Estimator: ROB GIBSON Melway:

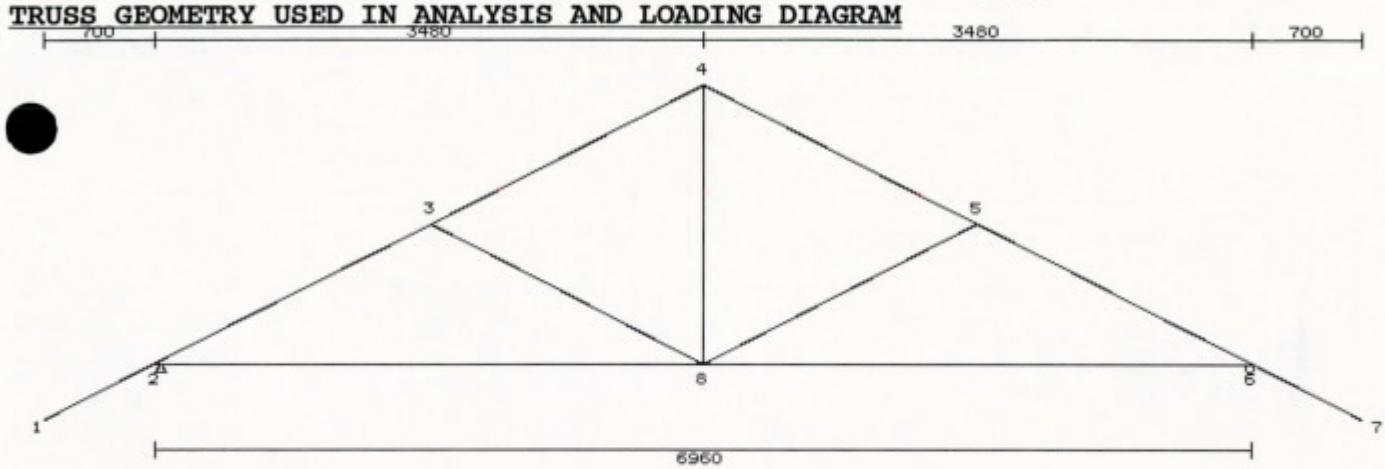
GANG-NAIL DataTRUSS v4.81-p11b
"OWEN" ROOF TRUSS & WALL FRAMES 77 DONOVANS RD, WARRNAMBOOL, VIC. 3820.

DESIGN DATA FOR THIS TRUSS

Dead Load on Truss TC / BC = 0.150 / 0.144 kPa
Parallel Support Factor (k8) = 1.00 Grid Factor (k9) = 1.10 (2 trusses)
Live Load = 0.359 kPa
Loading Type : T (Standard Strip Loading) [Pin jointed analysis]
Truss Mark T2 Web Layout Q Number Off = 2 T.D.Grp.No. 1
Actual Thick. 35 mm : Single truss Nom. Span 6960 mm

	Left:	Right:
Overhang	700 mm	700 mm
Cutoff	0 mm	0 mm
Cantilever	0 mm	0 mm

TRUSS GEOMETRY USED IN ANALYSIS AND LOADING DIAGRAM



Notes : (i) TCs, BCs and Webs are numbered consecutively from left to right.

DESIGNED TIMBER SIZES AND GRADES

MEM.	DESC.	SPEC.	SIZE	CR.	RSTR.	PITCH	LOH	ROH	HL	ST	TA
T1	T1	DRP4	90F	5 N	900	27.0	700	0	101	0	0
T2	T2	DRP4	90F	5 N	900	-27.0	0	700	101	0	0
B1	B1	DRP4	90F	8 LD	450	0.0	0	0			
W1	W1	DRP4	70F	5 N							
W2	W2	DRP4	70F	5 N							
W3	W3	DRP4	70F	5 N							

DEFLECTIONS, SUPPORT JOINTS AND REACTIONS

Joint No.	: 8	
Long Term Defl.,DL,0.00mm slip =	1mm	
Vertical Support at Joint No. :	2	6
Horizon. Displ. (Long Term) =	0mm	0mm
Vertical Reaction(kN) DL Only =	1.10	1.10
Vertical Reaction(kN) DL+LL =	2.42	2.42
Vertical Reaction(kN) DL+WL =	-2.33	-2.33
*** UPLIFT *** Hold Down :	2 TLG	2 TLG
Horizon. Support at Joint No. :	2	

Truss Mark SC3

Job No : GIB-710 Client : FRANK DIMOPOULOS (D) Page 5
Job Date : 12NOV98 Site : 3 PENNY LANE
Printed : 20MAY99 ; 13:44 McCRAE
Estimator: ROB GIBSON Melway:

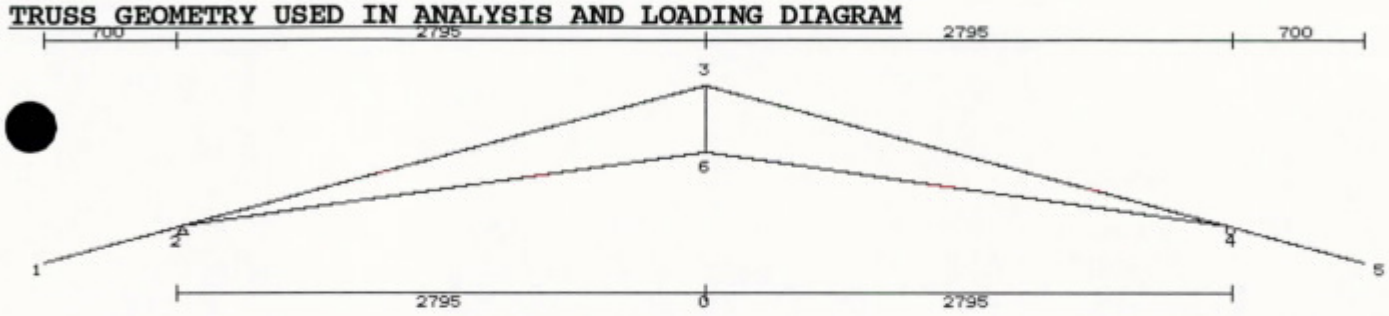
GANG-NAIL DataTRUSS v4.81-p11b
"OWEN" ROOF TRUSS & WALL FRAMES 77 DONOVANS RD, WARRNAMBOOL, VIC. 3820.

DESIGN DATA FOR THIS TRUSS

Dead Load on Truss TC / BC = 0.150 / 0.144 kPa
Parallel Support Factor (k8) = 1.00 Grid Factor (k9) = 1.21 (8 trusses)
Live Load = 0.406 kPa
Loading Type : T (Standard Strip Loading) [Pin jointed analysis]
Truss Mark SC3 Web Layout K Number Off = 8 T.D.Grp.No. 2
Actual Thick. 35 mm : Single truss Nom. Span 5590 mm

	Left:	Right:
Overhang	700 mm	700 mm
Cutoff	0 mm	0 mm
Cantilever	0 mm	0 mm

TRUSS GEOMETRY USED IN ANALYSIS AND LOADING DIAGRAM



Notes : (i) TCs, BCs and Webs are numbered consecutively from left to right.

DESIGNED TIMBER SIZES AND GRADES

MEM.	DESC.	SPEC.	SIZE	CR.	RSTR.	PITCH	LOH	ROH	HL	ST	TA
T1	T1	DRP4	90F 8	S2	900	15.0	700	0	93	0	0
T2	T2	DRP4	90F 8	N	900	-15.0	0	700	93	0	0
B1	B1	DRP4	90F11	LD	450	8.0	0	0			
B2	B2	DRP4	90F11	N	450	-8.0	0	0			
W1	W1	DRP4	70F 5	N							

DEFLECTIONS, SUPPORT JOINTS AND REACTIONS

Joint No. :	6	
Long Term Defl.,DL,0.00mm slip =	6mm	
Vertical Support at Joint No. :	2	4
Horizon. Displ. (Long Term) =	0mm	2mm
Vertical Reaction(kN) DL Only =	0.90	0.90
Vertical Reaction(kN) DL+LL =	2.18	2.18
Vertical Reaction(kN) DL+WL =	-2.08	-2.08
*** UPLIFT *** Hold Down :	1 TLG	1 TLG
Horizon. Support at Joint No. :	2	

Truss Notes, Warnings and Error Messages

** Note ** Truss has one or more sloping bottom chords.. Refer DTRS-0006.

Truss Mark SA5400-1

Job No : GIB-710 Client : FRANK DIMOPOULOS (D) Page 6
Job Date : 12NOV98 Site : 3 PENNY LANE
Printed : 20MAY99 ; 13:44 McCRAE
Estimator: ROB GIBSON Melway:

GANG-NAIL DataTRUSS v4.81-p11b
"OWEN" ROOF TRUSS & WALL FRAMES 77 DONOVANS RD, WARRNAMBOOL, VIC. 3820.

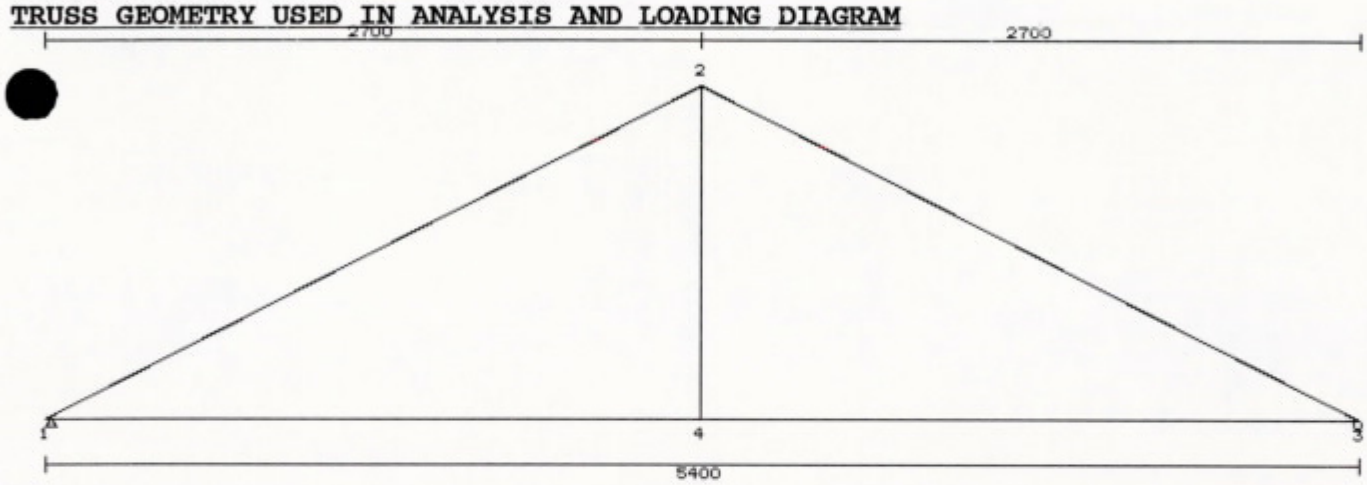
DESIGN DATA FOR THIS TRUSS

Dead Load on Truss TC / BC = 0.150 / 0.032 kPa
Parallel Support Factor (k8) = 1.00 Grid Factor (k9) = 1.00
Live Load = 0.490 kPa
Loading Type : SA (Standard Strip Loading on TC) [Pin jointed analysis]
Truss Mark SA5400-1 Web Layout W Number Off = 1 T.D.Grp.No. 1
Actual Thick. 35 mm : Single truss Nom. Span 5400 mm

	Left:	Right:
Overhang	0 mm	0 mm
Cutoff	0 mm	0 mm
Cantilever	0 mm	0 mm

Vertical Strut Centres = 1900 mm

TRUSS GEOMETRY USED IN ANALYSIS AND LOADING DIAGRAM



Notes : (i) TCs, BCs and Webs are numbered consecutively from left to right.

DESIGNED TIMBER SIZES AND GRADES

MEM.	DESC.	SPEC.	SIZE	CR.	RSTR.	PITCH	LOH	ROH	HL	ST	TA
T1	T1	DRP4	90F	5	S3	900	27.0	0	0		
T2	T2	DRP4	90F	5	S3	900	-27.0	0	0		
	B1	DRP4	90F	4	N	900	0.0	0	0		
	W1	DRP4	70F	5	N						

Truss Mark SC4

Job No : GIB-710 Client : FRANK DIMOPOULOS (D) Page 7
Job Date : 12NOV98 Site : 3 PENNY LANE
Printed : 20MAY99 ; 13:44 McCRAE
Estimator: ROB GIBSON Melway:

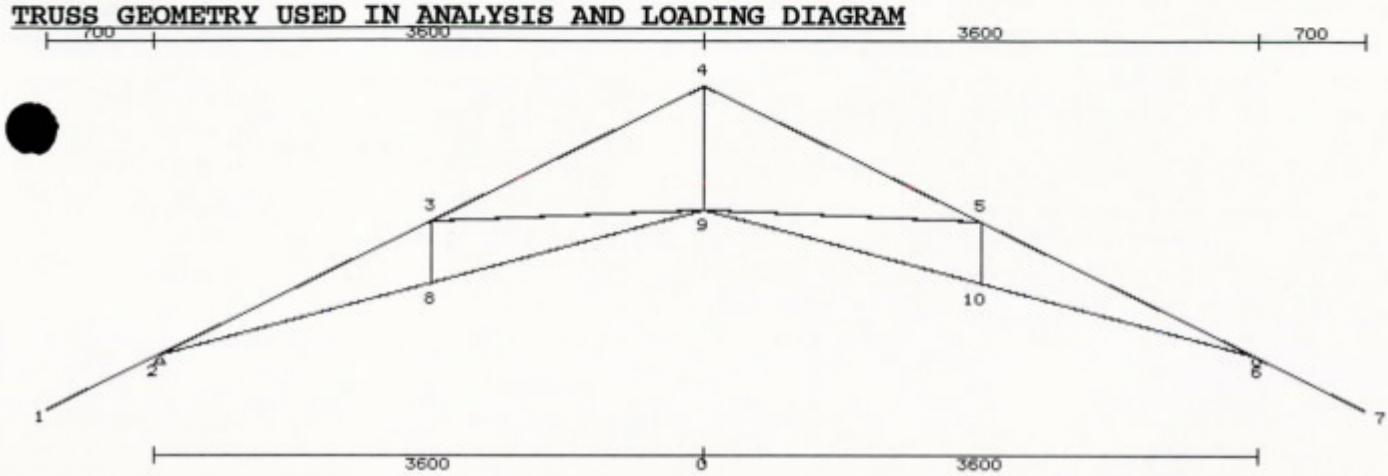
GANG-NAIL DataTRUSS v4.81-p11b
"OWEN" ROOF TRUSS & WALL FRAMES 77 DONOVANS RD, WARRNAMBOOL, VIC. 3820.

DESIGN DATA FOR THIS TRUSS

Dead Load on Truss TC / BC = 0.150 / 0.140 kPa
Parallel Support Factor (k8) = 1.00 Grid Factor (k9) = 1.21 (6 trusses)
Live Load = 0.353 kPa
Loading Type : T (Standard Strip Loading) [Pin jointed analysis]
Truss Mark SC4 Web Layout HA Number Off = 6 T.D.Grp.No. 3
Actual Thick. 35 mm : Single truss Nom. Span 7200 mm

	Left:	Right:
Overhang	700 mm	700 mm
Cutoff	0 mm	0 mm
Cantilever	0 mm	0 mm

TRUSS GEOMETRY USED IN ANALYSIS AND LOADING DIAGRAM



Notes : (i) TCs, BCs and Webs are numbered consecutively from left to right.

DESIGNED TIMBER SIZES AND GRADES

MEM.	DESC.	SPEC.	SIZE	CR.	RSTR.	PITCH	LOH	ROH	HL	ST	TA
T1	T1	DRP4	90F	5 N	900	26.2	700	0	100	0	0
T2	T2	DRP4	90F	5 N	900	-26.2	0	700	100	0	0
B1	B1	DRP4	90F	4 N	300	15.0	0	0			
[illegible]	B2	DRP4	90F	4 N	300	-15.0	0	0			
[illegible]	W1	DRP4	70F	5 N							
W2	W2	DRP4	70F	5 N							
W3	W3	DRP4	70F	5 N							
W4	W4	DRP4	70F	5 N							
W5	W5	DRP4	70F	5 N							

DEFLECTIONS, SUPPORT JOINTS AND REACTIONS

Joint No. :	8	9	10
Long Term Defl.,DL,0.00mm slip =	8mm	9mm	8mm
Vertical Support at Joint No. :	2	6	
Horizon. Displ. (Long Term) =	0mm	6mm	
Vertical Reaction(kN) DL Only =	1.17	1.17	
Vertical Reaction(kN) DL+LL =	2.53	2.53	
Vertical Reaction(kN) DL+WL =	-2.44	-2.44	
*** UPLIFT *** Hold Down :	2 TLG	2 TLG	
Horizon. Support at Joint No. :	2		

Truss Notes, Warnings and Error Messages

** Warning ** Horizontal displacement at support > 4 mm. Refer DTRS-0006
** Note ** Truss has one or more sloping bottom chords.. Refer DTRS-0006.

Truss Mark SA5400-2

Job No : GIB-710 Client : FRANK DIMOPOULOS (D)
Job Date : 12NOV98 Site : 3 PENNY LANE
Printed : 20MAY99 ; 13:44 McCRAE
Estimator: ROB GIBSON Melway:

GANG-NAIL DataTRUSS v4.81-p11b
"OWEN" ROOF TRUSS & WALL FRAMES 77 DONOVANS RD, WARRNAMBOOL, VIC. 3820.

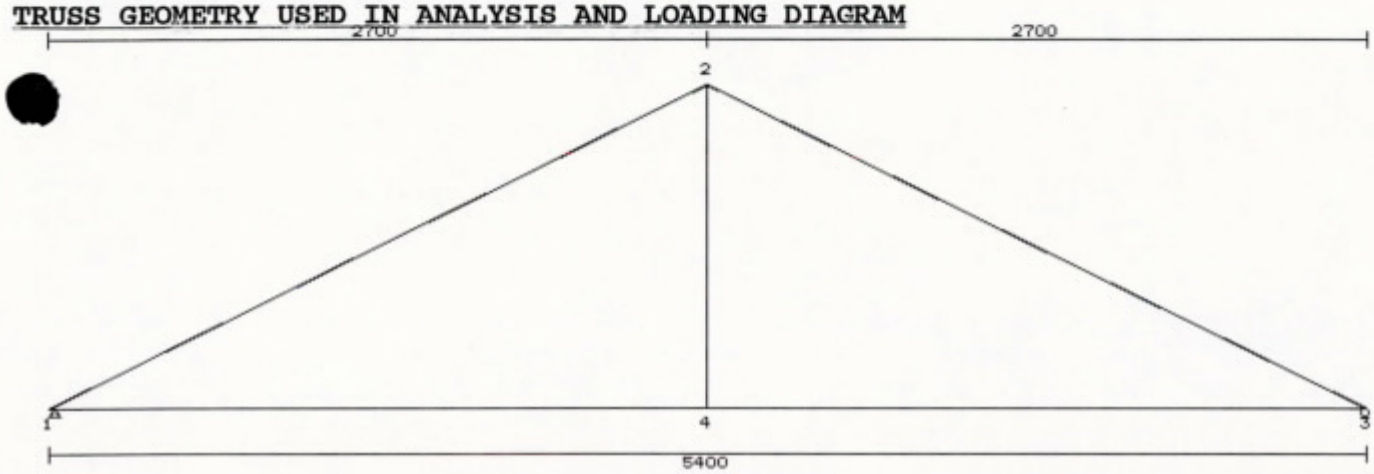
DESIGN DATA FOR THIS TRUSS

Dead Load on Truss TC / BC = 0.150 / 0.040 kPa
Parallel Support Factor (k8) = 1.00 Grid Factor (k9) = 1.00
Live Load = 0.490 kPa
Loading Type : SA (Standard Strip Loading on TC) [Pin jointed analysis]
Truss Mark SA5400-2 Web Layout W Number Off = 1 T.D.Grp.No. 3
Actual Thick. 35 mm : Single truss Nom. Span 5400 mm

	Left:	Right:
Overhang	0 mm	0 mm
Cutoff	0 mm	0 mm
Cantilever	0 mm	0 mm

Vertical Strut Centres = 1900 mm

TRUSS GEOMETRY USED IN ANALYSIS AND LOADING DIAGRAM



Notes : (i) TCs, BCs and Webs are numbered consecutively from left to right.

DESIGNED TIMBER SIZES AND GRADES

MEM.	DESC.	SPEC.	SIZE	CR.	RSTR.	PITCH	LOH	ROH	HL	ST	TA
T1	T1	DRP4	90F	5	S3	900	26.2	0	0		
T2	T2	DRP4	90F	5	S3	900	-26.2	0	0		
B1	B1	DRP4	90F	4	N	900	0.0	0	0		
W1	W1	DRP4	70F	5	N						

AUSTRALIA POST

OFFICIAL MAIL

Return to:

M.P. Building Surveyor's
Private Bag 9
Mornington.

3931

AUSTRALIA POST

Delivery Confirmation - Advice Receipt

Registered Post No.	Sender's Reference
RL14064726.	DIMOPOLOUS.

Receipt is acknowledged of the Registered Post item, the number of which appears above. ***Note: Registered Post articles sent Person to Person must be signed by the addressee only.***

[signature]
Signature of Addressee or Agent

10 JUN 1999
Office Post Mark

Signature of Delivery Officer	Date delivered
Personal Information	10 / 6 / 99

PM122/Nov'96

BUILDING NOTICE

Section 106 Building Act 1993

TO: Mr F Dimopolous
3 Penny Lane
McCrae 3938

Building, land or place subject to this notice:

3 Penny Lane McCrae
PS 310936 Building Permit Reference 981848

Reason for Notice:

Frame inspection has not been finalised

Show cause why:

Truss designs and layout have not been submitted to our office prior to the framing inspection

When must it be done by: Within 7 days

Date of Issue of Notice: 27th May 1999

Relevant Building Surveyor;
Daryl Woods
Practitioners Number BS 1267

Signature … Personal Information

BUILDING NOTICE

Building Act 1993
Section 106
BR 7.5

MORNINGTON PENINSULA
Shire Council

Private Bag 1000
Besgrove Street
Rosebud 3939
Tel (03) 5986 0111
Fax (03) 5986 6696
DX 30059

To MR F. DIMOPOLOUS
3 PENNY LANE McCRAE

Building, land or place the subject of this Notice:

3 PENNY LANE, M'CRAE
PS 310936 BUILDING PERMIT REFERENCE 9918 48

Reasons why this Notice has been issued:

FRAME INSPECTION HAS NOT BEEN FINALISED

You must show cause why:

TRUSS DESIGNS & LAYOUT HAVE NOT BEEN
SUBMITTED TO OUR OFFICE PRIOR TO THE FRAMING INSPECTION

When must it be done by: WITHIN 7 DAYS

Date of Inspection: -

Date of Issue of Notice: 27.5.99

Signed by: Personal Information

Daryl Woods, BS-1267
Relevant Building Surveyor
Private Bag 9
326 Main Street
Mornington
Phone: 5977 2407
Fax: 5977 2397

UP-RIGHT BUILDING INSPECTIONS

5 BOLTON CT LANGWARRIN VIC 3910
Phone (03) 97897647 Mob 0416 006 219

FORM 14

BUILDING ACT 1993
BUILDING REGULATIONS 1994
REGULATION 15(2)

CERTIFICATE OF COMPLIANCE-INSPECTION

To:
THE RELEVANT BUILDING SURVEYOR .....
POSTAL ADDRESS .....
.....

From:
CRAIG MATHESON
5 BOLTON COURT
LANGWARRIN 3910
MOB 0416 006 219

BUILDING INSPECTOR
REGISTRATION No. I.N.1588

Property Details:
SITUATED AT
No 3 **LOT No** ..... **STREET** PENNY LANE
SUBURB McCRAE **MUNICIPAL DISTRICT** M.P.S.C

Compliance:
I CERTIFY THAT THE PART OF THE BUILDING WORK DECRIBED AS (NOTED BELOW)

BUILDING DESCRIPTION DWELLING ADDITION
Has been inspected by me and complies with the approved plans, the Building Code of Australia 1996 including part B 1.3.
DATE AND TYPE OF INSPECTION: MASTER BEDROOM + RETREAT

PRE-POLYTHENE SLAB	**Date approved:**	**Inspector:** .....
PRE-POUR SLAB	.....	.....
FOOTING/TRENCH/PRE-POUR	.....	.....
STUMP HOLE	15.12.98	C.MATHESON
FRAME	.....	.....
FINAL	.....	.....
OTHER	.....	.....

DATE:.....

SIGNED: Personal Information .....

ANY COMMENTS: .....

UP-RIGHT BUILDING INSPECTIONS

5 BOLTON CT LANGWARRIN VIC 3910
Phone (03) 97897647 Mob 0416 006 219

FORM 14

BUILDING ACT 1993
BUILDING REGULATIONS 1994
REGULATION 15(2)

CERTIFICATE OF COMPLIANCE-INSPECTION

To:
THE RELEVANT BUILDING SURVEYOR .....
POSTAL ADDRESS .....
.....

From:
CRAIG MATHESON
5 BOLTON COURT
LANGWARRIN 3910
MOB 0416 006 219

BUILDING INSPECTOR
REGISTRATION No. I.N.1588

Property Details:
SITUATED AT
No 3 **LOT No** ..... **STREET** PENNY LANE
SUBURB McCRAE **MUNICIPAL DISTRICT** M.P.S.C

Compliance:
I CERTIFY THAT THE PART OF THE BUILDING WORK DECRIBED AS (NOTED BELOW)

BUILDING DESCRIPTION RETAINING WALL
Has been inspected by me and complies with the approved plans, the Building Code of Australia 1996 including part B 1.3.

DATE AND TYPE OF INSPECTION:

	Date approved:	Inspector:
PRE-POLYTHENE SLAB	.....	.....
PRE-POUR SLAB	.....	.....
FOOTING/TRENCH/PRE-POUR RET/WALL	25.8.98	C.MATHESON
STUMP HOLE	15.10.98	" "
FRAME	.....	.....
FINAL	.....	.....
OTHER RET/WALL	21.9.98	" "
RET/WALL	2.12.98	" "

DATE:.....

SIGNED Personal Information

ANY COMMENTS: .....

John Fitzgerald
Consulting Engineers
and Project Managers

Form 13

Building Act 1993
BUILDING REGULATIONS 1994
Regulation 15.7(2)

CERTIFICATE OF COMPLIANCE - DESIGN

To
Relevant Building Surveyor .....
Postal Address .....

From
Building Practitioner: John Fitzgerald Category/Class: Civil Engineer
Postal Address: 2/360 Main Street, Mornington, 3931

I certify that the part of the design described as
Structural Calculations and Structural Drawings for Proposed Retaining Wall – 3 Penny Lane, McCrae
complies with the following provisions of the Regulations:
Building Code of Australia and the relevant Australian Standards

Design Documents

Structural Drawing 131/98 A4 Sheet K	Prepared by: Tony Pingiaro	Date Nov 98
Structural Calculations 131/98 Sheets 26-28	Prepared by: Tony Pingiaro	Date Nov 98

Test Reports, accreditations, other documentation
Geotechnical Report RM0997-98 Prepared by CivilTest Pty. Ltd. (15/6/98)

Signature
Signed Building Practitioner .....
Personal Information
.....Registration No: EC-1250
Date 23/11/98

Director
John Fitzgerald B.E. (Civil) B.A. (Hum)
C.E. M.I.E. Aust. M.I.C.E.

Associates
Warren Cripps Dip. C.E.

2/360 Main Street
Mornington VIC 3930
Phone (03) 5975 5100
(03) 5975 9177
Fax (03) 5975 9564
Email jfitzeng@fox.net.au

John Fitzgerald
Consulting Engineers and Project Managers

FACSIMILE

TO: MP Building Surveyors DATE: 2/12/98

ATTENTION: Byron FAX NO: 59772397

FROM: Christine FILE NO: 131/98

PAGES (2) INCLUDING COVER

MESSAGE

RE: 3 Penny Lane, McCrae.

Form 13 as requested.

Personal Information

C

John Fitzgerald
Consulting Engineers
and Project Managers.

STRUCTURAL CALCULATIONS AND DETAILS

PROPOSED RETAINING WALL

3 PENNY LANE,

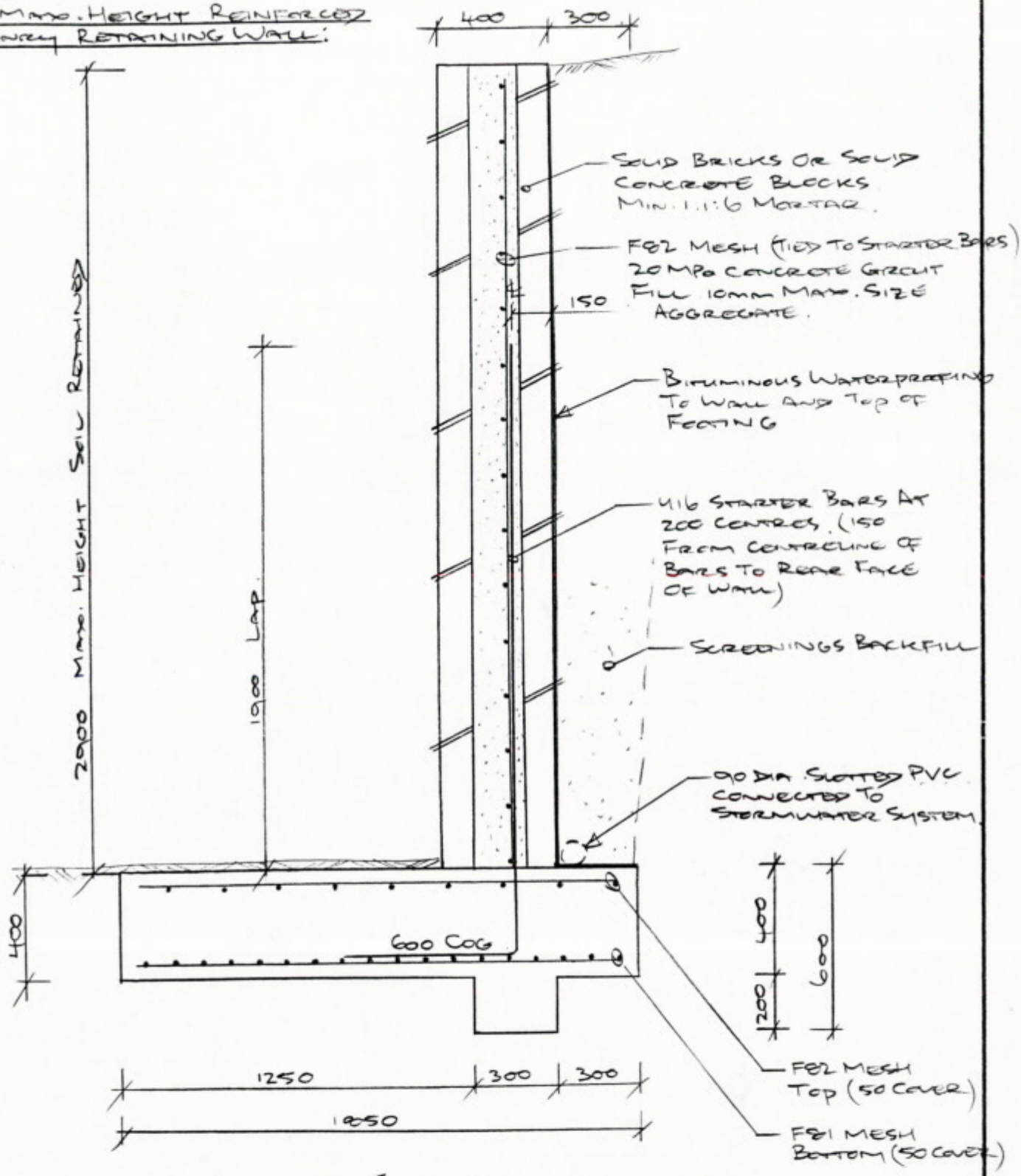
McCRAE

27th November, 1998

131/98

NOT
PASSED
F.13
REQ

2900 MAXO. HEIGHT REINFORCED MASONRY RETAINING WALL:



TYPICAL SECTION

NOTE: 20MPa CONCRETE TO FOOTINGS.

John Fitzgerald Consulting Engineers

Project: REINFORCED MASONRY RETAINING WALL DETAILS (2900 MAXO. HEIGHT)
PROPOSED ALT. AND ADDIT. TO RESIDENCE
3 PENNY LANE
McCRAE

Sheet No: K
Job No: 131/98
Date: 26·11·98
Engr: A.P.

John Fitzgerald Consulting Engineers

A.C.N. 006 358 489

Sheet No. 26
Job No. 131/98
Date 26.11.98
Engr. AP

Project:

REINFORCED MASONRY RETAINING WALL:

$\gamma = 20\ kN/m^3$

$K_a = 0.406$ $K_p = 3.50$

No Surcharge Loading

Max. Height of Soil Retained : 2900mm

Wall :

$M^* = (0.406 \times 20 \times 2.90^3/6) \times 1.50 = 49.51\ kN.m/m$

For 400 Reinforced Blockwork Wall
Solid Blocks

416 Starter Bars @ 200 Centres (150 mm From Rear Face)
($A_{st} = 1000\ mm^2/m$) $\therefore d = 400 - 150 = 250\ mm$.

$$\therefore M_d = 0.90 \times 400 \times 1000 \times 250 \left(1 - \frac{0.60 \times 400 \times 1000}{(1.30 \times 5.40) \times 1000 \times 250}\right) \times 10^{-6}$$

$= 60.43\ kN.m/m$ ✓ OK

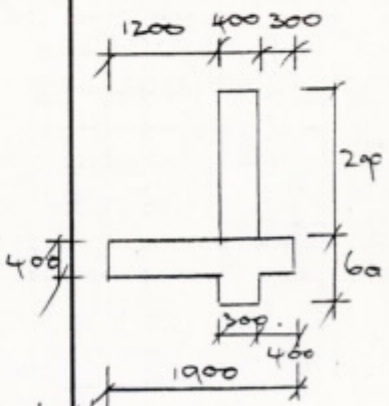
Footing :

- o/T About Toe — 400 Deep Footing.

$M_{o/T} = 0.406 \times 20 \times 3.30^3/6 = 48.63\ kN.m/m$.

Reqd. Resistance $= 1.88 \times 48.63 = 91.43\ kN.m$.

Try 1900 wide x 400 Deep Footing :



ARMIT. RESISTANCE

Ret. Wall	DL	$23 \times 0.18 \times 2.90$	$= 12.01\ kN/m$
Ret. Wall	DL	$24 \times 0.22 \times 2.90$	$= 15.31\ kN$
Footing	DL	$24 \times 0.40 \times 1.90$	$= 18.24\ kN$
Soil	DL	$20 \times 0.30 \times 2.90$	$= 17.40\ kN$
Key	DL	$24 \times 0.30 \times 0.20$	$= 1.44\ kN$

2/360 main street
mornington 3931

phone (03) 5975 5100
fax (03) 5975 9564

John Fitzgerald Consulting Engineers

A.C.N. 006 358 489

Sheet No. 27
Job No. 131/98
Date 26.11.98.
Engr. AP

Project:

REINFORCED MASONRY RETAINING WALL: (Cont'd)

$M_{RESIST} = (12.01 + 15.31) \times 1.40 + (18.24 \times 1.90/2) + (17.40 \times 1.75) + (1.44 \times 1.40)$

$= 38.25 + 17.33 + 30.45 + 2.02$

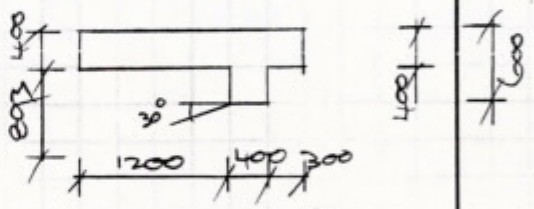
$= 88.05$ kN.m/m ✓ Accept.

$(F/S = 1.81)$

Sliding:

$P_{SLIDING} = 0.406 \times 20 \times 2.90^2/2 = 34.14$ kN/m.

Try 600 Key



$P_{RESIST} = (64.40 \times 0.45) + (3.50 \times 20 \times 1.293^2/2)$

$= 28.98 + 58.51$

$= 87.49$ kN/m

$F/S = 87.49/34.14 = 2.56$ ✓ ok

Footing Reinforcement:

$D = 400$ mm $\quad d = 400 - 50 - 12 = 338$ mm.

$A_{st\,Reqd.} = 49.51 \times 10^6/0.80 \times 450 \times 0.9 \times 338 = 452$ mm^2/m

$a = 452 \times 450/0.85 \times 1000 \times 20 = 11.97$ mm

$\therefore A_{st\,Reqd.} = 49.51 \times 10^6/0.80 \times 450 \times (338 - 11.97/2) = 414$ mm^2/m.

→ F81 Bottom ($A_{st} = 503$ mm^2/m) ✓ ok

2/360 main street
mornington 3931

phone (03) 5975 5100
fax (03) 5975 9564

John Fitzgerald Consulting Engineers

A.C.N. 006 358 489

Sheet No. 28
Job No. 131/98
Date 26.11.98
Engr. AP

Project:

REINFORCED MASONRY RETAINING WALL. (CONT'D)

ADOPT 400 REINFORCED BLOCKWORK RETAINING WALL TO RETAIN 2900 MAX. SOIL.
416 STARTER BARS AT 200 CENTRES (150 TO REAR FACE OF WALL)
FEI MESH TIED TO STARTER BARS.
1850 WIDE x 400 DEEP RC FOOTING
FEI BOTTOM (50 COVER)
FEI TOP (50 COVER)
300 WIDE x 600 OVERALL DEEP KEY BELOW WALL

2/360 main street
mornington 3931

phone (03) 5975 5100
fax (03) 5975 9564

Form 2

Building Act 1993

Building Regulations 1994 :- Reg 2.6

Conditional Permit 981848

TO:-

Owner Mr & Mrs F Dimopolous **Agent** N/A
3 Penny Lane
Mc Crae 3938

Property details:- 3 lot:- 2 Penny Lane Mc Crae
Allotment area m2: PS310930
Municipal District Mornington Shire Council

Stages of work permitted: As shown on approved plans
project estimated value: $90,000.00

Nature of Building Work: Refurbishment of dwelling As per plans

Building details:

Class:	1a		
Type:	As per plans	persons accomodated for:	0
Description:	dwelling	no of storeys	2
Area (m2):	44.4	allowable live load:	1.5kpa
External Walls:	weatherboard	existing dwellings:-	1
Roof:	colourbond	to be constructed	0
Floors:	timber	to be demolished	0
Frame material:	timber	new floor area,m2	44.4

Builder Mr & Mrs F Dimopolous 3 Penny Lane Mc Crae 3938

Inspection requirements: Mandatory notification stages are footings, prior to pouring insitu reinforced concrete, framework and final

Occupation of Building: final certifcate

Commencement and Completion: This building work must commence by 11/08/1999 and must be completed by 11/08/2000

Building Surveyor : DARYL WOODS **Registration no:** BS-1267

Signature Personal Information **Date of issue:** Tuesday, 11 August 1998

CONDITIONAL BUILDING PERMIT

1. SUBMIT THREE COPIES OF TRUSS DESIGN AND LAYOUT TO MP BUILDING SURVEYORS PRIOR TO FRAME STAGE

Date: 11 August 1998

RECEIPT

TO: Mr F Dimopolous
3 Penny Lane
MC CRAE 3938

RE: Project Address : 3 Penny Lane McCrae

Checking of plan, issuing of Building Permit and carrying out of inspections for the above address

Building Inspection Fee	$ 360.00
Lodgement Fee	$ 15.00
State Government Fee	$ 57.60
Other	$
TOTAL	$ 432.60

Thankyou for your business

Personal Information

Daryl Woods
MP BUILDING SURVEYORS
PRIVATE BAG 9
MORNINGTON 3931

59 77 2407 phone
59 77 2397 fax

5 June 1998

Mr & Mrs F Dimopolous
3 Penny Lane
MC CRAE 3938

Dear Sir /Madam

RE: BUILDING APPLICATION NO : 981848

Your application for building approval for a proposed Additions to be constructed at 3 Penny Lane McCrae has been considered. Building approval cannot be issued at this stage as further information as detailed below is required.

1. Pay the balance of the fees:

Building Fee	$ 360.00
Government Levy	$ 57.60
Lodgement Fee	$ 15.00
Total	$ 432.60

2. ~~Submit a Home Owners Warranty registration certificate~~

3. ~~Submit a certified copy of title~~

4. ~~Submit three copies of Engineers drawings and computations~~

5. ~~Submit copy of Form 13 Certificate of Compliance for proposed Engineer's plans and computations~~

6. Submit three copies of truss details including truss layout

7. The Council's Development Planning Section, Mornington Office, has advised that a planning permit is required. Please find enclosed relevant application form **(enclosed)** Anthony Matthews P 801/98 Issued 29/7/98.

8. ~~Submit three copies of the soil report~~

9. A cut off drain is required to all site excavations and connected via a silt pit to the stormwater drains

10. ~~Nominate the builder on the building application form~~

11. ~~Provide engineers designs for tie downs, bracing etc~~

12. ~~Provide engineers design for support of sunroom addition – this is to include footings and columns .~~

13. Building fee allows for three inspections – any further inspections will be charged at $ 35.00 each

14. Provide handrails and balusters to entry stairs

d 9/6-98 Frank Advised.

Please submit the above information to enable a final check of your application and the issue of a Building Permit.

Building approval cannot be granted until all items are submitted and satisfy the requirements of the Regulations.

If you have any further queries, please contact Bob Helmich on (59 772407)
Yours faithfully

Personal Information

Daryl Woods
MANAGER MP BUILDING SURVEYORS
(Reference 981848

MP BUILDING SURVEYORS : STANDARD PHRASES FOR BUILDING LISTS

APPLICATION NO: 981848 INITIALS: R Powell

b001 Pay the balance of the **fees:-**

Building	$ 360
Government Levy Fee	$ 57.60
~~Road Opening Fee~~ Lodgement fee	$ 15
TOTAL:	$ ~~432.60~~ 432.60.

b002 Submit 1 additional **copy of plans.**

b003 The correct owner is not shown on the application form. Provide **evidence of ownership.**

b005 Submit a **Home Owners Warranty** registration certificate.

b006 Submit a certified copy of **title.**

b007 Submit 3 copies of **Engineers drawings and computations.**

b008 Submit copy of Form 13-Certificate of Compliance for proposed Eng's plans and comps.

b009 Submit 3 copies of **truss details** inc'uding truss layout.

b010 Submit 3 copies of **building specifications.**

b011 The Council's Development Planning Section, Mornington Office, has advised that a planning permit is required. Please find enclosed relevant application form. (Enclosed).

b011a A Planning Permit has been received for the above property, however a Building Permit cannot be issued until approval of that application.

b012 Show stormwater drains to the **legal point of discharge.**

b013 Show **downpipes** and **stormwater** drainage system on the site plan.

b[redacted] Approval is to be obtained from the Council's Development Section, Mornington Office, to **construct over an easement.** Please contact Mr Terry Boyd.

b015 Approval is to be obtained from South East Water Ltd. to construct over the easement. Please contact them on (059)75 8522.

b016 Specify on the plans that all **glazing** is to be in accordance with AS: 1288-1989.

b017 Show a **damper** fitted to the **fireplace** flue.

b018 Submit manufacturers details and flue details on the **fireplace** to be installed to show compliance with AS:2918.

b019 Submit 3 copies of the **soil report.**

b020 Submit 3 copies of **slab details.**

b021 **Soil classification** is to be nominated on the plans in accordance with the residential slabs and footing Code AS: 2870.1.

b022 Plans are to refer to the **soil report.**

b023 Specify the method of **termite protection** as per:
AS: 3660.1 -1993

b024 Show the distance from the **boundary wall** to the nearest habitable window on the adjoining allotment.

b025 Complete and return a **Septic** application form. **(Enclosed.)**

b026 Alterations and additions to be defined by **colouring plans.**

b027 Specify **balustrade spacings** and height on plans.

b028 **NOTE ON PLANS: Stairs** are to be shown with a maximum of a 190mm riser and minimum of 240mm treads.

b029 A **cut off drain** is required to all site excavations and connected via a silt pit to the stormwater drains.

b030 **NOTE ON PLANS:** All **exposed steel** is to be galvanized and **wall ties** to the brickwork are to conform to **AS: 2699.**

b031 Complete and return the **pool declaration** form. **(Enclosed.)**

b032 **Smoke alarms** are required to be installed in the Dwelling. Show the location on the plans.

b033 **Insulation** is required. Specify the installation and "R" value on the plans.

b034 **South East Water Ltd.** have not approved of the proposal. Please contact them for further details on (059) 75 8522.

b035 Nominate the **builder** on the building application form.

b036 Show the distance from the **boundary** to the outside gutter line of the house as a minimum of 1 metre.

b037 Show the garage with a maximum height of 3.6 metres within 1 metre of the boundary line including the roof.

1/ Provide engineers designs for tie downs, bracing etc.

2/ Provide engineers design for support of sunroom addition. - this is to include footings and columns.

3/ Building fee allows for 3 inspections - any further ones will be charged at $35 each.

4/ Provide handrails and balusters to entry stairs.

5/

MORNINGTON PENINSULA
Shire Council

Besgrove Street
Private Bag 1000
Rosebud 3939
Tel (059) 86 0111

Official Receipt

If payment has been made by cheque this receipt is issued subject to payments being cleared.

Reference	Account Number	Amount Paid
BUILDING PERMIT	MORNTON001836	360.00
BUILDING INFORMATION	MORNTON001836	15.00
BUILDING INFORMATION	MORNTON001836	57.60

MR DIMOPOLOUS
3 PENNY LN
MCCRAE 3938

Total: 432.60
Paid: 12/08/98
Date: 1836
Receipt No.:
Remittance No.:

Date: 11 August 1998

MORNINGTON PENINSULA
Shire Council

Private Bag 1000
Besgrove Street
Rosebud 3939
Tel (03) 5986 0111
Fax (03) 5986 6696
DX 30059

RECEIPT

TO: Mr F Dimopolous
3 Penny Lane
MC CRAE 3938

RE: Project Address : 3 Penny Lane McCrae

Checking of plan, issuing of Building Permit and carrying out of inspections for the above address

Building Inspection Fee	$ 360.00
Lodgement Fee	$ 15.00
State Government Fee	$ 57.60
Other	$
TOTAL	$ 432.60

Coole 2
46
98.

Thankyou for your business

Daryl Woods
MP BUILDING SURVEYORS
PRIVATE BAG 9
MORNINGTON 3931

59 77 2407 phone
59 77 2397 fax

APPLICATION FOR A BUILDING PERMIT

BUILDING ACT 1993 BUILDING REGULATIONS 1994 Regulation 2.1(1)(a)

To: **M P Building Surveyors**
Private Bag 9 MORNINGTON 3931
Tel: (03) 5977 2407 Fax: (03) 5977 2397
Ausdoc: DX93126 MORNINGTON

From
Owner F. V. Dimopoulos
Postal address 9 PENNY LANE MCCRAE Post Code
Contact Person FRANK Dimopoulos Telephone 0414 755 234

or

Agent or owner* .....
Postal address .....
..... Post Code .....
C[redacted] person ..... Telephone ..... Fax .....

Property details (include title details as and if applicable)

Number	Street/Road	City/Suburb/Town	Post Code
Lot/s	LP/PS	Volume	Folio
Crown allotment	Section	Parish	County
Municipal District		Allotment area (for new dwellings only)	

Builder (if known)
Name ..... Owner / Builder. Telephone .....
Address ..... Post code .....

Building practitioners[1] and/or architects
a) to be engaged in the building work2
Name ..... Category/Class ..... Registration No. .....

(if a registered domestic builder carrying out domestic building work, attach details of the required insurance)
b) who were engaged to prepare documents forming part of the application for this permit3
Na[redacted] ..... Category/Class ..... Registration No. .....
Nam[redacted] ..... Category/Class ..... Registration No. .....

Nature of building work: Indicate **X** where applicable or give other description

Construction of a new building	[ ]	Alterations to an existing building	[✓]
Demolition of a building	[ ]	Removal of a building	[ ]
Extension to an existing building	[ ]	Change of use of an existing building	[ ]
Re-erection of a building	[ ]	Other	[ ]

Proposed use of building: .....

Owner Builder[4] (No) I intend to carry out the work as an owner builder **(No)**

Value of building work[5] Estimated value of building work/contract sum $ 90,000

Stage of building work (Single)
If application is to permit a stage of the building work – Indicate extent of stage.....
Value of building work for this stage $.....

Personal Information

Signature of owner or agent/applicant .....
Date 27-5-98

Refer to notes over page.

K:\BUILDING\MPAPPLICATION

BUILDING FEE	(2)$ 360	PLANNING ADVICE		BUILDING SURVEYOR APPROVAL
COMPUTATIONS	(2)$.....	PLANNING	REQUIRED	DATE .....
BUILDING PERMIT TAX LEVY	(98)$ 57.60	VIC CODE	REQUIRED	SIGNED .....
SEPTIC FEE	(4)$.....	ZONING	.....	
ROAD OPENING	(013)$.....	DATE	2/6/98	
LODGEMENT FEE	(46)$ 15	Issued 29/7/98 per A. Mattews.		
TOTAL AMOUNT	$ 432.60			

Explanation of Notes referred to on page 1

Note 1 Building practitioner means:

(a) a building surveyor; or
(b) a building inspector; or
(c) a quantity surveyor; or
(d) an engineer engaged in the building industry; or
(e) a draftsperson who carries on a business or preparing plans for building work or preparing documentation relating to permits and permit applications; or
(f) a builder including a domestic builder; or
(g) a person who erects or supervises the erection of prescribed temporary structures; or
(h) a person responsible for a building project or any stage of a building project and who belongs to a class of people prescribed to be building practitioners.

But does not include:-

(i) an architect except in Part 9 and sections 24(3) and 176(6); or
(j) a person (other than a domestic builder) who does not carry on the business of building; or

Note 2 include building practitioners with continuing involvement in the building work

Note 3 include only building practitioners with no further involvement in the building work

Note 4 if an owner builder restriction on the sale of the property applies under section 137B of the Act.
Section 137B also prohibits an owner builder of domestic building work from selling the building within 6½ years from the date of completion of the relevant works unless they have satisfied certain requirements including obtaining compulsory insurance. The Building Control Commission maintains a current list of domestic building insurance providers.

Note 5 Building permit levy

Notice is hereby given that in accordance with section 201 of the Act, a building permit levy is required to be paid to the Building Administration Fund (to be collected by the relevant building surveyor) prior to the issue of the building permit. The basis for calculation of that fee is 0.064 cents in every dollar of the cost of the building work for which the permit is sought.

M P Building Surveyors

Private Bag 9, Mornington 3931

DX93126 MORNINGTON

Ph: (03) 5977 2407 Fax: (03) 5977 2397

Building Permits, Inspections, Technical Reports, Essential Service Reports

REGISTER SEARCH STATEMENT Land Titles Office, Victoria Page 1

Enquiry no : 241027
Security no : 62602241029M
Customer code: 3598P

Volume 10052 Folio 415
Printed 20/09/1995 12:18 pm

LAND

LOT 2 on Plan of Subdivision 310930Y.
PARENT TITLE(s):
Volume 05893 Folio 553 Volume 05922 Folio 314

REGISTERED PROPRIETOR

ESTATE FEE SIMPLE
Tenants in common
As to 1 of a total of 2 equal undivided shares
SOLE PROPRIETOR
RADCLIFFE, JOSEPH; 607 NEPEAN HIGHWAY MCCRAE 3938
As to 1 of a total of 2 equal undivided shares
SOLE PROPRIETOR
RADCLIFFE, AGNESS FLINT FORRESTER; 607 NEPEAN HIGHWAY MCCRAE 3938

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988.
Any other encumbrances shown or entered on the plan.

SEE PS310930Y FOR FURTHER DETAILS AND BOUNDARIES

UNREGISTERED DEALINGS

Obtain Final Search Statement for unregistered dealings

STATEMENT END

PLAN OF SUBDIVISION	—	EDITION 1	PS 910930 Y

LOCATION OF LAND

PARISH: Wannaeue

TOWNSHIP: —

SECTION: B

CROWN ALLOTMENT: —

CROWN PORTION: 1 (Part)

LTO BASE RECORD: CHART 8A (3730)
TITLE REFERENCES: Vol. 5893 Fol. 553
Vol. 5922 Fol. 914

LAST PLAN REFERENCE/S: Lots 8 & 9, Pts. Lots 52 & 53, L.P. 11098

POSTAL ADDRESS: (At time of subdivision) 607-609 Nepean Highway Mc Crae

AMG Co-ordinates (of approx centre of land in plan) E 319400 N 5759600 ZONE: 55

COUNCIL CERTIFICATION AND ENDORSEMENT

COUNCIL NAME: Shire of Flinders REF: P.S. 4772

1. This plan is certified under Section 6 of the Subdivision Act 1988.
2. ~~This plan is certified under Section 11(7) of the Subdivision Act 1988. Date of original certification under Section 6. / /~~
3. ~~This is a statement of compliance issued under Section 21 of the Subdivision Act 1988.~~

OPEN SPACE

(i) A requirement for public open space under Section 18 of the Subdivision Act 1988 has/has not been made.

~~(ii) The requirement has been satisfied.~~

~~(iii) The requirement is to be satisfied in Stage .....~~

Council Delegate
~~Council Seal~~
Date 23 / 7 / 91

~~Re-certified under Section 11(7) of the Subdivision Act 1988.~~
~~Council Delegate~~
~~Council Seal~~
~~Date / /~~

VESTING OF ROADS AND/OR RESERVES

IDENTIFIER	COUNCIL/BODY/PERSON
Road R1	Shire of Flinders

NOTATIONS

STAGING This ~~is~~/is not a staged subdivision.
Planning permit No. 15049

DEPTH LIMITATION
Does not apply.
Lot 2 is not subject to survey.

SURVEY THIS PLAN IS/~~IS NOT~~ BASED ON SURVEY

THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No.(s) IN PROCLAIMED SURVEY AREA No.

EASEMENT INFORMATION

LEGEND A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	Drainage	1·52	L.P. 11098	Lots on L.P. 11098
R1	Way, Drainage, Sewerage and supply of Gas, Water, Electricity and Telephone Services	See Diagram	This Plan	Lots on This Plan

LTO USE ONLY

STATEMENT OF COMPLIANCE/ EXEMPTION STATEMENT

RECEIVED ✓

DATE 14 / 1 / 92

LTO USE ONLY

PLAN REGISTERED
TIME 1-15 (PM)
DATE 21 / JAN / 92

Personal Information

Assistant Registrar of Titles

SHEET 1 OF 2 SHEETS

WATSONS PTY. LTD.
LICENSED SURVEYORS
5 MAIN STREET, MORNINGTON 3931 PH. (059) 75 4644

LICENSED SURVEYOR (PRINT) Ian Thomas Muir
SIGNATURE ..... DATE / /
REF 29188 VERSION 1

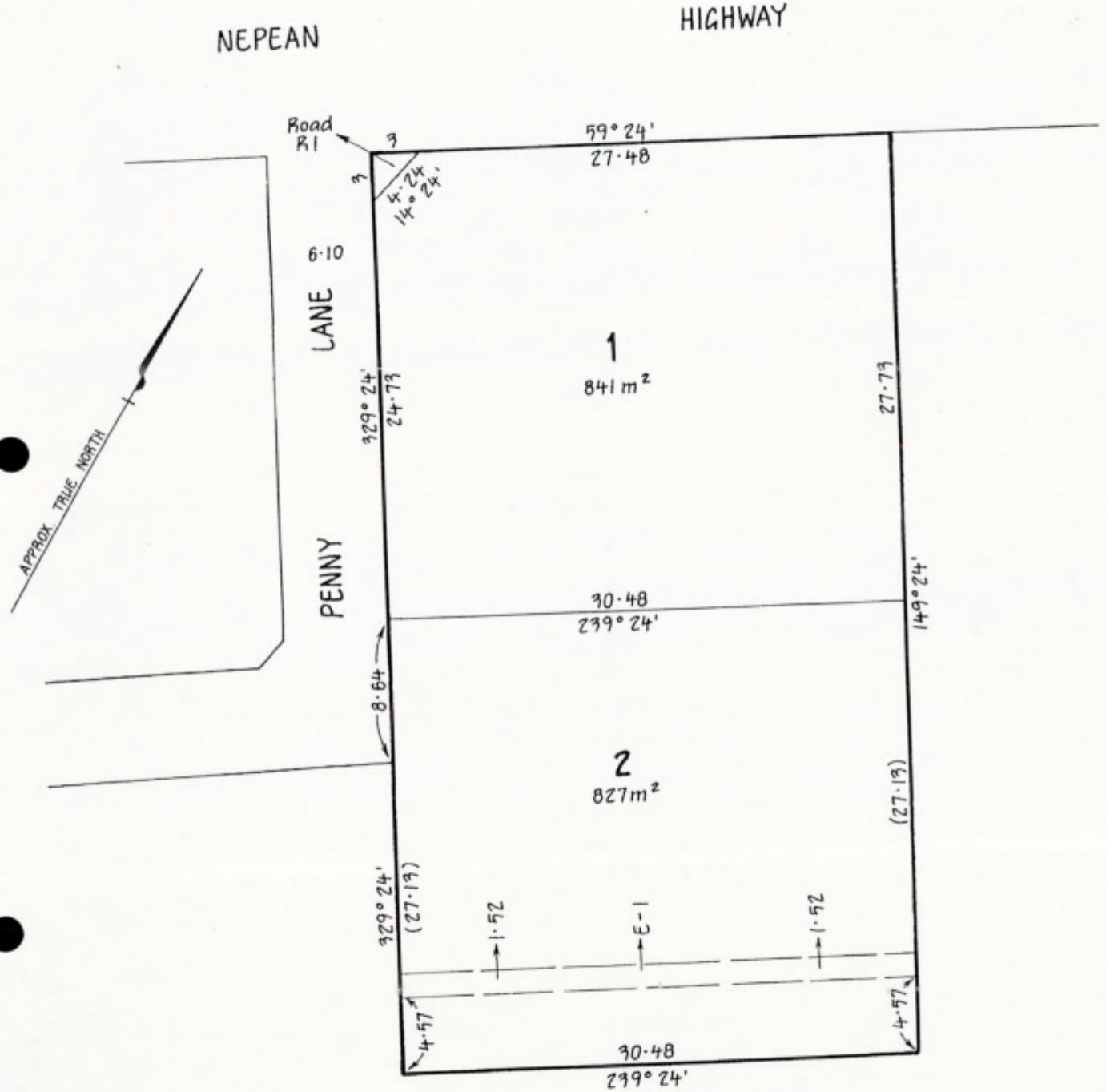
DATE / /
COUNCIL DELEGATE SIGNATURE
ORIGINAL SHEET SIZE A3

Creffield's PS01

PLAN OF SUBDIVISION

STAGE No. —

PLAN NUMBER PS 910930 Y



WATSONS PTY. LTD.
LICENSED SURVEYORS
5 MAIN STREET, MORNINGTON 3931 PH. (059) 75 4644

ORIGINAL

SCALE 1:250 | SHEET SIZE A3

2·5 0 2·5 5·0 7·5 10 12·5
LENGTHS ARE IN METRES

LICENSED SURVEYOR (PRINT) Ian Thomas Muir

SIGNATURE ..... DATE / /

REF 29188 VERSION 1

SHEET 2 OF 2 SHEETS

DATE / /

COUNCIL DELEGATE SIGNATURE

Original sheet size A3 PS03

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150mm

SUBDIVISION

STAGE No.	LTO USE ONLY	PLAN NUMBER
—	EDITION	PS 348585 B

PARISH: WANNAEUE
TOWNSHIP: —
SECTION: B
CROWN ALLOTMENT: —
CROWN PORTION: 1 (PART)

LTO BASE RECORD:
TITLE REFERENCES: VOL.10052 FOL. 414
VOL.10052 FOL. 415
LAST PLAN REFERENCE: PS.310930Y
LOTS 1 & 2
POSTAL ADDRESS: 607-609 POINT NEPEAN ROAD, McCRAE
AMG Co-ordinates (of approx centre of plan) N 5753600 ZONE 55
E 319400

VESTING OF ROADS OR RESERVES

IDENTIFIER	COUNCIL/BODY/PERSON
NIL	NIL

COUNCIL CERTIFICATION AND ENDORSEMENT

COUNCIL NAME: MORNINGTON PENINSULA REF: S 2153/95

1. This plan is certified under section 6 of the Subdivision Act 1988
2. ~~This plan is certified under section 11(7) of the Subdivision Act 1988~~
~~Date of original certification under section 6 / /~~
3. This is a statement of compliance issued under section 21 of the Subdivision Act 1988.

OPEN SPACE
(i) A requirement for public open space under section 18 of the Subdivision Act 1988 ~~has~~/has not been made.
(ii) The requirement has been satisfied.
~~(iii) The requirement is to be satisfied in Stage~~

Council Delegate
~~Council Seal~~
Date 15 / 12 / 95

Re-certified under section 11(7) of the Subdivision Act 1988.
Council Delegate
Council Seal
Date / /

LTO USE ONLY
STATEMENT OF COMPLIANCE/ EXEMPTION STATEMENT
RECEIVED ☐
DATE / /

LTO USE ONLY
PLAN REGISTERED
TIME
DATE / /
Assistant Registrar of Titles

NOTATIONS

DEPTH LIMITATION DOES NOT APPLY.

STAGING
This ~~is~~/is not a staged subdivision.

Planning Permit No.

SURVEY
This plan ~~is~~/is not based on survey.

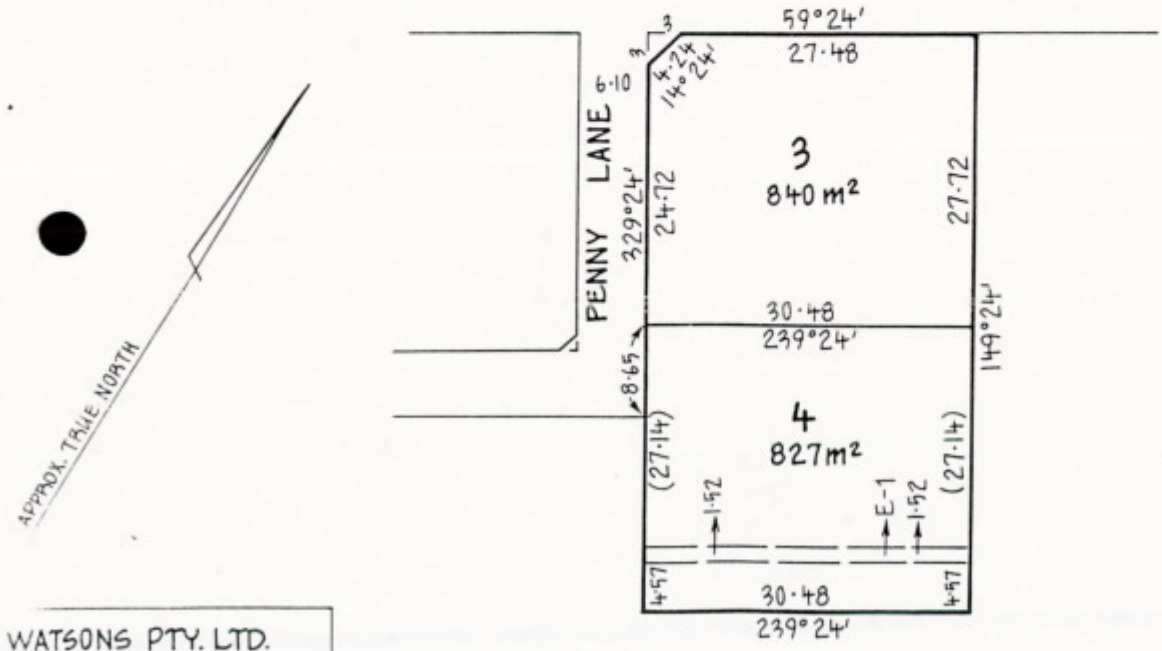
LOTS 1 AND 2 HAVE BEEN OMITTED FROM THIS PLAN.

EASEMENT INFORMATION

LEGEND A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)

SECTION 12(2) OF THE SUBDIVISION ACT 1988 APPLIES TO ALL THE LAND IN THE PLAN.

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	DRAINAGE	1.52	L.P. 11038	LOTS IN L.P.11038



WATSONS PTY. LTD.
ENGINEERS
SURVEYORS - TOWN PLANNERS
6 MAIN ST. MORNINGTON 3931
059 75 4644

Sheet 1 of 1 Sheet

SCALE
0 5 10 15 20 25
LENGTHS ARE IN METRES

ORIGINAL
SCALE 1:500
SHEET SIZE A3

LICENSED SURVEYOR (PRINT) Ian Thomas Muir
SIGNATURE [signature] DATE 31-10-95
REF 29188A VERSION 1

Personal Information
DATE 15/12/95
COUNCIL DELEGATE SIGNATURE

Creffields PS07

CIVIL TEST PTY. LTD.
SOIL TESTING & GEOTECHNICAL CONSULTANTS
A.C.N. 006 855 689

Bowens - Dandenong.

REPORT No. : RM0997-98

CLIENT : Frank Dimopoulos
3 Penny Lane
McCRAE 3938

PROJECT : 3 Penny Lane McCRAE

PROPOSAL : It is proposed to construct single and/or double storey timber extensions to the existing dwelling on strip footings and stumps at this site.

1. **COMMISSION:**
Investigation for site classification (Australian Standard 2870-1996 Residential Slabs and Footings), recommend a founding depth and/or foundation treatment where appropriate.

2. **SITE GEOLOGY:**
Geological maps of the area suggest that the site is in an area of Devonian Granodiorite and Granite - CLAYS. The site investigation confirmed this.

3. **SITE TOPOGRAPHY:**
The site has a steep to moderate slope down to the north. The ground cover comprises of native trees and concrete paving.

4. INVESTIGATION:

Four bores were drilled by mechanical and hand auger at the approximate locations shown on the attached plan.

Soil strengths of the cohesive soils were tested (if considered appropriate) by using a shear vane apparatus and observed densities of non-cohesive soils were noted.

The logs of each bore are attached showing the soil descriptions and depths along with any cohesive strengths measured and observed densities on non-cohesive soils.

5. FINDINGS:

The bore holes revealed that the existing soil profile consists of various layers of SAND FILL overlying a naturally occurring dark brown silty SAND and dark grey-grey coarse silty SAND. This is followed by various layers of coarse silty SAND.

6. SITE CLASSIFICATION:

After considering the area geology, the soil profile encountered in the bores and the proposed superstructure, this site has been classified as CLASS P with respect to foundation construction (Australian Standard 2870-1996 Residential Slabs and Footings). It is anticipated that the seasonal surface movement at this site will not exceed 20mm.

7. RECOMMENDED FOUNDATION FOR STUMPS AND OR STRIP FOOTINGS:

Although classified as CLASS P the use of CLASS S (AS 2870-1996) proportioned strip footings and stumps founded at minimum depths of 500mm and 400mm respectively, below the finished surface level surrounding the structure is recommended. However, the founding depth must be at least 100mm into any of the naturally occurring SANDS as described in the logs of boring, which from the site investigation can be assumed to have an allowable bearing capacity of 150kPa at this depth.

As a guide to the founding depths with regard to the above and information obtained from the bores, the founding depth at this site will be approximately up to 950mm for strip footings and up to 950mm for stumps in relationship to the existing surface where this surface is to be the finished surface level surrounding the structure.

It is recommended that where any footings are to be constructed next to the existing underground services (sewers etc.), then these footings should be founded at a depth above the invert of the service at an angle of repose of 45° for CLAYS and 30° for SANDS, unless special consideration has been given to the founding material.

7.1 Retaining Wall Parameters:
All proposed retaining walls must be engineer designed incorporating the following parameters:

i) Bulk density of existing sand 2.0 ton/m^3
ii) Internal friction angle of 25°
iii) Ka, active earth pressure, value of 0.406

Due to the nature and composition of the soil profile found in the site, construction during or after wet weather may be difficult. Therefore, it is recommended that an open cut drain be constructed around the proposed site to a depth of not less than 300mm below the site foundation material, or CLAY, whichever occurs first to intercept any ground water. There is no need to maintain this drain after construction to ground level has been reached. At this stage the drain should be backfilled, failure to do so may have detrimental effects.

8. CONDITIONS OF THE RECOMMENDATION:

8.1 The recommendations made in this report may need to be reviewed should any site works disturb any soil 300mm below the founding depth of the structure.

8.2 Since the soil horizons and layers can vary in depth and thickness over the site, the depths and bearing capacities given above are given as a guide only. If the footings are founded at the minimum depth, as stated and are in the soil as described in the logs of boring for this site, then the requirements of this report have been met.

8.3 Where any filling is to be placed the footing founding depths recommended in this report will need to be increased accordingly by the depth of that fill.

Unless one of the following occurs:-

8.3.1. The base of the footing is founded in the founding soil recommended in 7.1.

8.3.2. The fill has been placed under controlled conditions and compacted to a minimum of 95% of AS 1289, 5.1.1 (Standard Compaction) throughout. In this case the footings may be placed in this fill depending on the findings of further site investigations and the revision of the recommendations made in this report.

8.4 The descriptions of the soils found in the bore holes closely follow those outlined in AS 1726-1993 (Geotechnical Site Investigations). Colour descriptions can vary with soil moisture content. It should be noted therefore, colour and shade descriptions mentioned in this report are made when the soil is in a moist condition.

8.5 This report has been compiled and recommendations made based on the information supplied in the brief to Civiltest Pty Ltd and from the field investigations and observations made including the extent of if any site filling. Every care has been taken within the terms of the brief to ensure that the field investigation is representative of the site. Therefore, if it is found that for any reason information received by Civiltest Pty Ltd is incorrect or conditions on site vary considerably during construction to those described in this report then the comments and recommendations made in this report may need to be amended.

8.6 To ensure acceptable performance of the footing systems recommended in this report, care should be taken that the fundamental building, landscaping and long term maintenance procedures are adhered to as set out in the CSIRO Information Sheet No 10-91, "Guide to Home Owners on Foundation Maintenance and Footing Performance" attached.

8.7 Finally, no responsibility will be taken for this report if it is altered in any way or not reproduced in full.

This report consists of 8 pages and one site plan.

Personal Information

S D Buffinton
CIVILTEST PTY LTD
REF: NB/jc

15 June, 1998

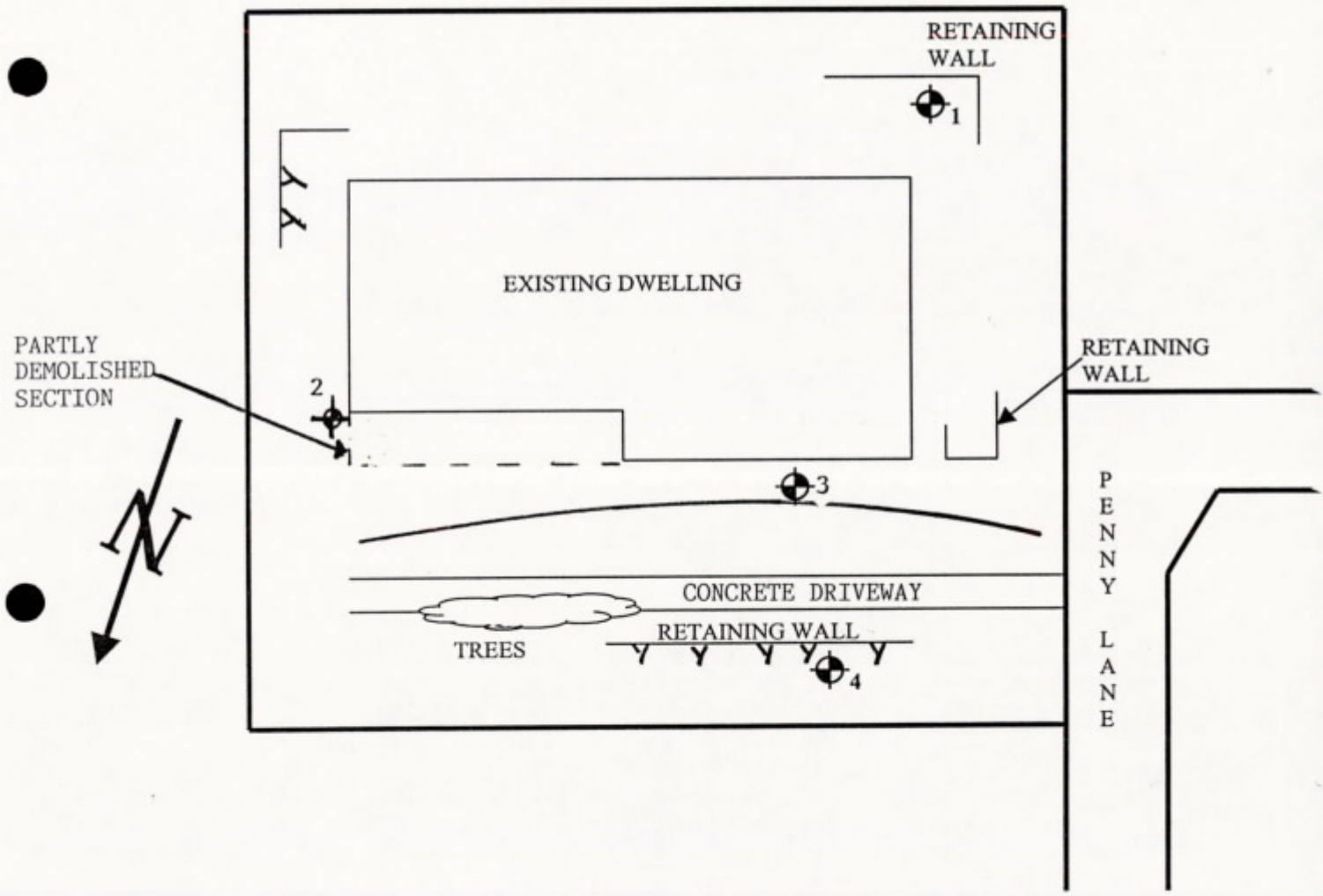
CIV. DOC. 004-008 Reissued 30-09-96

CIVILTEST PTY LTD
SOIL TESTING & GEOTECHNICAL CONSULTANTS
A.C.N. 006 855 689

LOCATION OF TEST SITES

3 PENNY LANE McCRAE

RM0997-98



⊕ Denotes Test Holes

NOT TO SCALE

Report N° RM0997-98

Engineering Log

Test Hole No 1 Depth (m)	Classification	Shear Vane Strength kPa		
0.060			CONCRETE PAVING	FILL
0.650			Brown and pale brown Clayey Silty SAND FILL Moist Loose to Medium dense	FILL
0.850			Brown Silty SAND FILL Moist Loose to Medium dense	FILL
1.000			Dark brown Silty SAND Moist Medium dense	
1.350			Brown Coarse Clayey Silty SAND Damp Medium dense	
			END OF BORE (10-6-98)	

Report N° RM0997-98

Test Hole No 2 Depth (m)	Classification	Shear Vane Strength kPa	Engineering Log
0.300	X . . . X . . . X . . . X		Brown/grey Silty SAND FILL Moist Loose to Medium dense **FILL**
0.450	X . . . X . . . X . . . X		Dark grey-grey coarse Silty SAND Moist Medium dense
0.950	X . . . X . . . X . . . X		Brown coarse Silty SAND Moist Medium dense Very moist Between 700mm and 850mm
1.400	— . . . – – . . . – – . . . —		Brown minor orange Clayey coarse SAND Moist Medium dense
			END OF BORE (10-6-98)

Report N° RM0997-98

Test Hole No 3 Depth (m)	Classifi-cation	Shear Vane Strength kPa	Engineering Log	
0.600	X . . . X . . . X . . . X		Brown Coarse Silty SAND FILL Damp Loose to Medium dense	FILL
1.350	X _ _ . . . X — . . . X — . . . _ _ X . . .		Grey-brown Clayey Silty SAND Damp to moist Medium dense Becoming brown With depth	
			END OF BORE (10-6-98)	

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SOIL TESTING & GEOTECHNICAL CONSULTANTS
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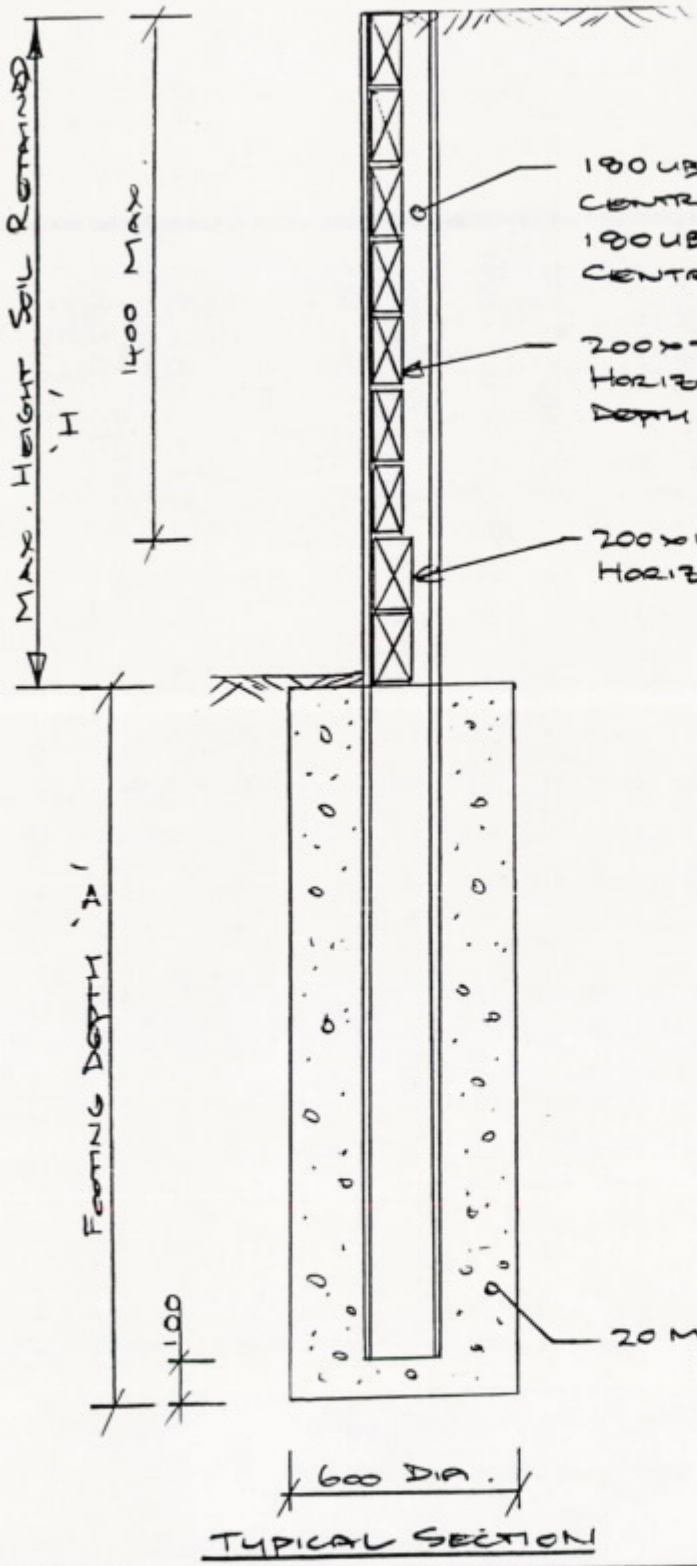
Report N° RM0997-98

Test Hole No 4 Depth (m)	Classification	Shear Vane Strength kPa	Engineering Log
0.550	x ∴ — – ∴ x – — x ∴ — — ∴ x — – x ∴ — – ∴ x		Mixture of CRUSHED ROCK Silty Sandy and Sandy Silty CLAY FILL Damp Loose to Medium dense **FILL**
0.750	x – – . . . — x . . . x — . . . – – x . . .		Grey/brown Clayey Silty SAND Damp to moist Medium dense
1.400	x – – . . . — x . . . x — . . .		Brown Clayey Coarse Silty SAND Moist Medium dense
			END OF BORE (10-6-98)

RETAINING WALL DETAILS:



TYPICAL SECTION

MAX. HEIGHT OF SOIL RETAINED 'H'	FOOTING DEPTH 'D'	MAX. SPACING
1300 mm	1400 mm	2400mm
1500 mm	1600 mm	2400mm
1800 mm	2000 mm	2400mm
2000 mm	1800 mm	1500mm

NOTE:
ALL UPRIGHTS TO BE HOT DIP GALVANISED.

4

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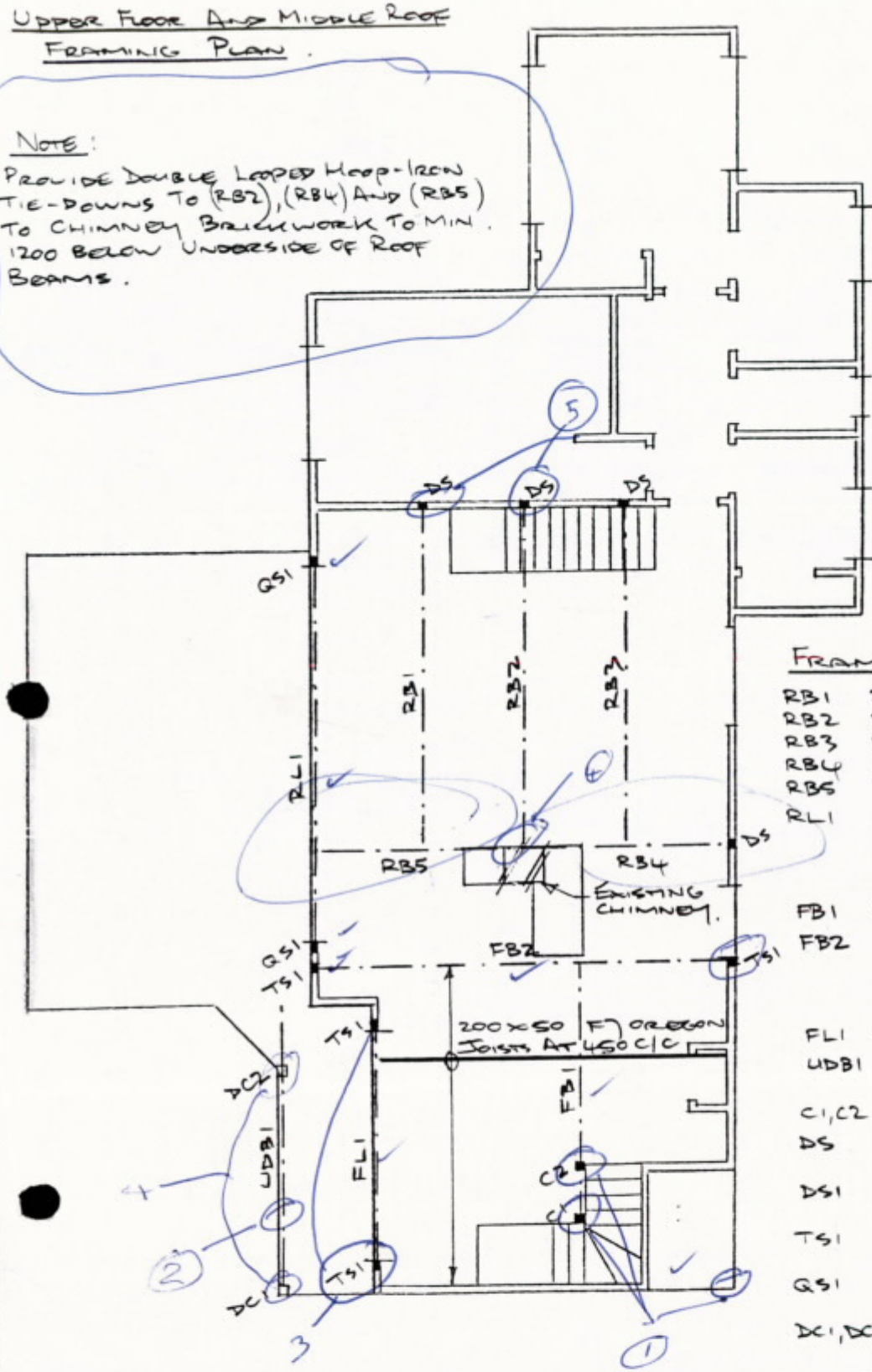
Project: PROPOSED RETAINING WALLS
3 PENNY LANE
McCRAE

Sheet No: A.
Job No: 131/98
Date: 21·6·98
Engr: AP.

Upper Floor And Middle Roof Framing Plan.

Note:

Provide double looped Hoop-Iron Tie-Downs to (RB2), (RB4) And (RB5) To Chimney Brickwork To Min. 1200 Below Underside Of Roof Beams.



Note:

1/ All Roof And Wall Framing Tie-Downs To Be In Accord. With Timber Framing Manual Requirements For 41 ms⁻¹ Design Wind Speed.

2/ Provide 2/30x0.8 GI Looped Straps 6/2.8 Dia. Galv. Flat Head Nails Each End Of Each Strap To Supporting Studs (RB1)-(RB5) And (RL1).

Framing Schedule

RB1	2/240x45 F17 SHW
RB2	2/240x45 F17 SHW
RB3	2/240x45 F17 SHW.
RB4	240x45 F17 SHW
RB5	240x45 F17 SHW
RL1	180x75 PFC & PR Cleats. 6 CFW To Underside. 2/M12 Bolts To (RS1)
FB1	2/190x45 F17 SHW.
FB2	300x90 PFC & PR Cleats. 6 CFW To Underside. 2/M12 Bolts To (TS1).
FL1	2/290x45 F17 SHW
UDB1	2/240x45 F7 CCA Treated Seas Pine.
C1, C2	100x100 F7 Oregon
DS	2/90x45 F5 Seas Pine Studs.
DS1	2/90x45 F17 SHW Studs.
TS1	3/90x45 F17 SHW Studs.
GS1	4/90x45 F17 SHW Studs.
DC1, DC2	125x125x5.0 SHS Hot Dip Galvanised.

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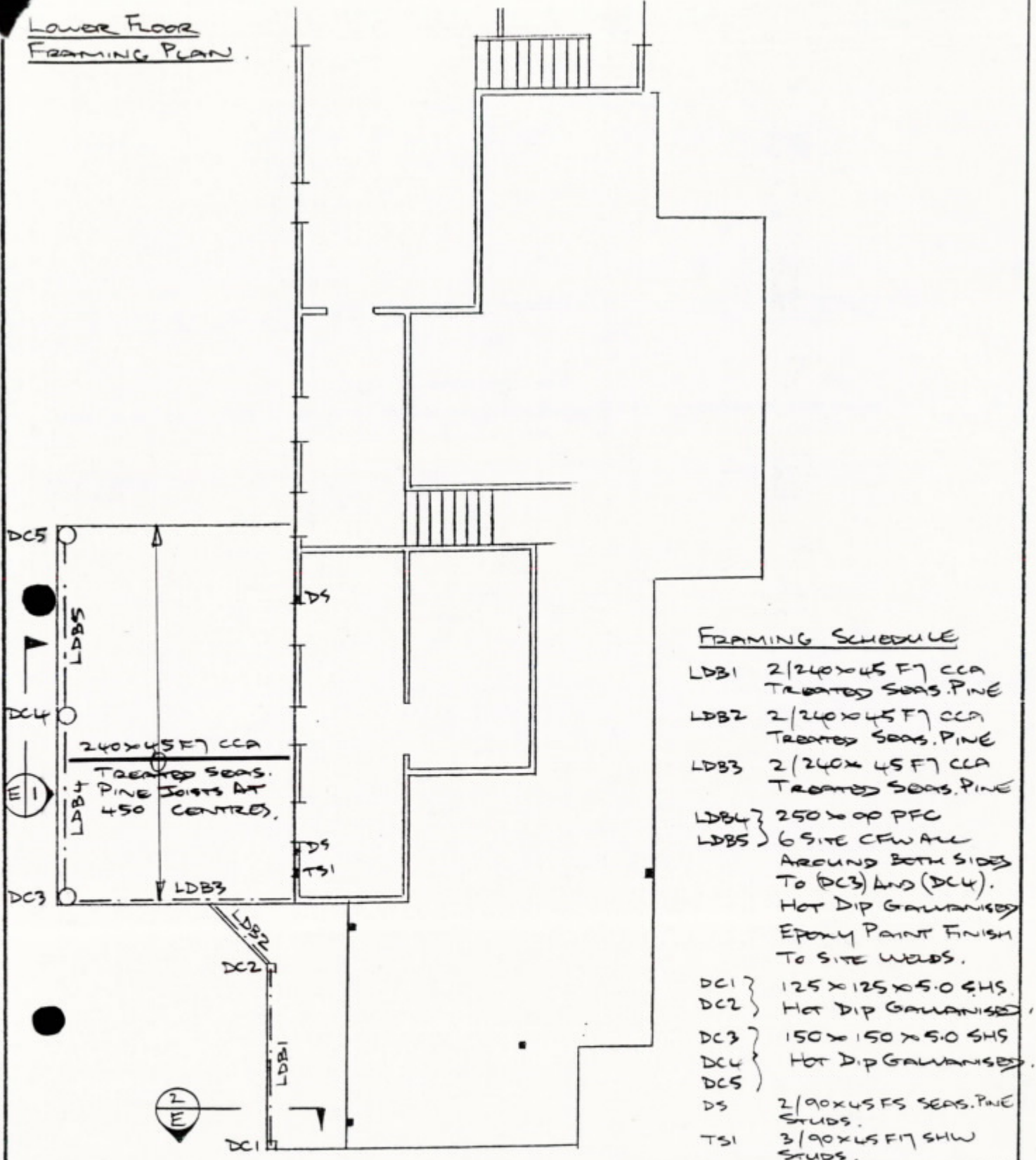
Project: Upper Floor And Middle Roof Framing Plan
Proposed Alterations To Residence
3 Penny Lane
McCrae.

Sheet No: 8
Job No: 131/98
Date: 22.6.98
Engr: A.P.

LOWER FLOOR
FRAMING PLAN.



FRAMING SCHEDULE

LDB1	2/240x45 F7 CCA TREATED SEAS. PINE
LDB2	2/240x45 F7 CCA TREATED SEAS. PINE
LDB3	2/240x 45 F7 CCA TREATED SEAS. PINE
LDB4, LDB5	250x90 PFC 6 SITE CFW ALL AROUND BOTH SIDES TO (DC3) AND (DC4). HOT DIP GALVANISED EPOXY PAINT FINISH TO SITE WELDS.
DC1, DC2	125x125x5.0 SHS. HOT DIP GALVANISED.
DC3, DC4, DC5	150x150x5.0 SHS HOT DIP GALVANISED.
DS	2/90x45 F5 SEAS. PINE STUDS.
TS1	3/90x45 F7 SHW STUDS.

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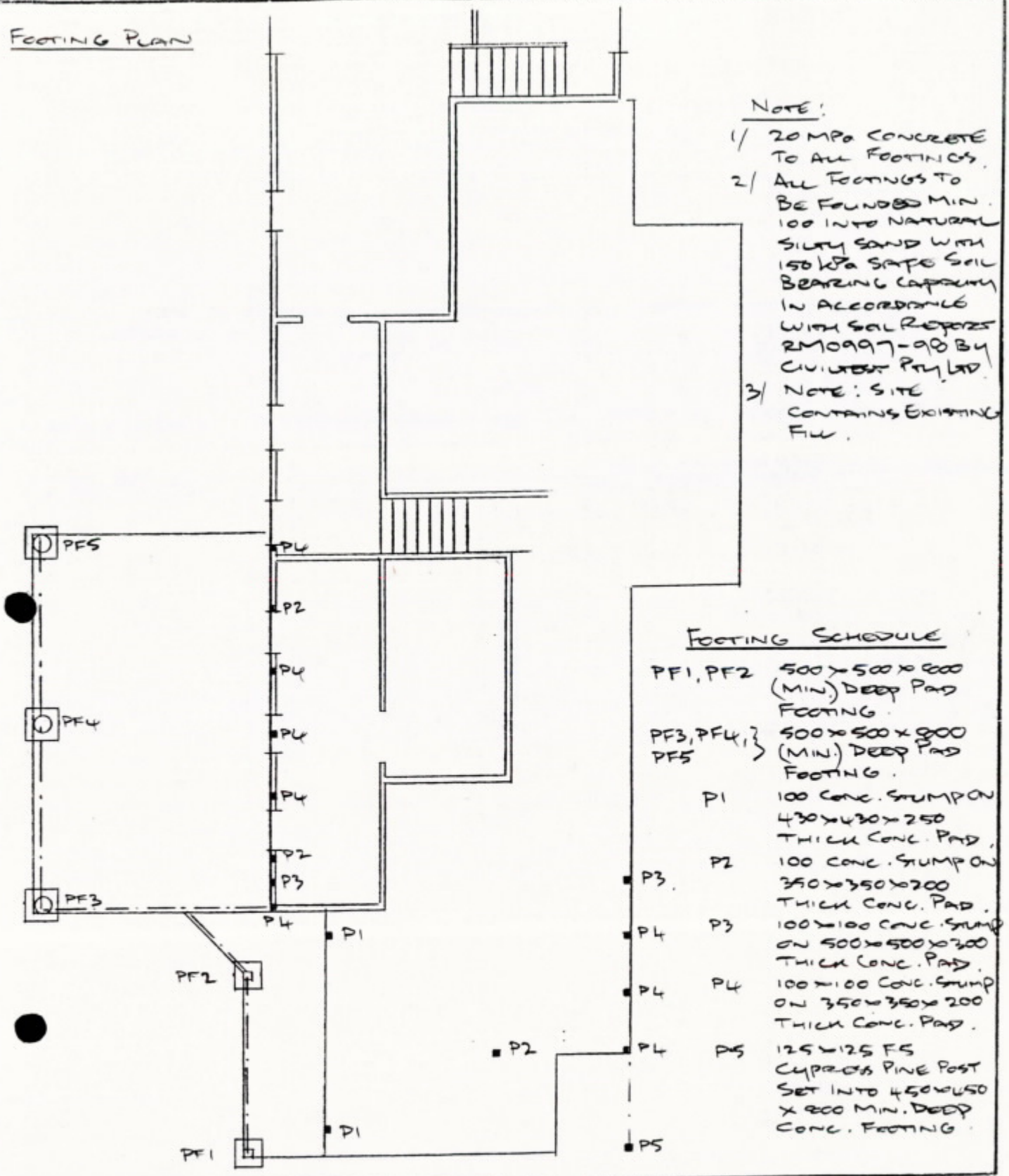
Project: LOWER FLOOR FRAMING PLAN
PROPOSED ALTERATIONS TO RESIDENCE
3 PENNY LANE
McCRAE.

Sheet No: C
Job No: 131/98.
Date: 23.6.98
Engr: A.P.

FOOTING PLAN



NOTE:

1/ 20 MPa CONCRETE TO ALL FOOTINGS.

2/ ALL FOOTINGS TO BE FOUNDED MIN. 100 INTO NATURAL SILTY SAND WITH 150 kPa SAFE SOIL BEARING CAPACITY IN ACCORDANCE WITH SOIL REPORTS RM0997-98 BY CIVILTEST PTY LTD.

3/ NOTE: SITE CONTAINS EXISTING FILL.

FOOTING SCHEDULE

PF1, PF2	500 × 500 × 600 (MIN.) DEEP PAD FOOTING.
PF3, PF4, PF5	500 × 500 × 600 (MIN.) DEEP PAD FOOTING.
P1	100 CONC. STUMP ON 430 × 430 × 250 THICK CONC. PAD.
P2	100 CONC. STUMP ON 350 × 350 × 200 THICK CONC. PAD.
P3	100 × 100 CONC. STUMP ON 500 × 500 × 300 THICK CONC. PAD.
P4	100 × 100 CONC. STUMP ON 350 × 350 × 200 THICK CONC. PAD.
P5	125 × 125 F5 CYPRESS PINE POST SET INTO 450 × 450 × 600 MIN. DEEP CONC. FOOTING.

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Project: FOOTING PLAN
PROPOSED ALTERATIONS TO RESIDENCE
3 PENNY LANE
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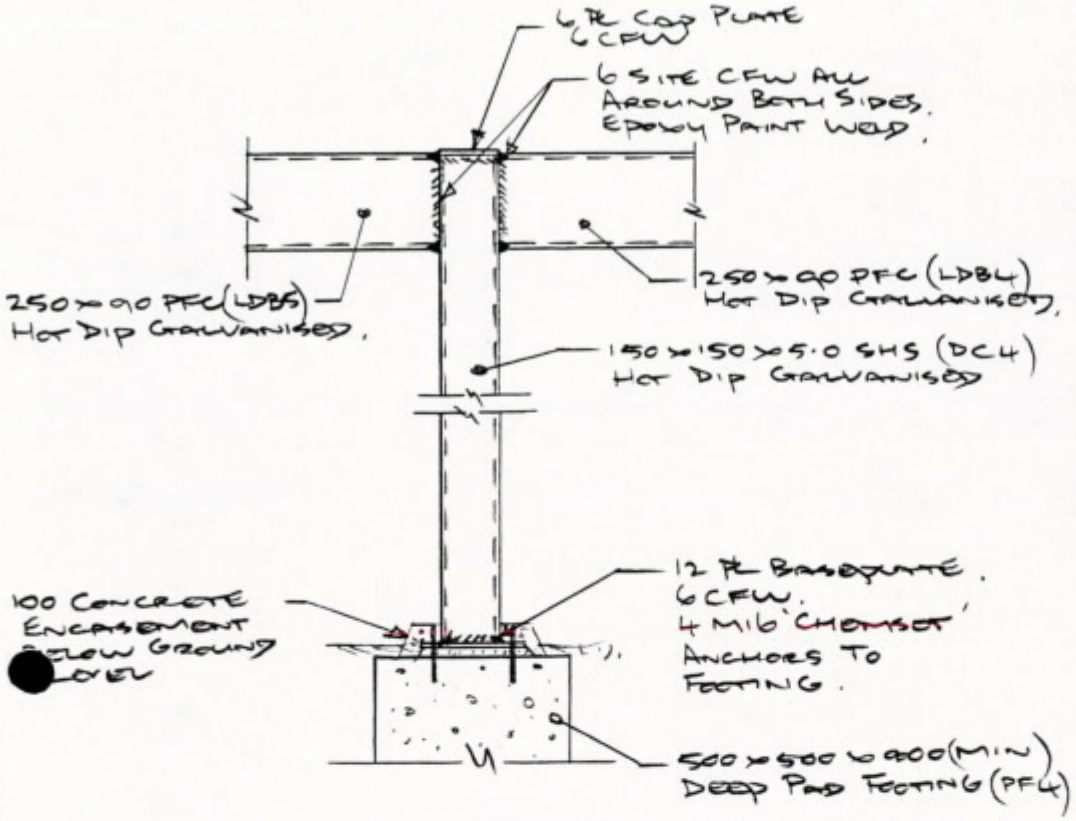
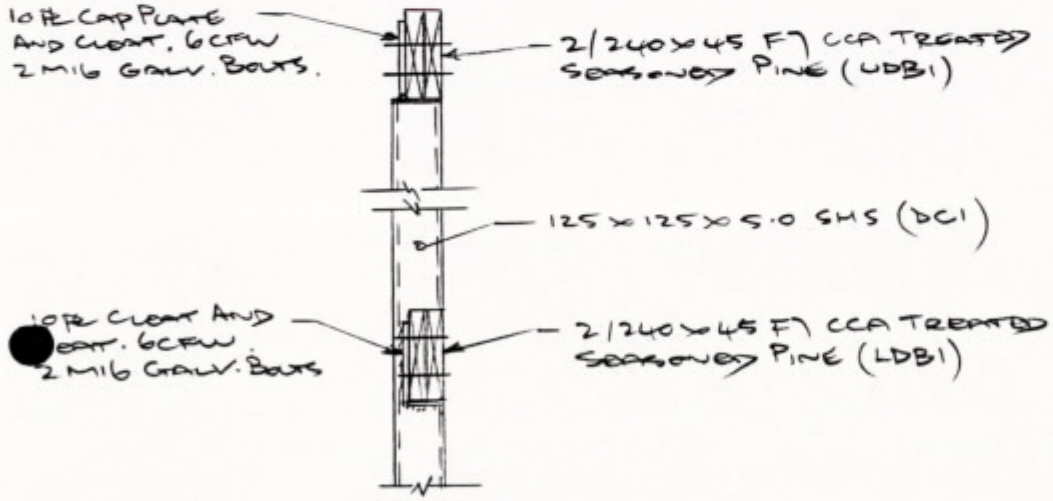
Sheet No: D
Job No: 131/98
Date: 23.6.98
Engr: A.P.

DECK FRAMING DETAILS:



SECTION 1/C



SECTION 2/C

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Project: DECK FRAMING DETAILS
PROPOSED ALTERATIONS TO RESIDENCE
3 PENNY LANE
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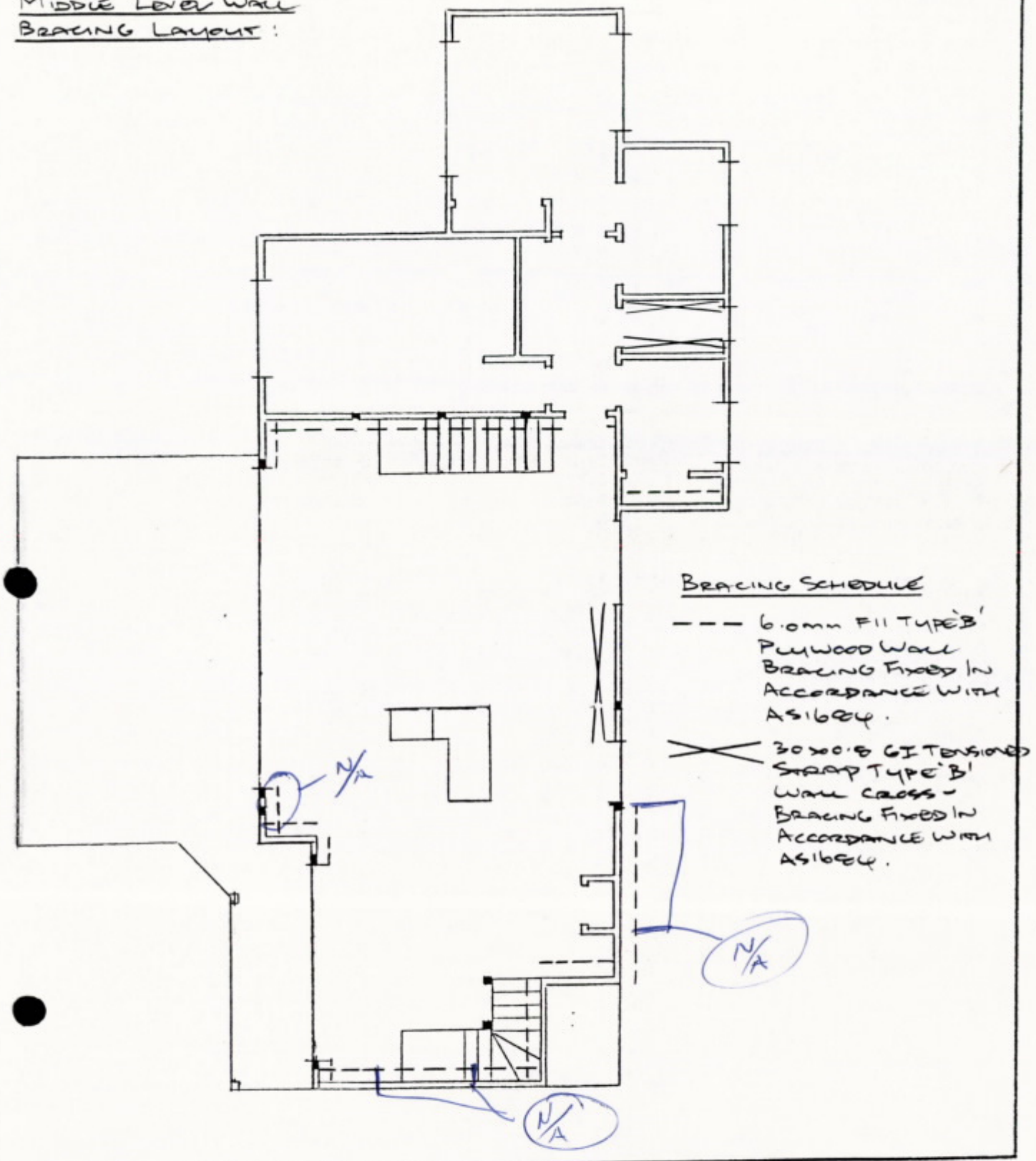
Sheet No: E
Job No: 131/98
Date: 26.6.98
Engr: A.P.

MIDDLE LEVEL WALL BRACING LAYOUT :



BRACING SCHEDULE

--- 6.0mm F11 TYPE 'B' PLYWOOD WALL BRACING FIXED IN ACCORDANCE WITH AS1684.

30x0.8 GI TENSIONED STRAP TYPE 'B' WALL CROSS-BRACING FIXED IN ACCORDANCE WITH AS1684.

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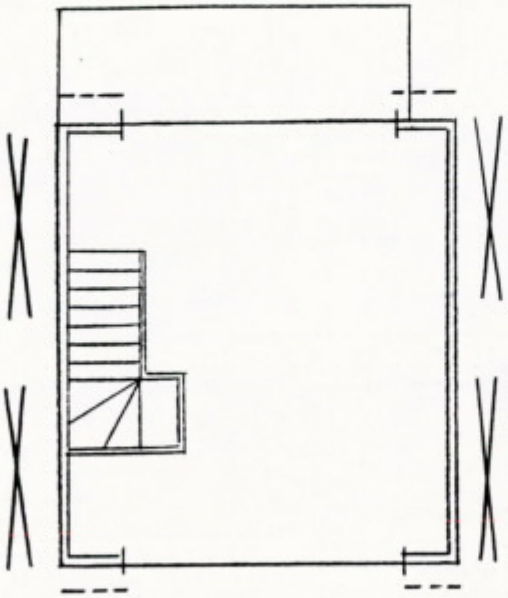
Project: MIDDLE LEVEL WALL BRACING LAYOUT
PROPOSED ALTERATIONS TO RESIDENCE
3 PENNY LANE
MCCRAE

Sheet No: F
Job No: 131/98
Date: 22.6.98.
Engr: A.P.

UPPER LEVEL WALL BRACING LAYOUT :



BRACING SCHEDULE :

- - - 6.0 mm F11 TYPE 'B' PLYWOOD WALL BRACING FIXED IN ACCORDANCE WITH AS1684.

30 x 0.8 GI. TENSIONED STRAP WALL CROSS-BRACING FIXED IN ACCORDANCE WITH AS1684.

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Project: UPPER LEVEL WALL BRACING LAYOUT
PROPOSED ALTERATIONS TO RESIDENCE
3 PENNY LANE
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Sheet No: G
Job No: 131/98
Date: 22.6.98.
Engr: A.P.

Alternative System to Give a
Bracing Resistance of 4 kN/m

Table 7. Minimum Sheathing Thickness of Plywood (mm)

Plywood Stress Grade	Stud Spacing	
	450mm	600mm
F8	7	9
F11	6	7
F14	4	6
F27	4	4.5

For the system with the plywood thicknesses and stud spacings given in Table 7 and fastener spacings given in Figure 5, NO BOLTS, NO NOGGING, NO OTHER BRACING, the allowable design racking load is:

4.0 kN/m

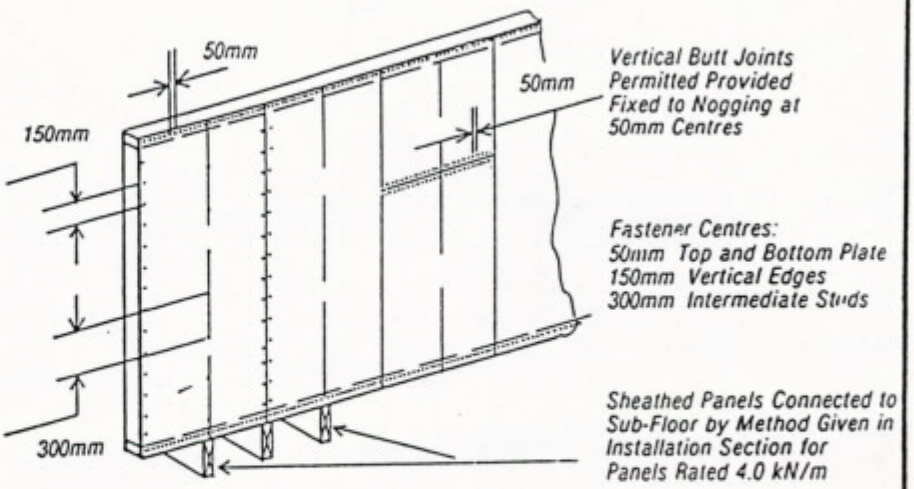

Figure 5. Fastener Diagram for Table 7

Fasteners

The approved fasteners used to connect the structural plywood to the frame are specified in Table 3.

Table 3. Minimum Fastener Specifications for Plywood Sheathing

Hand Driven Nails	Power Driven Nails	Power Driven Staples
2.8 - 3.15mm Dia. Diameter Clouts or Flathead Nails x 30mm Long	Senco Nail EC17 - 1½ Bostitch Nail C45D Bostitch Nail CR3D	Senco Staple G5562 - 1½ Bostitch Staple BCS1024

Note 1. Fasteners with equivalent dimension to those in Table 3 are acceptable.
2. The above fastener types are suitable for use with all species of timber framing.
3. Minimum edge clearance for fasteners is 7mm.
4. All fasteners are to be hot dipped galvanised or suitably coated.
5. If smaller diameter hand driven nails are used then the spacings of nails can be reduced in the ratio of the basic lateral loads per nail for J4 joint group given in Table 4.2.1.1 of AS 1720 Timber Engineering Code for the lower nail diameter relative to load for a 2.8mm Dia. nail.

The structural plywood is to be fixed to the frame using the fasteners detailed in Table 3 at the centres specified in Figures 2 to 6 for each sheathing system for which allowable design racking loads are given. The fastener centres must be multiplied by 0.66 when staples are used.

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Project: TYPE 'B' 6·0mm F11 PLYWOOD WALL BRACING DETAILS
PROPOSED ALTERATIONS TO RESIDENCE
3 PENNY LANE
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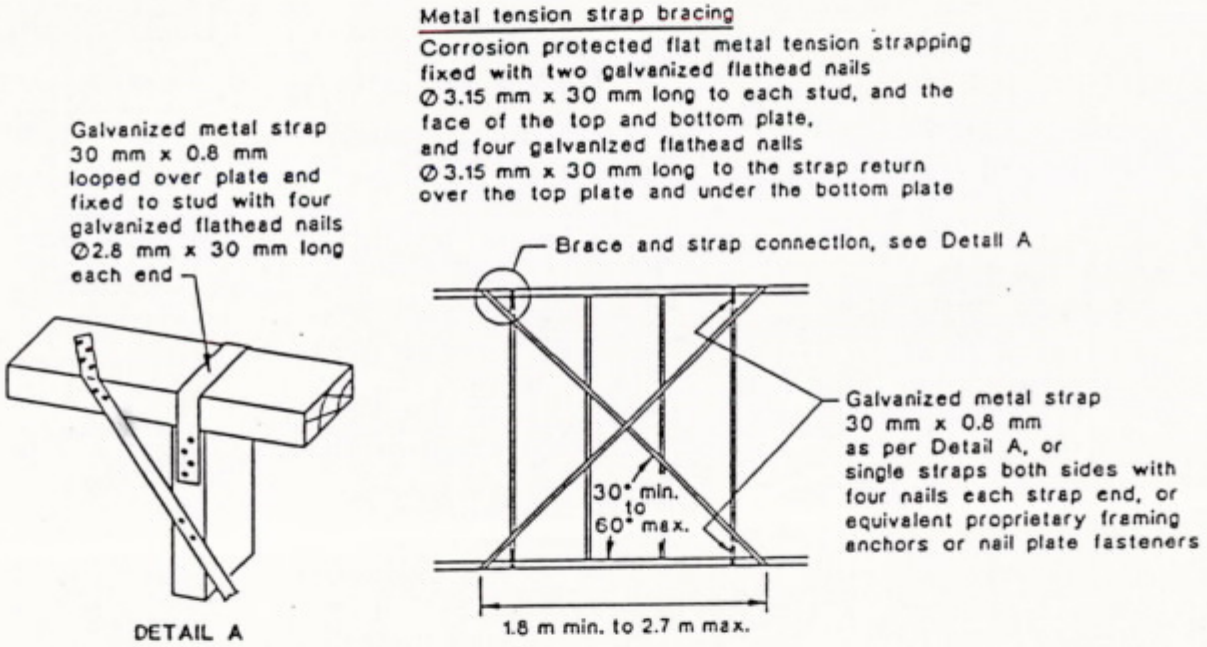
4.9.6 **Type B bracing unit** A Type B bracing unit is based upon a design racking resistance of 4 kN. The following bracing units are deemed to be satisfactory Type B braces:

(a) A pair of diagonal metal tension straps of minimum nominal dimension 30 mm × 0.8 mm and the minimum net section 24 mm^2 in opposing directions on one side of the timber frame as shown in Figure 4.14.

Metal tension straps shall be properly tensioned.

End studs shall be strapped to the top and bottom plates as shown in Figure 4.14.



NOTE: Noggings have been omitted for clarity.

FIGURE 4.14 TYPE B BRACING UNIT—PAIR OF DIAGONAL METAL TENSION STRAPS

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Sheet No. 1
Job No. 131/98
Date 23·6·98
Engr. AP

Project: TYPE 'B' TENSIONED STRAP WALL CROSS-BRACING DETAILS
PROPOSED ALTERATIONS TO RESIDENCE
3 PENNY LANE
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A.C.N. 006 358 489

Sheet No. 1
Job No. 131/98
Date 21.6.98
Engr. AP

Project: Proposed Additions To Residence
3 Penny Lane
McCrae.

Retaining Walls:

$\gamma = 20\ kN/m^3$.

$K_a = 0.406$ $K_p = 3.50$

Max. Height Of Soil Retained: 2000 mm.

Uprights:

Spacing: 1500mm (Max)

$M_{BASE} = (0.406 \times 20 \times 2.00^3/6) \times 1.50$

$= 16.24\ kN.m$

Try 180UB18 $M_s = 29.4\ kN.m$ ✓ ok

Footings:

$P_{o/T} = (0.406 \times 20 \times 1/2 \times 2.00 \times 2.00) \times 1.50 = 24.36\ kN$.

$e = 2000/3 = 667\ mm$

Try 600 Dia. x 1800 Deep. :

$H_u = \dfrac{0.50 \times 70 \times 0.60 \times 1.80^3 \times 3.5}{(0.667 + 1.000)}$

$= 49.64\ kN$.

$F/s = 49.64/24.36 = 2.04$ ✓ ok.

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Sheet No. 2
Job No. 131/98
Date 21.6.98.
Engr. AP

Project:

RETAINING WALLS: (Contd.)

Max. Height of Soil Retained : 1800 mm

Uprights :

Spacing : 2400mm (Max)

$M_{BASE} = (0.406 \times 20 \times 1.80^3/6) \times 2.40$

$= 18.94$ kN.m.

→ 180 UB 18 $M_S = 29.4$ kN.m ✓ ok.

Footings :

$P_{olt} = (0.406 \times 20 \times 1/2 \times 1.80 \times 1.80) \times 2.40 = 31.57$ kN.

$e = 1800/3 = 600$ mm.

Try 600 Dia. × 2000 Deep :

$M_u = \dfrac{0.50 \times 20 \times 0.60 \times 2.00^3 \times 3.5}{(0.60 + 2.00)}$

$= 64.62$ kN.

$F/S = 64.62/31.57 = 2.05$ ✓ ok.

Max. Height of Soil Retained : 1500 mm

Footings :

$P_{olt} = (0.406 \times 20 \times 1/2 \times 1.50 \times 1.50) \times 2.40 = 21.92$ kN.

$e = 1500/3 = 500$ mm.

Try 600 Dia. × 1600 Deep Footings :

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Sheet No. 3
Job No. 131/98
Date 21.6.98
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Project:

RETAINING WALLS : (Cont'd.)

$$Hu = \frac{0.50 \times 20 \times 0.60 \times 1.60^3 \times 3.50}{(0.50 + 1.60)}$$

$= 40.96$ kN.

F/S = 40.96/21.92 = 1.87 ✓ ok.

Max. Height of Soil Retained : 1300 mm.

Footings :

Polt = $(0.40 \times 20 \times 1/2 \times 1.30 \times 1.30) \times 2.40 = 16.47$ kN.

e = 1300/3 = 433 mm

Try 600 Dia. x 1400 Deep Footings :

$$Hu = \frac{0.50 \times 20 \times 0.60 \times 1.40^3 \times 3.50}{(0.433 + 1.40)}$$

$= 31.44$ kN

F/S = 31.44/16.47 = 1.91 ✓ ok.

ADOPT 180 UB 18 UPRIGHTS AT 2400 MAX. CENTRES TO RETAIN 1800 MAX. SOIL
180 UB 18 UPRIGHTS AT 1500 MAX. CENTRES TO RETAIN 2000 MAX. SOIL
UPRIGHTS TO BE HOT DIP GALVANISED
600 DIA x 1800 DEEP FOOTINGS TO 2000 HIGH WALL
600 DIA x 2000 DEEP FOOTINGS TO 1800 HIGH WALL
600 DIA x 1600 DEEP FOOTINGS TO 1500 HIGH WALL
600 DIA x 1400 DEEP FOOTINGS TO 1300 HIGH WALL.

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Sheet No. 4
Job No. 131/99.
Date 21.6.99.
Engr. AP

Project:

Roof Beams over Living Room (RB1) (RB2) and (RB3)

Span: 5500mm c/c TC 2 $z = 9500$ mm

$\therefore V_z = 0.99 \times 41 = 40.63 \text{ ms}^{-1}$

$\therefore q_z = 0.6 \times 10^{-3} \times 40.63^2 = 0.99 \text{ kPa}$

$h/d = 7500/7500 = 1.0 \quad C_{pw} = -0.6 \quad C_{pl} = -0.6$

Loads:

Roof DL.	0.40 kPa × 3.35/2	= 0.67 kN/m	↓
LL.	0.32 kPa × 3.35/2	= 0.54 kN/m	↓
WL	(0.3 + 0.6) 0.99 kPa × 3.35/2	= 1.49 kN/m	↑
Beam s/w DL.		= 0.14 kN/m	↓
	DL	0.81 kN/m	↓
	DL + LL	1.35 kN/m	↓
	DL + WL	0.76 kN/m	↑

$M^*_{DL+LL} = 1.35 \times 5.50^2/8 = 5.10 \text{ kN.m}$ $R^*_{DL+LL} = 3.71 \text{ kN} \downarrow$

$M^*_{DL+WL} = 0.76 \times 5.50^2/8 = 2.87 \text{ kN.m}$ $R^*_{DL+WL} = 2.09 \text{ kN} \uparrow$

Try 2/240×45 F17 SHW

$f_b = 5.10 \times 10^3 / 864.00 = 5.90 \text{ MPa}$ ✓ ok

$\delta_{DL} = \dfrac{2 \times 5 \times 0.81 \times 5500^4}{384 \times 14000 \times 103.68 \times 10^6} = 13.30 \text{ mm}$

$\left(= \text{span}/414\right)$ ✓ ok.

Adopt 2/240×90 F17 SHW Roof Beams over Living Room (RB1) (RB2) and (RB3)

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Sheet No. 5
Job No. 131/98
Date 22.6.98
Engr. AP

Project:

Upper Floor Joists:

Span: 5700mm c/c

ADOPT PS-40 POSI-STRUTS AT 450 CENTRES
45 x 70 F5 TOP AND BOTTOM CHORDS

Upper Deck Beam (UDB1)

Span: 3500mm
Cantilever: 1100 mm

A = 6.90 m²
∴ w = 3.00kPa

Loads:

Balustrade	DL		= 0.30kN/m
Deck	DL.	0.30kPa x 1.50/2	= 0.23kN/m
	w.	3.00kPa x 1.50/2	= 2.25kN/m
	S/W	DL.	= 0.12kN/m
			DL 0.65kN/m
			DL+w 2.90kN/m

$M_{DL+w} = 2.90 \times 3.50^2/8 = 4.44$ kN.m

$M_{DL+w(cant)} = 2.90 \times 1.10^2/2 = 1.75$ kN.m

T+G2/240 x 45 F7 Seas Pine

$f_b = 4.44 \times 10^3 / 864.0 = 5.14$ MPa

$F_b = 1.65 \times 6.90 = 11.39$ MPa ✓ ok

$\delta_w (cant) = \frac{2.25 \times 1100}{24 \times 7900 \times 103.68 \times 10^6}\left(4 \times 1100^2 \times 3500 + 3 \times 1100^3\right)$ (E cont / 417) ✓ ok

$= 2.64$ mm

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Sheet No. 6
Job No. 131/98
Date 22.6.98
Engr. AP

Project:

UPPER DECK BEAM (UDB1): (Cont'd)

δ_L (backspan) = $\frac{5 \times 2.25 \times 3500^4}{384 \times 7900 \times 103.68 \times 10^6}$

= 5.37 mm (= span/652) / ok

ADOPT 2/240×45 F7 CCA TREATED SOFT PINE (UDB1)
GALV. NAIL LAMINATED

LINTEL TO DINING ROOM DOOR/WINDOW (FL1)

Span: 3700 mm c/c.

LOADS:

Deck	DL	0.30 kPa × 1.50/2	= 0.23 kN/m
	LL	3.00 kPa × 1.50/2	= 2.25 kN/m
Upper Window	DL.	0.30 kPa × 2.10	= 0.63 kN/m
Upper Floor	DL.	0.50 kPa × 5.70/2	= 1.43 kN/m
	LL.	1.50 kPa × 5.70/2	= 4.28 kN/m
S/W	DL.		= 0.18 kN/m
		DL	2.47 kN/m
		DL+LL	9.00 kN/m

M_{DL+LL} = 8.92 × 3.70^2/8 = 15.26 kN.m R_{DL+LL} = 16.50 kN.

Try 2/290×45 F17 SHW

f_b = 15.26 × 10^3/(2 × 630.75) = 12.10 MPa / ok.

δ_{DL} = $\frac{2 \times 5 \times 2.47 \times 3700^4}{384 \times 14000 \times 182.918 \times 10^6}$ = 4.70 mm (= span/786) / ok.

ADOPT 2/290×45 F17 SHW LINTEL (FL1)
TRIPLE 90×45 F17 SHW STUDS EACH SIDE

2/360 main street
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A.C.N. 006 358 489

Sheet No. 7
Job No. 131/98
Date 22.6.98
Engr. AP

Project:

Upper Floor Beam (FB2)

Span : 6700 mm clr

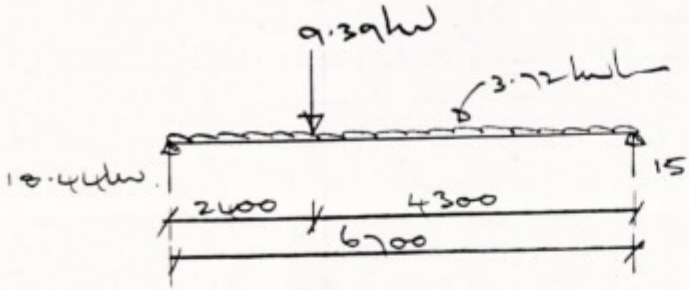
Loads:

Dist^D:

Upper Roof	DL	0.35 kPa × 3.10	= 1.09 kN/m
	L	0.25 kPa × 3.10	= 0.78 kN/m
Upper Wall	DL	0.35 kPa × 2.40	= 0.84 kN/m
Lower Roof	DL	0.40 kPa × 2.00/2	= 0.40 kN/m
	L	0.25 kPa × 2.00/2	= 0.25 kN/m
Beam s/w	DL		= 0.36 kN/m
		DL	2.69 kN/m
		DL+L	3.72 kN/m

Conc:

From (FB1)	DL	1.54 kN/m × 3.30/2	= 2.54 kN
	L	4.28 kN/m × 3.20/2	= 6.85 kN
		DL+L	9.39 kN @ 2400 mm From support



$M_{max} = (15.83 \times 4.26) - (3.72 \times 4.26^2/2)$
$= 33.60$ kN.m

Try 300 PFC. $l_{eff} = 4300$ mm $\therefore M_s = 54.26$ kN.m ✓ ok

$$\delta_{DL} = \left(\frac{2.54\times10^3 \times 6700^3}{48\times2\times10^5\times72.4\times10^6}\left(\frac{3\times2400}{6700} - 4\left(\frac{2400}{6700}\right)^2\right)\right) + \left(\frac{5\times2.69\times6700^4}{384\times2\times10^5\times72.4\times10^6}\right)$$

$= 0.98 + 4.87 = 5.85$ mm $(= \text{span}/1144)$ ✓ ok

Adopt 300×90 PFC (FB2)
Triple 90×45 F17 SHS Studs Each End.

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Sheet No. 8
Job No. 131/98
Date 22.6.98
Engr. A.P

Project:

LOWER DECK BEAMS (LDB1) AND (LDB2)

Span : 3400 mm c/c

ADOPT 2/240×45 F7 CCA TREATED SEAS PINE (LDB1) AND (LDB2)

LOWER DECK JOISTS :

Span : 4400 mm

$A = 39.91 m^2$
$\therefore LL = 1.50 kPa$.

ADOPT 240×45 F7 CCA TREATED SEAS. PINE JOISTS AT 450 CENTRES.

LOWER DECK BEAM (LB3)

Span : 4400 mm c/c

LOADS :

DISTD :

Balustrade	DL		= 0.30 kN/m
Deck	DL	0.20 kPa × 0.45/2	= 0.05 kN/m
	LL	1.50 kPa × 0.45/2	= 0.34 kN/m
s/w	DL		= 0.12 kN/m
		DL	0.47 kN/m
		DL+LL	0.81 kN/m

CONC :

Balustrade	DL	0.30 kN/m × 1.00/2	= 0.27 kN
Deck	DL	0.33 kPa × (1/2 × 1.20²) × 2²/3	= 0.16 kN
	LL	1.50 kPa × (1/2 × 1.20²) × 2²/3	= 0.72 kN

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Project:

Sheet No. 9
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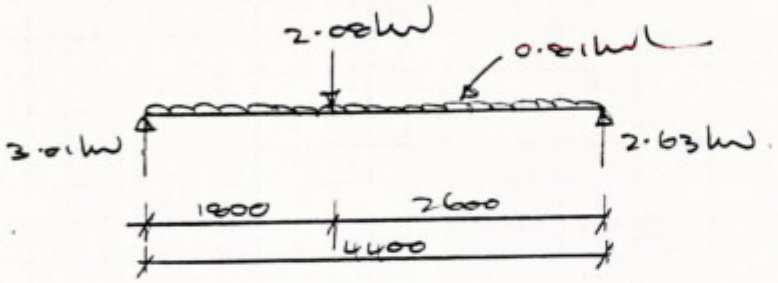
Date 22.6.98
Engr. AP

Lower Deck Beam (LDB3) (Cont'd)

Conc (Cont'd)

Deck	DL	0.33kPa × 1.50/2 × 1.20/2	= 0.15kN
	LL	1.50 kPa × 1.50/2 × 1.20/2	= 0.68kN
S/W	DL	0.12 kN/m × 1.20 × 1.2/2	= 0.10kN
		DL	0.68kN
		DL+LL	2.08kN @ 1800mm From Support



$M_{DL+LL} = (3.01 \times 1.80) - (0.81 \times 1.80^2/2)$
$= 4.11$ kN.m

T2 2/240×45 F7

$f_b = 4.11 \times 10^3 / (2 \times 4320) = 4.75$ MPa ✓ ok

$\delta_{LL} = \left(\frac{5 \times 0.34 \times 4400^4}{384 \times 7900 \times 103.68 \times 10^6}\right) + \left(\frac{0.68 \times 10^3 \times 4400^3}{48 \times 7900 \times 103.68 \times 10^6}\right)\left(\frac{3 \times 1800}{4400} - \frac{4 \times 1800^2}{4400^2}\right)$

$= 2.03 + 1.40 = 3.43$ mm ✓ ok.

Adopt 2/240×45 F7 CCA Treated Sawn Pine (LDB3)
Glue Nail Laminated.

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Sheet No. 10
Job No. 131/90
Date 22.6.90
Engr. AP

Project:

Lower Deck Beams (LDB4) And (LDB5)

Span: 3500 mm c/c

Loads:

Balustrade DL = 0.30 kN/m
Deck DL 0.33 kPa × (4.40/2 + 0.10) = 0.76 kN/m
LL 1.50 kPa × (4.40/2 + 0.10) = 3.45 kN/m
s/w DL. = 0.14 kN/m
DL = 1.20 kN/m
DL+LL = 4.65 kN/m

$M_{DL+LL} = 4.65 \times 3.50^2/8 = 7.12$ kN.m $R_{DL+LL} = 8.14$ kN

Try 2/240 × 45 F7

$f_b = 7.12 \times 10^3/(2 \times 432.0) = 8.24$ MPa

$F_b = 1.65 \times 6.90 = 11.39$ MPa ✓ OK

$\delta_{LL} = \frac{5 \times 3.45 \times 3500^4}{384 \times 7900 \times 103.68 \times 10^6} = 8.23$ mm

$(= \text{span}/425)$ ✓ OK

Steel Alt:

Try 200 PFC $\delta_{LL} = \frac{5 \times 3.45 \times 3500^4}{384 \times 2 \times 10^5 \times 19.1 \times 10^6} = 11.6$ mm ✓ OK

Adopt 250 × 90 PFC Steel Channels (LDB4) And (LDB5)

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Sheet No. 11
Job No. 131/98
Date 22·6·98
Engr. AP

Project:

Deck Columns (DC1) And (DC2)

Height : 4200 mm.

Loads: (Max)

Upper Deck	DL	$(0.65 \times 4.60^2/2)/3.50$	= 1.96 kN
	LL	$(2.25 \times 4.60^2/2)/3.50$	= 6.00 kN
Lower Deck	DL	$0.65 \times 3.50/2$	= 1.14 kN
	LL	$1.13 \times 3.50/2$	= 1.98 kN
Addit " "	DL	$0.33 \times (1/2 \times 1.20^2) \times 1/3$	= 0.08 kN
	LL	$1.50 \times (1/2 \times 1.20^2) \times 1/3$	= 0.36 kN
Col. s/w	DL	$0.18 kN/m \times 6.90$	= 1.24 kN
			13.56 kN

Try $125^2 \times 5.0$ SHS $P_s = 274.8$ kN. ✓ok

Try $450^2 \times 900$ Min Deep Pad Footing:

$BP = (13.56 + 3.09)/0.45^2 = 86.2$ kPa. ✓ok

Adopt 125 × 125 × 5.0 SHS (DC1) And (DC2)
Hot Dip Galv. After Fabrication
450 × 450 × 900 (Min) Deep Footings
Min. 100 Into Natural Sand.

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Sheet No. 12
Job No. 131/98
Date 22.6.98
Engr. A.P.

Project:

DECK COLUMNS (DC3) - (DC5)

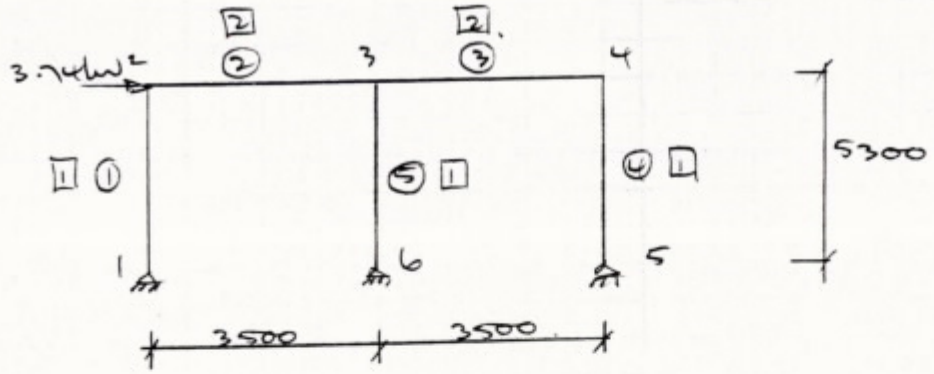
Height : 5300 mm

LOADS:
VERTICAL (Max)

From (LDB4/LDB5) DL $1.29 \times 7.20/2$ = 4.64 kN
LL $3.45 \times 7.20/2$ = 12.42 kN
DL+LL 17.06 kN.

LATERAL:

WL $1.20(0.99kPa) \times 1.40 \times 4.50/2 = 3.74$ kN.



[1] 150 × 150 × 5.0 RHS

[2] 250 × 90 PFC

Tm 150 × 5.0 SHS P_s = 314.20 kN ✓ OK.

Max WL = 6.5 kN.m M_s = 28.4 kN.m ✓ OK.

Footing:
Tm 500 × 500 × 800 (min) Deep Pad

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Sheet No. 13
Job No. 131/98
Date 22.6.98.
Engr. AP

Project:

DECK COLUMNS (DC3)-(DC5) (CONTD.)

BP. = (17.06 + 4.80) / 0.50² = 87.4 kPa ✓ OK.

check Uplift:

F/S = 4.80 / 1.06 = 4.53 ✓ OK

ADOPT 150×150×5.0 SHS COLUMNS (DC3)-(DC5)
12 R BASEPLATES,
4 M16 CHEMSETS
500×500×800 (MIN) DEEP CONC. PADS
MIN. 100 INTO NATURAL SAND.

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MICROSTRAN John Fitzgerald Consulting Engineers
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Page:
22-JUN-98
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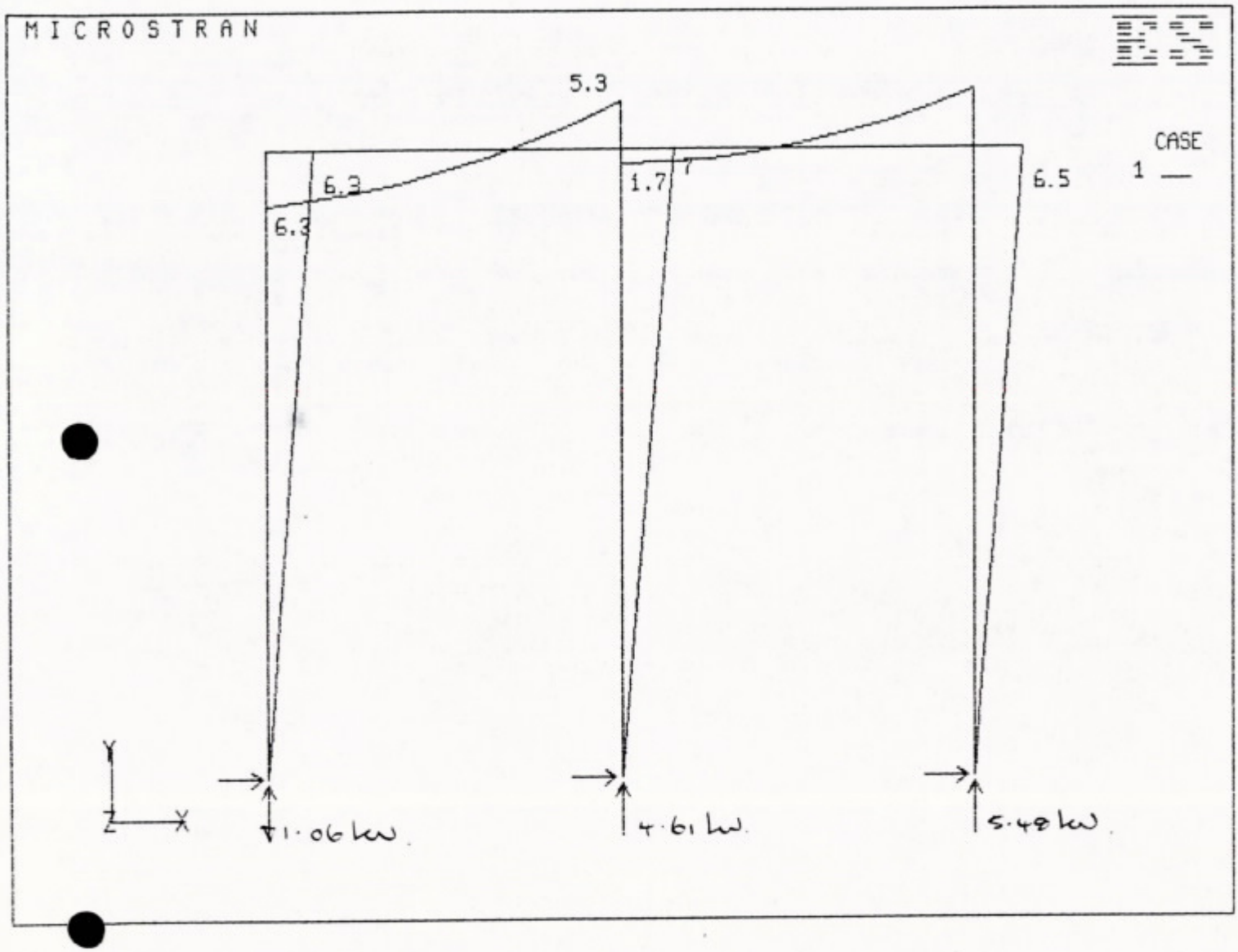
Job: DIM01
PROPOSED RESIDENCE
3 PENNY LANE, MCCRAE



Bending moment Mz
DEAD + SIDE WIND LOAD

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Sheet No. 15
Job No. 131/98
Date 22.6.98
Engr. AP

Project:

ROOF BEAMS (RB5) AND (RB4)

Span : 3350 mm c/c.

LOADS :

CONC :

From (RB1) DL $0.81 \times 5.50/2$ $= 2.23$ kN ↓.
LL $0.54 \times 5.50/2$ $= 1.49$ kN ↓.
WL $1.49 \times 5.50/2$ $= 4.10$ kN ↑

DL 2.23 kN ↓.
DL+LL 3.72 kN ↓.
DL+WL 2.09 kN ↑ @ Midspan.

DIST D :

Roof DL 0.40 kPa $\times 2.00/2$ $= 0.40$ kN/m ↓
LL 0.26 kPa $\times 2.00/2$ $= 0.26$ kN/m ↓.
WL $(0.3+0.6)\,0.99$ kPa $\times 2.00/2$ $= 0.89$ kN/m ↑
Beam s/w DL. $= 0.14$ kN/m ↓.

DL 0.54 kN/m ↓.
DL+LL 0.80 kN/m ↓.
DL+WL 0.35 kN/m ↑

$M_{DL+LL} = (3.72 \times 3.35/4) + (0.80 \times 3.35^2/8)$
$= 3.12 + 1.12$
$= 4.24$ kN.m

$R_{DL+LL} = 3.20$ kN ↓.
$R_{DL+WL} = 1.63$ kN ↑

Try 240 × 45 F17 SHW

$f_b = 4.24 \times 10^3 /$

$\delta_{DL} = \left(\frac{2 \times 2.23 \times 10^3 \times 3350^3}{48 \times 14000 \times 51.84 \times 10^6}\right) + \left(\frac{2 \times 5 \times 0.54 \times 3350^4}{384 \times 14000 \times 51.84 \times 10^6}\right)$

$= 4.81 + 2.44 = 7.25$ mm $\left(= \text{Span}/462\right)$ ✓

ADOPT 240 × 45 F17 SHW ROOF BEAMS (RB5) AND (RB4)

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Project:

Sheet No. 16
Job No. 131/98
Date 23-6-98
Engr. AP

LINTEL (RL1)

Span : 6100 mm c/c.

LOADS:

CONC:

From (RB5) DL = 2.02 kN ↓
LL = 1.18 kN ↓
WL = 3.54 kN ↑

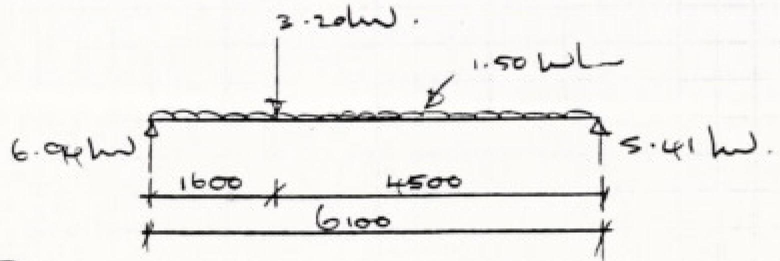
DL 2.02 kN ↓
DL+LL 3.20 kN ↓
DL+WL 1.52 kN ↑

@ 1600 mm from Support.

DIST^D:

Roof DL. 0.35 kPa × (3.40/2 + 0.50) = 0.77 kN/m
LL. 0.25 kPa × (3.40/2 + 0.50) = 0.55 kN/m
WL (0.3+0.6) 0.99 kPa × (3.40/2 + 0.50) = 1.96 kN/m
S/W DL. = 0.18 kN/m

DL 0.95 kN/m ↓
DL+LL 1.50 kN/m ↓
DL+WL 1.01 kN/m ↑



$M_{DL+LL} = (5.41 \times 3.61) - (1.50 \times 3.61^2/2)$

$= 9.76$ kN.m

$R_{DL+WL}(max) = 4.20$ kN ↑

Try 180 PFC. $L_{eff} = 6000$ mm M_s: 11.70 kN.m / ok

$$\delta_{DL} = \frac{2.02 \times 10^3 \times 6100^3}{48 \times 2 \times 10^5 \times 14.1 \times 10^6}\left(\frac{3 \times 1600}{6100} - 4\left(\frac{1600}{6100}\right)^3\right)$$

$$+ \frac{5 \times 0.98 \times 6.100^4}{384 \times 2 \times 10^5 \times 14.1 \times 10^6}$$

$= 2.42 + 6.27 = 8.69$ mm $(= \text{Span}/702)$ / ok.

ADOPT 180 × 75 PFC LINTEL (RL1)
8FE CLEATS 6FW 2/M12 BOLTS TO GS1

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Sheet No. 17
Job No. 131/98
Date 23.6.98.
Engr. AP

Project:

Upper Floor Beam (FB1)

Span : 3200 mm c/c.

Loads :

Floor	DL	0.50kPa × 5.70/2	= 1.43kN/m
	LL	1.50kPa × 5.70/2	= 4.28kN/m
SHW	DL.		= 0.11kN/m
			5.82kN/m

$M_{DL+LL} = 5.82 \times 3.20^2/8 = 7.45$ kN.m $R_{DL+LL} = 9.31$ kN.

Try 2/190×45 F17 SHW

$f_b = 7.45 \times 10^3 / 541.50 = 13.75$ MPa ✓ ok.

$$\delta_{LL} = \frac{5 \times 4.28 \times 3200^4}{384 \times 14000 \times 51.442 \times 10^6} = 8.11 \text{ mm}$$

(< Span/394) ✓ ok.

Adopt 2/190×45 F17 SHW (FB1)

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Sheet No. 18
Job No. 131/00
Date 22.6.00
Engr. AJF

Project:

Upper Wall Bracing :

$V_z = 41 ms^{-1}$

East - West Walls :

$A = (6.20 \times 1.15) + (5.00 \times 2.40/2)$
$= 7.13 + 6.96$
$= 14.09 m^2$.

→ 2 Type 'B' Bracing Units

North - South Walls :

$A = (1/2 \times 6.20 \times 0.00) + (0.20 \times 6.20) + (5.20 \times 2.40/2)$
$= 2.48 + 1.24 + 6.36$
$= 10.08 m^2$.

→ 2 Type 'B' Bracing Units.

Middle Wall Bracing :

East - West Walls :

$A = 14.09 + (5.00 \times 2.40/2) + (1.50 \times 1.00) + (6.00 \times (0.40 + 2.40/2))$
$= 14.09 + 6.96 + 1.50 + 10.00$
$= 33.43 m^2$.

→ 7.4 Type 'B' Bracing Units.

North - South Walls :

$A = 10.08 + (10.90 \times 1.65) + (5.30 \times (0.40 + 2.40/2)) + (4.00 \times 0.85)$
$+ (20.10 \times 2.40/2)$
$= 10.08 + 17.99 + 8.48 + 3.40 + 24.12$
$= 64.07 m^2$.

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Project:

Sheet No. 19
Job No. 131/98
Date 22.6.98
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MIDDLE WALL BRACING: (CONTD)

→ 15.0 TYPE 'B' BRACING UNITS

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Consulting Engineers and Project Managers

Form 13

Building Act 1993

BUILDING REGULATIONS 1994

Regulation 15.7(2)

CERTIFICATE OF COMPLIANCE - DESIGN

To:

Relevant Building Surveyor: .....

Postal Address: .....

From:

Building Practitioner: John Fitzgerald Category/Class: Civil Engineer

Postal Address: 2/360 Main Street, Mornington, 3931

I certify that the part of the design described as:

Structural Calculations and Structural Drawings for Proposed Alterations & Additions to Residence –3 Penny Lane, McCrae.

complies with the following provisions of the Regulations:

Building Code of Australia and the relevant Australian Standards

Design Documents

Structural Drawings: 131/98 A4 Sheets A-I	Prepared by: Tony Pingiaro	Date June 98
Structural Calculations: 131/98 Sheets 1-19	Prepared by: Tony Pingiaro	Date June 98
Architectural Drawings: Sheets 1 & 2	Prepared by Longbeach Drafting	Date May 98

Test Reports, accreditations, other documentation:

Geotechnical Report RM0997-98 (CivilTest Pty. Ltd.) (15/6/98)

Signature:

Signed Building Practitioner..... Personal Information .....Registration No: EC-1250

Date: 26/6/98

Irrelevant & Sensitive

John Fitzgerald
Consulting Engineers
and Project Managers

Form 13

Building Act 1993

BUILDING REGULATIONS 1994

Regulation 15.7(2)

RECEIVED 21/7/98

CERTIFICATE OF COMPLIANCE - DESIGN

To:

Relevant Building Surveyor: .....

Postal Address: .....

From:

Building Practitioner: John Fitzgerald Category/Class: Civil Engineer

Postal Address: 2/360 Main Street, Mornington, 3931

I certify that the part of the design described as:

Structural Calculations and Structural Drawings for Proposed Retaining Walls –3 Penny Lane, McCrae

complies with the following provisions of the Regulations:

Building Code of Australia and the relevant Australian Standards

Design Documents

Structural Drawings: 131/98 A4 Sheet J	Prepared by: Tony Pingiaro	Date July 98
Structural Calculations: 131/98 Sheets 20-22	Prepared by: Tony Pingiaro	Date July 98

Test Reports, accreditations, other documentation:

Geotechnical Report RM0997-98 Prepared by CivilTest Pty. Ltd. (15/6/98)

Signature:

Personal Information

Signed Building Practitioner..... .....Registration No: EC-1250

Date: 10/7/98

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Consulting Engineers
and Project Managers.

STRUCTURAL CALCULATIONS AND DETAILS

PROPOSED ALTERATIONS & ADDITIONS TO RESIDENCE

3 PENNY LANE,

MC CRAE.

26th June, 1998

131/98

John Fitzgerald
Consulting Engineers
and Project Managers.

STRUCTURAL CALCULATIONS AND DETAILS

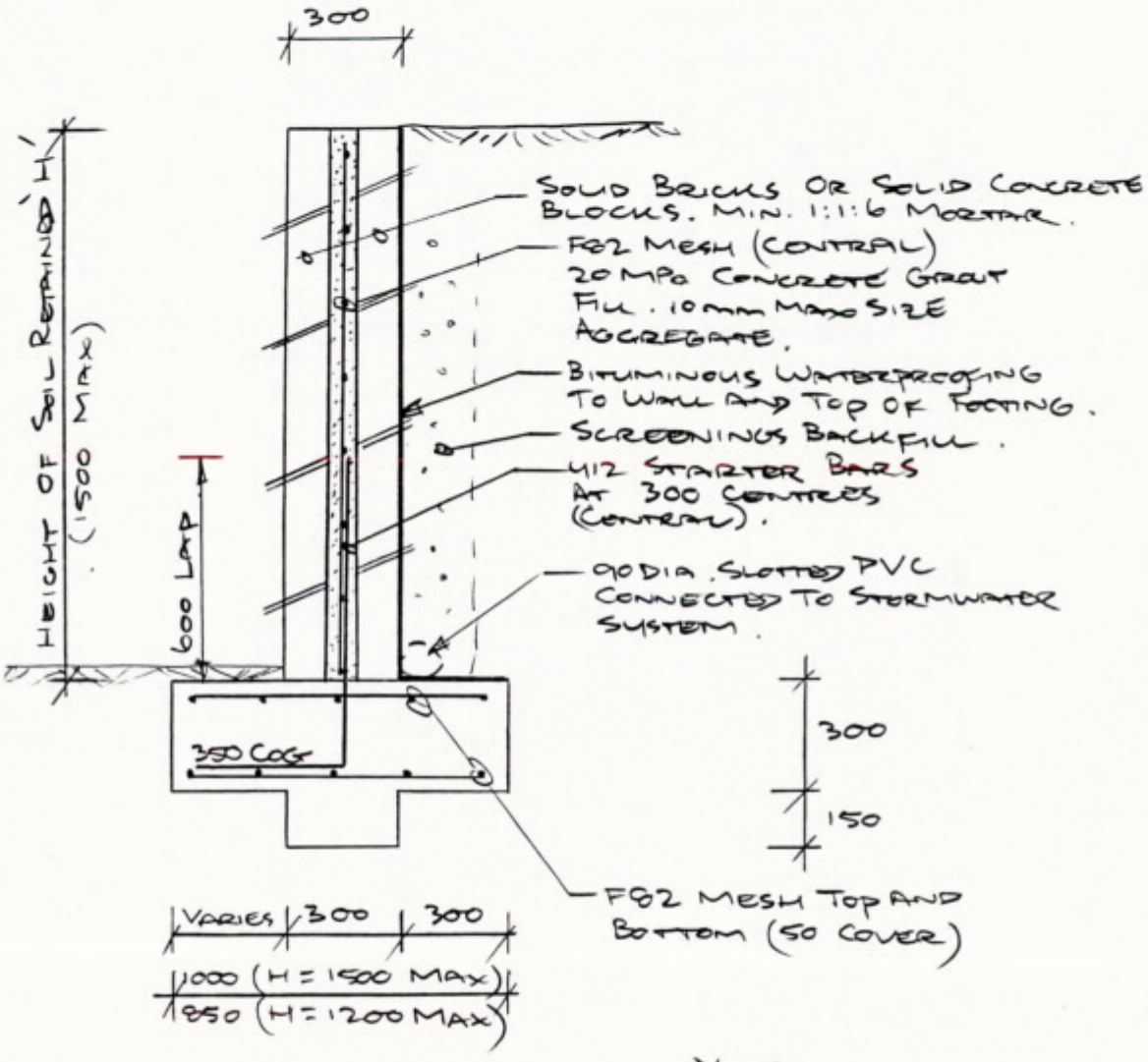
PROPOSED RETAINING WALLS

3 PENNY LANE,

MC CRAE

10th July, 1998 **131/98**

REINFORCED MASONRY RETAINING WALL DETAILS :



TYPICAL SECTION

NOTE :

ALL PAD FOOTINGS BEHIND RETAINING WALLS TO BE FOUNDED MIN. 100mm BELOW LINE DRAWN AT 30° TO HORIZONTAL FROM BASE OF RETAINING WALL FOOTING.

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Project: REINFORCED MASONRY RETAINING WALL DETAILS
PROPOSED ALT. AND ADDIT. TO RESIDENCE
3 PENNY LANE
McCRAE

Sheet No: J
Job No: 131/98
Date: 10.7.98
Engr: AP.

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A.C.N. 006 358 489

Sheet No. 20
Job No. 131/98
Date 10.7.98
Engr. AP

Project:

REINFORCED MASONRY RETAINING WALLS:

$\gamma = 20\ kN/m^3$

$K_a = 0.406$ $K_p = 3.50$

- No Surcharge Loading.

Max. Height of Soil Retained : 1500 mm

Wall:

$M^* = (0.406 \times 20 \times 1.50^3/6) \times 1.50 = 6.85\ kN.m/m$

For 300 Reinforced Blockwork Wall
Solid Blocks
N12 Starter Bars @ 300 centres (Central) ($A_{st} = 367\ mm^2/m$)
$d = 150$ mm.

$\therefore M_d\ (Max) = 0.90 \times 400 \times 367 \times 150 \left(1 - \frac{0.60 \times 400 \times 367}{(1.30 \times 5.40) \times 1000 \times 150}\right) \times 10^{-6}$

$= 14.12\ kN.m/m$ ✓ ok

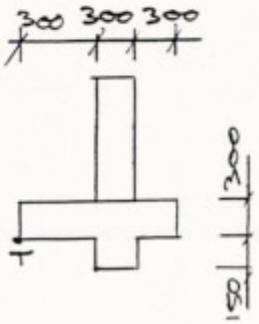
Footing:

- About Toe:

$M_o/t = 0.406 \times 20 \times 1.80^3/6 = 7.89\ kN.m/m$

Reqd. Resist. $= 1.88 \times 7.89 = 14.83\ kN.m/m$.

Try 900 Wide × 300 Deep Footing:



AVAILABLE RESISTANCE:

Ret. Wall	DL	$23 \times 0.18 \times 1.50$	$= 6.21\ kN/m$
Ret. Wall	DL.	$24 \times 0.12 \times 1.50$	$= 4.32\ kN/m$
Footing	DL	$24 \times 0.30 \times 0.90$	$= 6.48\ kN/m$
Soil	DL.	$20 \times 0.30 \times 1.50$	$= 9.00\ kN/m$
Key	DL	$24 \times 0.30 \times 0.15$	$= 1.08\ kN/m$

$M_{Resist} = (6.21 + 4.32) \times 0.45 + (6.48 \times 0.45) + (9.00 \times 0.75) + (1.08 \times 0.45)$

$= 4.74 + 2.92 + 6.75 + 0.49 = 14.90\ kN.m/m$ ✓ ok

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Sheet No. 21
Job No. 131/98
Date 10.7.98
Engr. AP

Project:

REINFORCED MASONRY RETAINING WALLS : (CONTD.)

Sliding :

$P_{SLIDING} = 0.406 \times 20 \times 1.50^2/2 = 9.14$ kN/m

AVAIL. RESISTANCE :

$P_{RESIST} = (0.45(6.21 + 4.32 + 6.48 + 9.00 + 1.08)) + (3.50 \times 20 \times 0.45^2/2)$

$= 12.19 + 7.09 = 19.28$ kN.

F/S = 19.28/9.14 = 2.1 ✓ OK.

Max. Height of Soil Retained : 1200 mm

Footing :

-o/t About Toe :

$M_{o/t} = 0.406 \times 20 \times 1.50^3/6 = 4.57$ kN.m/m

Reqd. Resistance $= 1.08 \times 4.57 = 8.59$ kN.m/m

Try 750 wide x 300 Deep Footing :

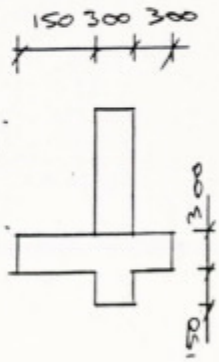
AVAILABLE RESISTANCE :

Ret. Wall	DL.	$23 \times 0.18 \times 1.20$	$= 4.97$ kN/m
Ret. Wall	DL.	$24 \times 0.12 \times 1.20$	$= 3.46$ kN/m
Footing	DL.	$24 \times 0.30 \times 0.75$	$= 5.40$ kN/m
Soil	DL.	$20 \times 0.30 \times 1.20$	$= 7.20$ kN/m
Key	DL	$24 \times 0.30 \times 0.15$	$= 1.08$ kN/m

$M_{RESIST} = ((4.97 + 3.46) \times 0.30) + (5.40 \times 0.75/2) + (7.20 \times 0.60) + (1.08 \times 0.30)$

$= 2.53 + 2.03 + 4.32 + 0.32$

$= 9.20$ kN.m/m ✓ OK.



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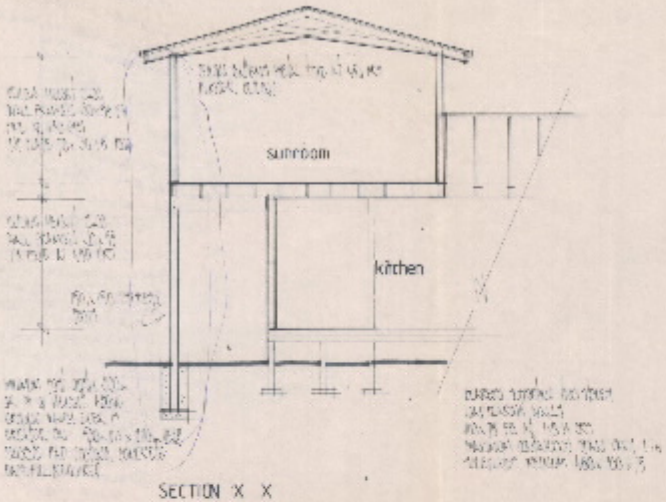
Sheet No. 22
Job No. 131/98
Date 10.7.98.
Engr. AF

Project:

REINFORCED MASONRY RETAINING WALLS (CONTD.)

ADOPT 300 REINFORCED BRICKWORK OR BLOCKWORK RETAINING WALLS TO 1500 MAX. HEIGHT SOIL RETAINED
SOLID BRICKS OR SOLID CONCRETE BLOCKS
N12 STARTER BARS AT 300 CENTRES CENTRAL TO WALL & 600 LAP.
F82 MESH TO WALL (CENTRAL)
300 DEEP x 1000 WIDE FOOTING TO 1500 MAX. HEIGHT WALL. F82 MESH TOP AND BOTTOM (50 COVER)
300 DEEP x 950 WIDE FOOTING TO 1200 MAX. HEIGHT WALL. F82 MESH TOP AND BOTTOM (50 COVER)
300 WIDE x 450 O/A DEEP KEY DIRECTLY BELOW WALL (TYPICAL)
20 MPa CONCRETE

360 main street
mornington 3931
phone (03) 5975 5100
(03) 5975 9177
fax (03) 5975 9564



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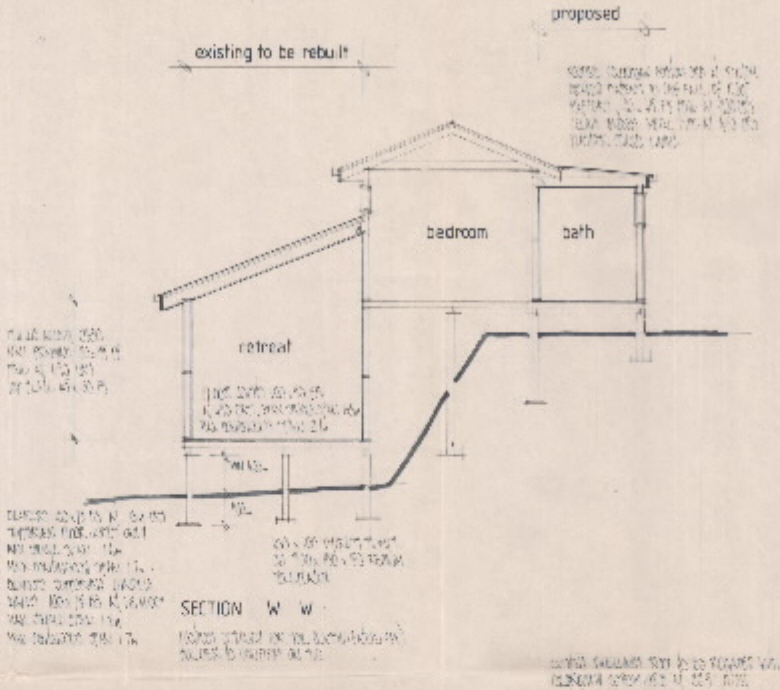

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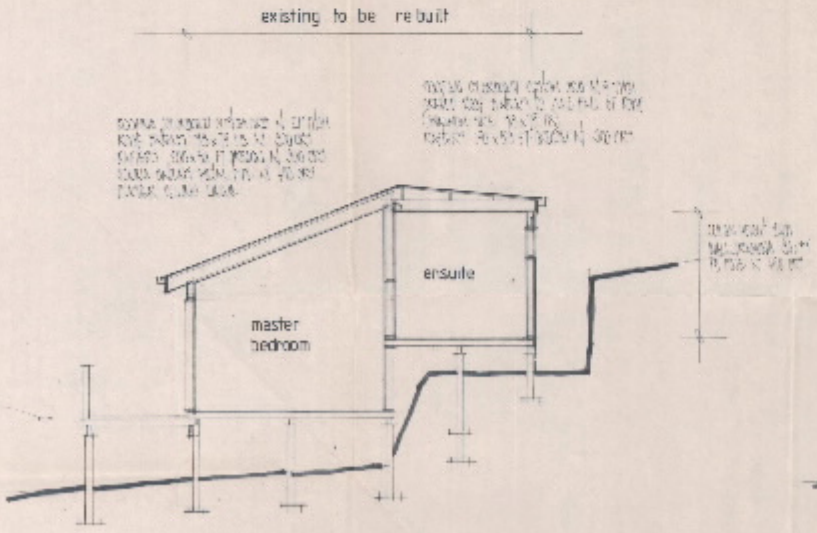

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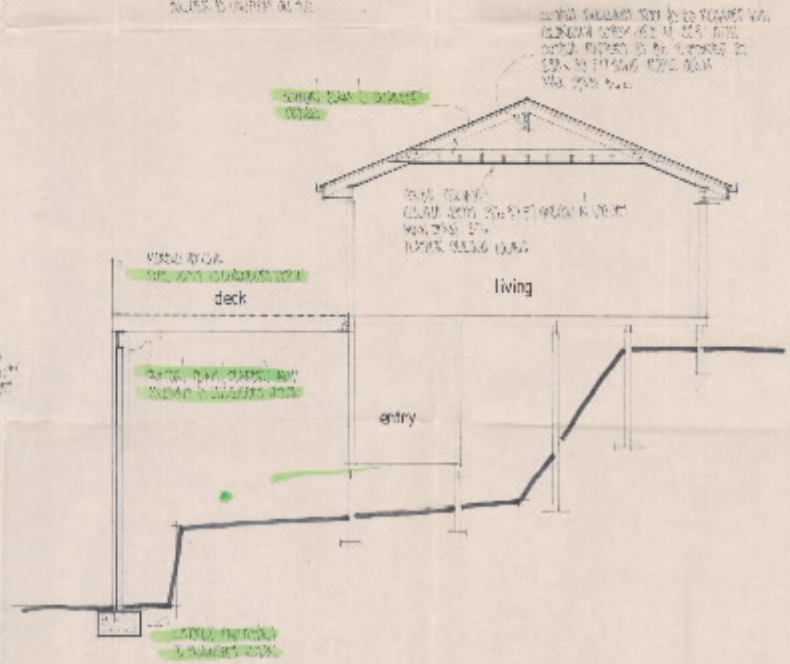


SECTION Z Z

proposed alterations at
3 PENNY LANE
Mc CRAE
for
Mr & Mrs F DIMOPOLOUS

longbeach drafting

addition

existing to be demolished and re-built

addition

lintel schedule

deck

sunroom

dp

dp

UPPER FLOOR PLAN

NORTH ELEVATION

max ball height to n.g.l 8m

WEST ELEVATION

deck

bed

bath

laundry

wc

bed

SOUTH ELEVATION

MIDDLE FLOOR PLAN

lintel schedule

existing to be demolished and re-built

deck

dp

basement

entry

store

retreat

master bedroom

ens

dp

EAST ELEVATION

POINT NEPEAN ROAD

PENNY LANE

1.5m

SITE PLAN

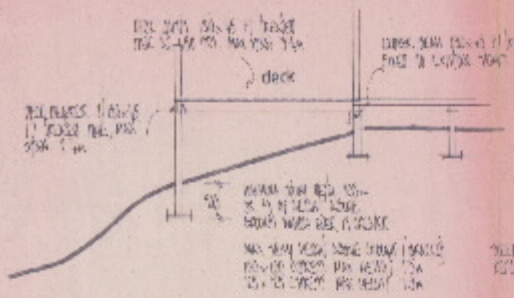
LOWER FLOOR PLAN

lintel schedule

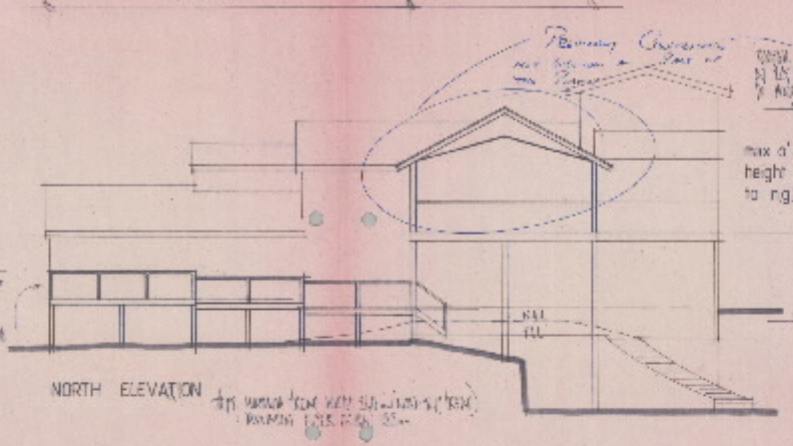
NOTES

proposed alterations at
3 PENNY LANE
Mc CRAE
for
Mr & Mrs F DIMOPOLOUS

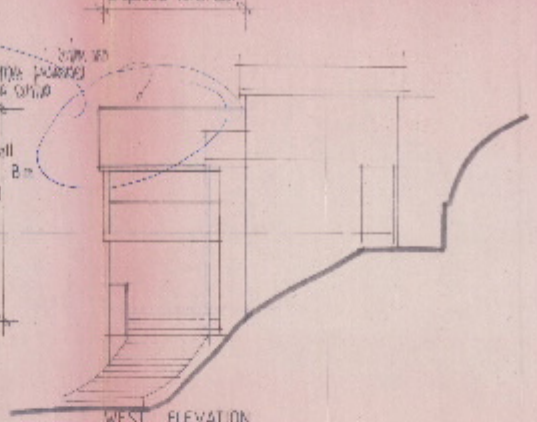
longbeach drafting



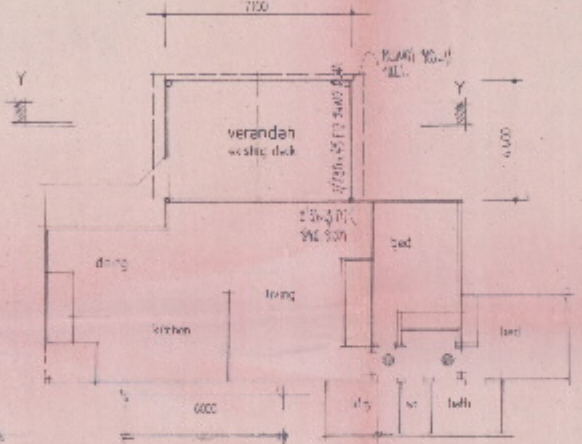
SECTION X X



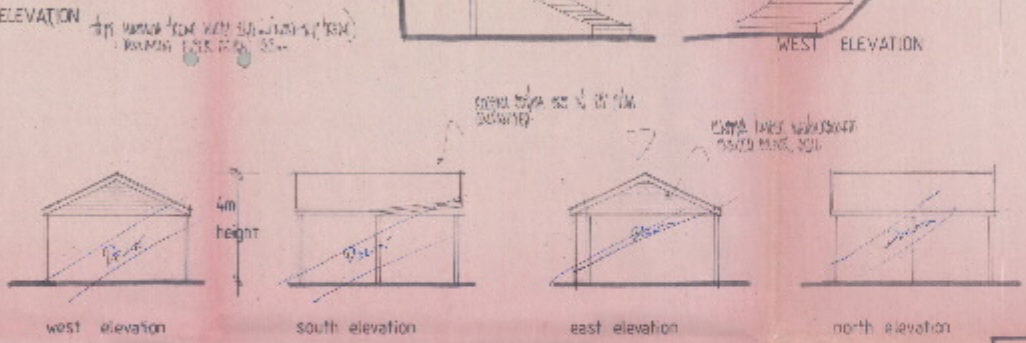
NORTH ELEVATION



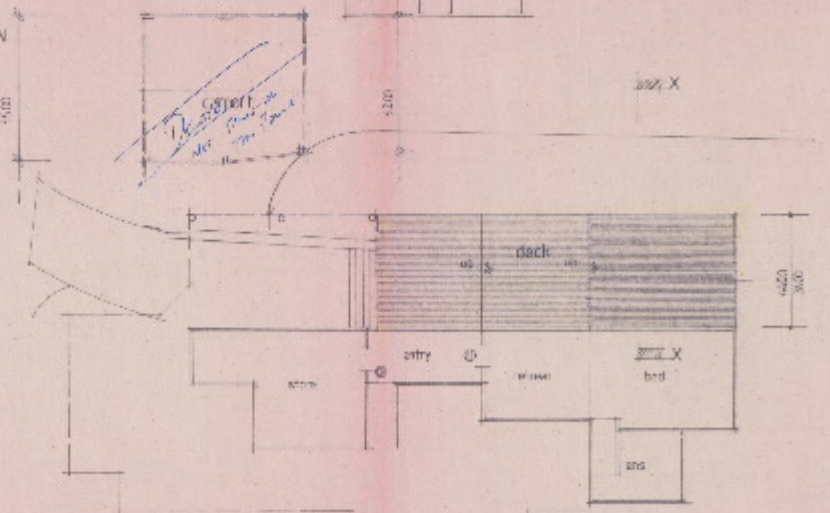
WEST ELEVATION



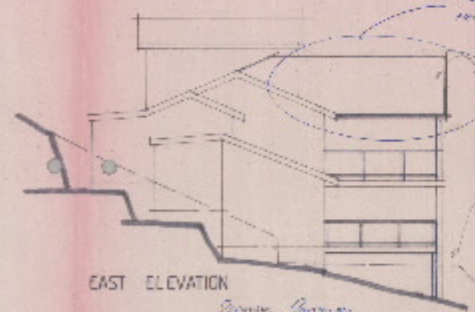
FLOOR PLAN



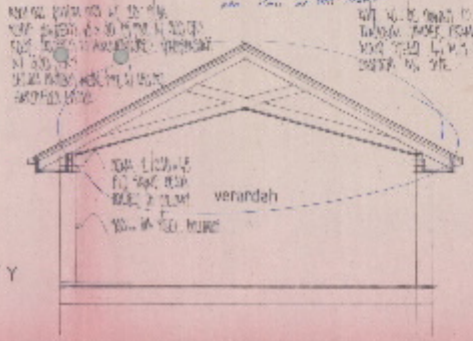
west elevation | south elevation | east elevation | north elevation



LOWER FLOOR PLAN



EAST ELEVATION



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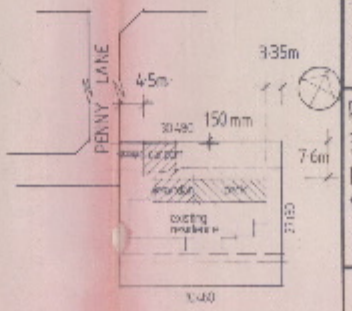


SITE PLAN

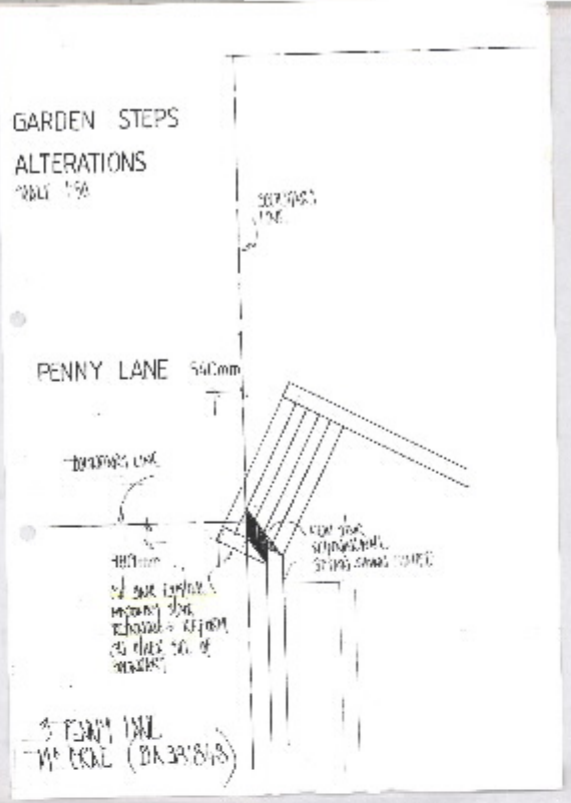
NOTES

proposed additions at
3 PENNY LANE
Mc CRAE
for
Mr & Mrs F DIMOPOLOUS

longbeach drafting

GARDEN STEPS

ALTERATIONS

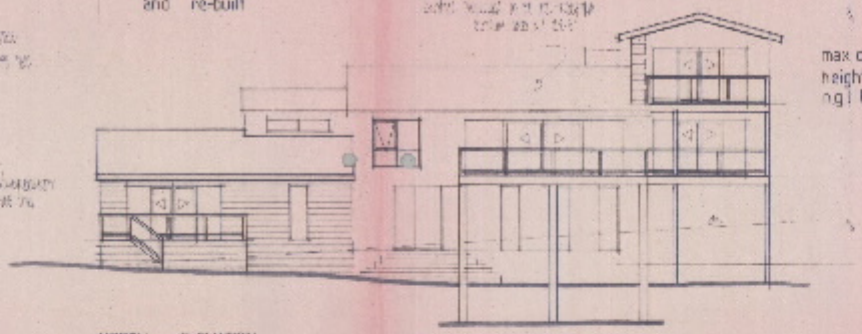


addition

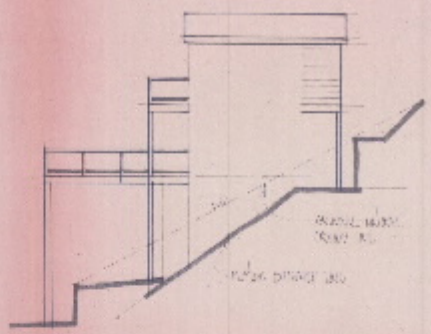
addition

existing to be demolished and re-built

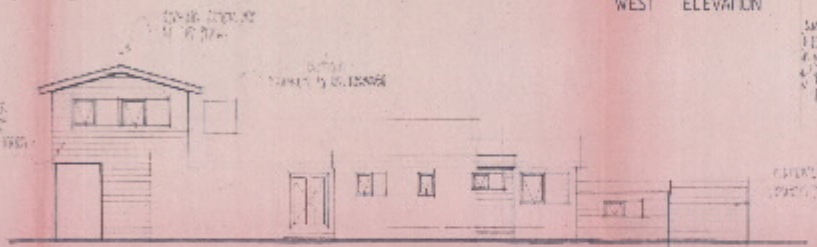
max o/all height to n.g.l



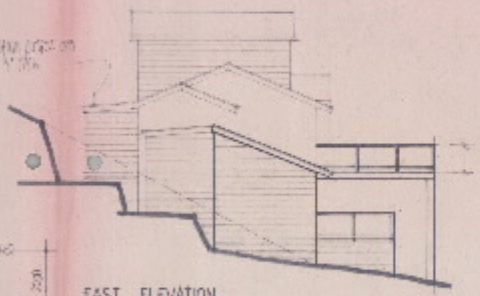
NORTH ELEVATION



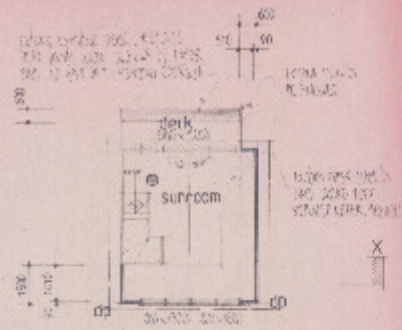
WEST ELEVATION



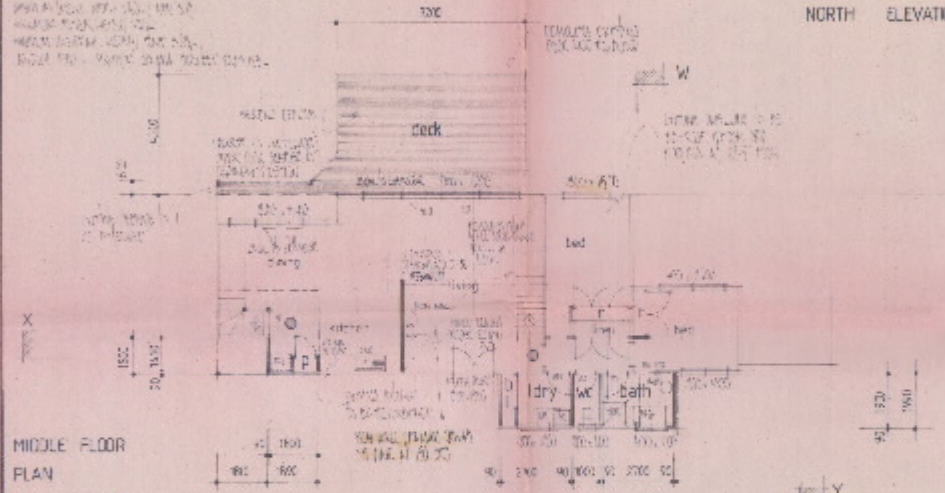
SOUTH ELEVATION



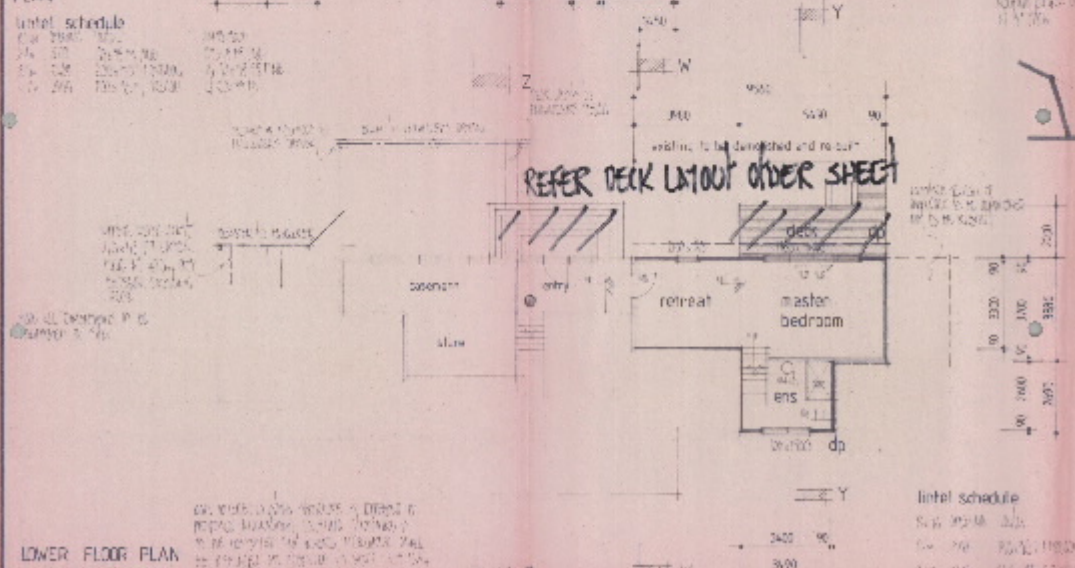
EAST ELEVATION



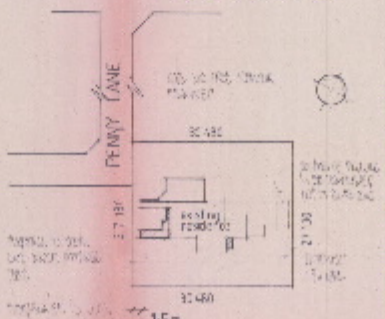
UPPER FLOOR PLAN



MIDDLE FLOOR PLAN



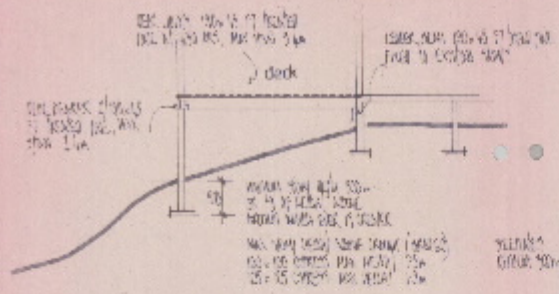
LOWER FLOOR PLAN



SITE PLAN

proposed alterations at
3 PENNY LANE
Mc CRAE
for
Mr & Mrs F DIMOPOLOUS

longbeach drafting



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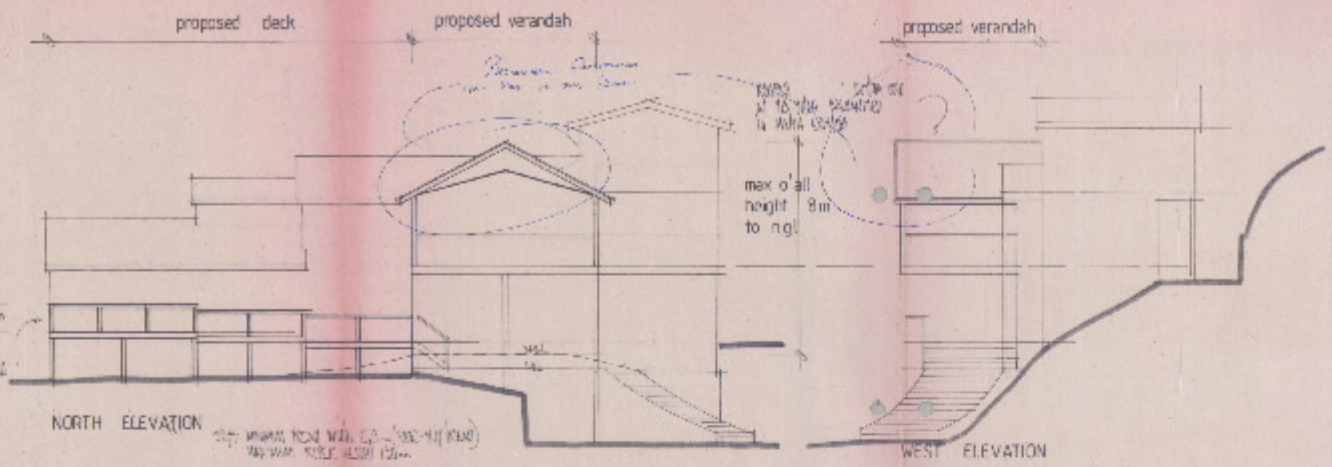
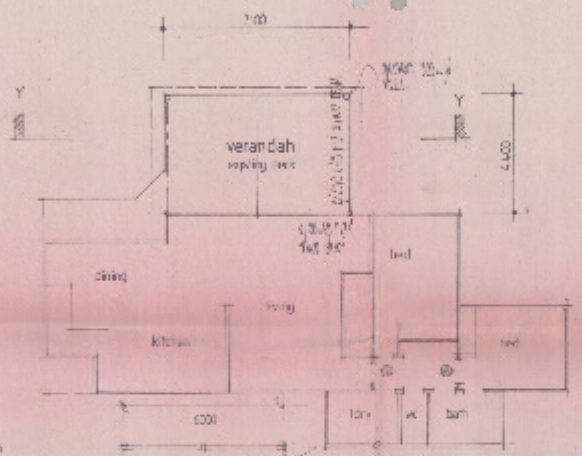
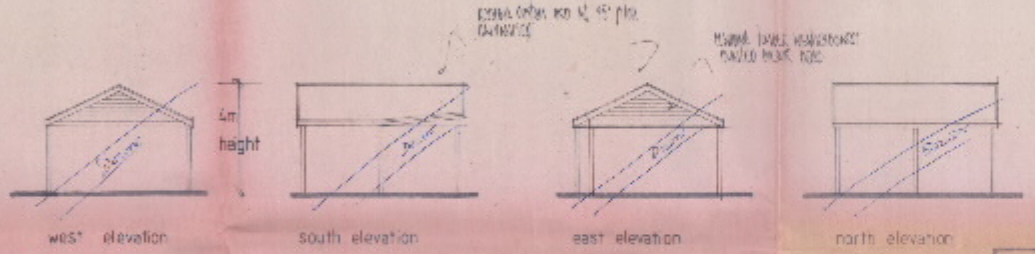


NORTH ELEVATION

WEST ELEVATION



FLOOR PLAN

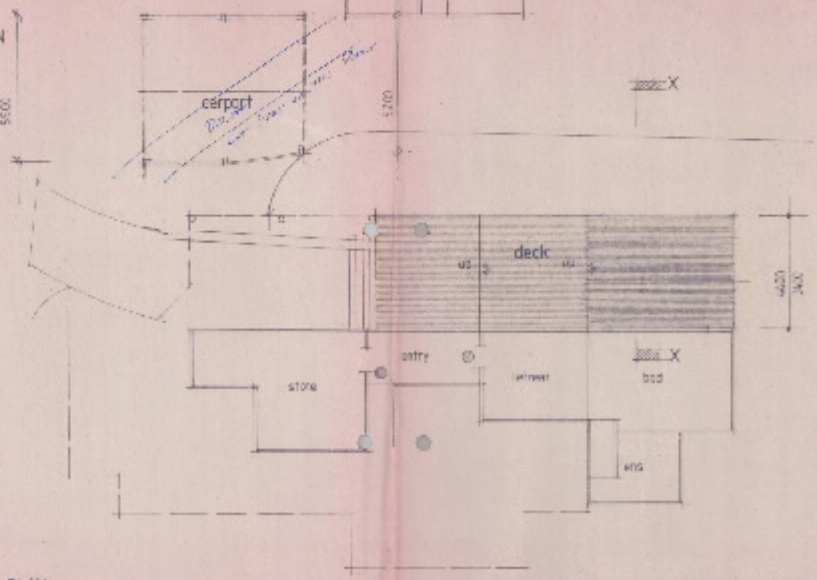


west elevation

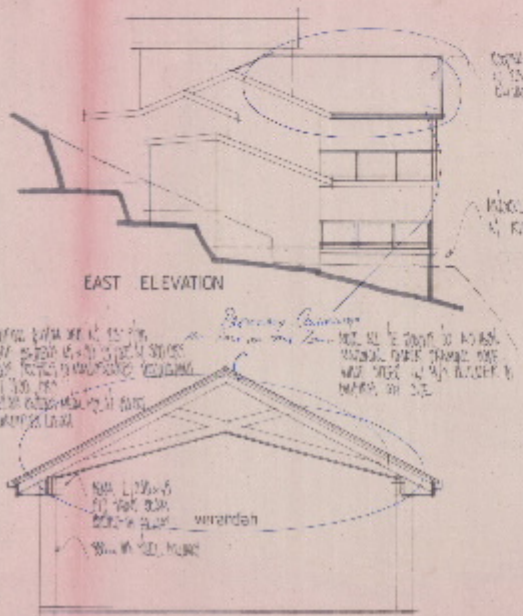
south elevation

east elevation

north elevation

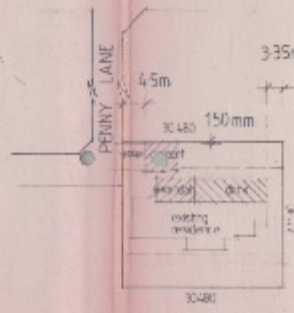


LOWER FLOOR PLAN



EAST ELEVATION

SECTION Y Y



JOINT NEPEAN ROAD

SITE PLAN

NOTES

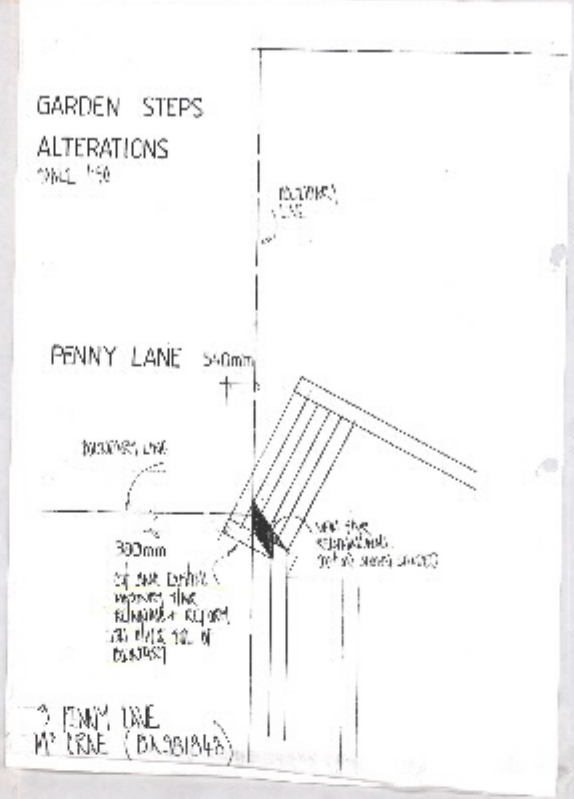
proposed additions at
3 PENNY LANE
Mc CRAE
for
Mr & Mrs F DIMOPOLOUS

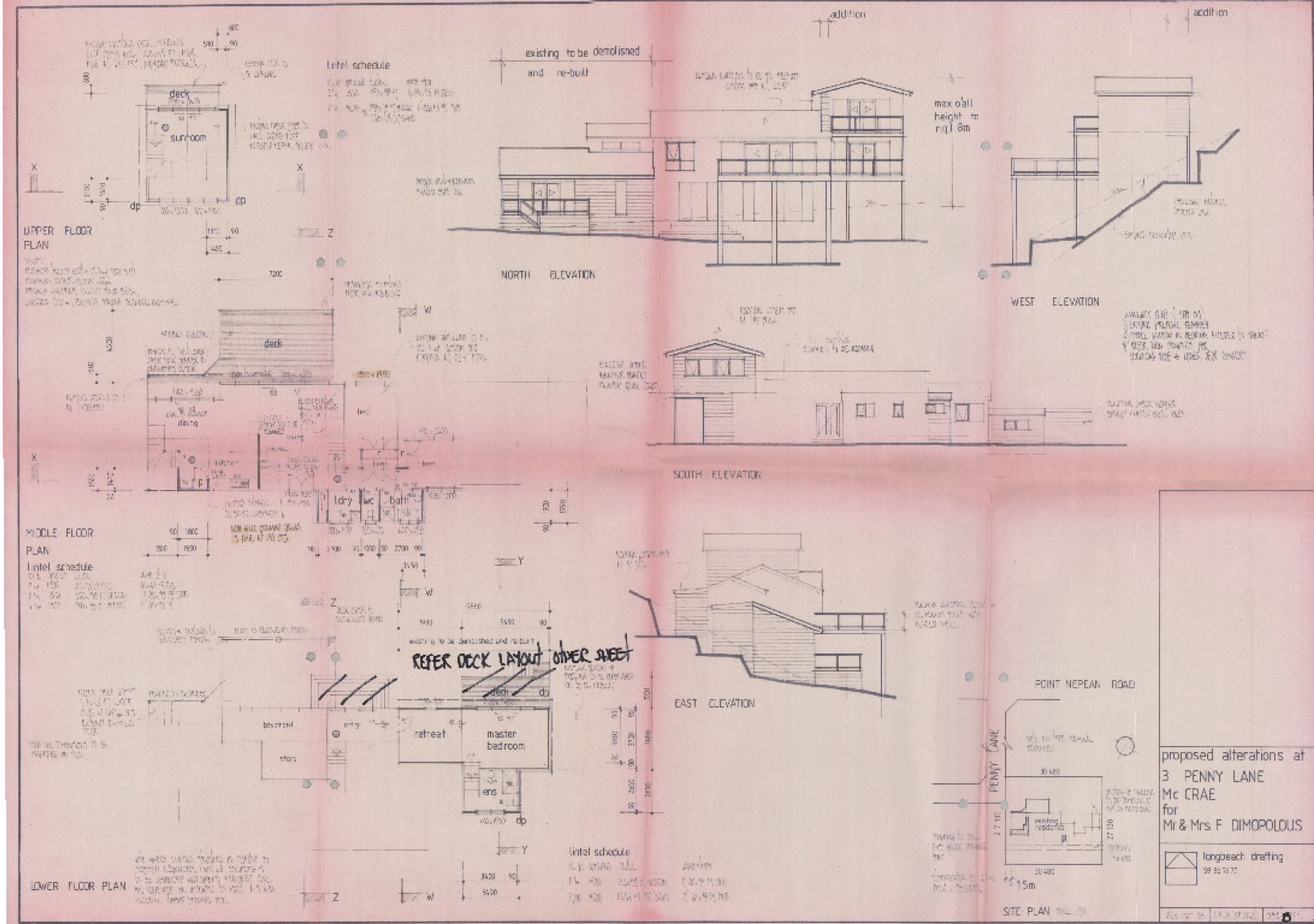
longbeach drafting

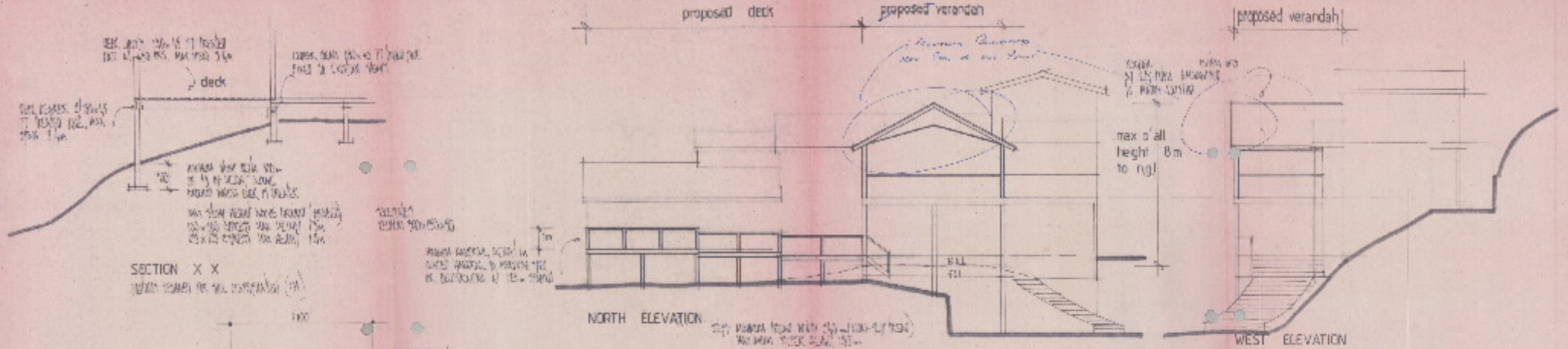
GARDEN STEPS

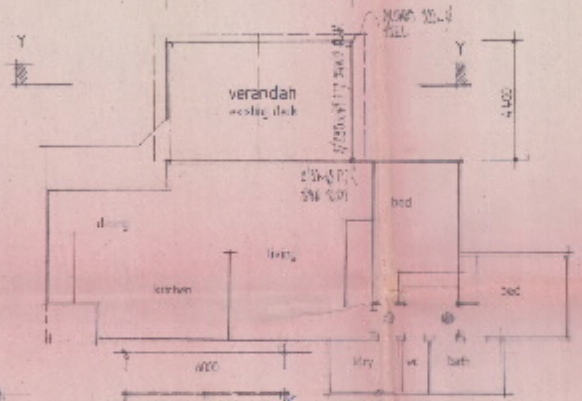
ALTERATIONS

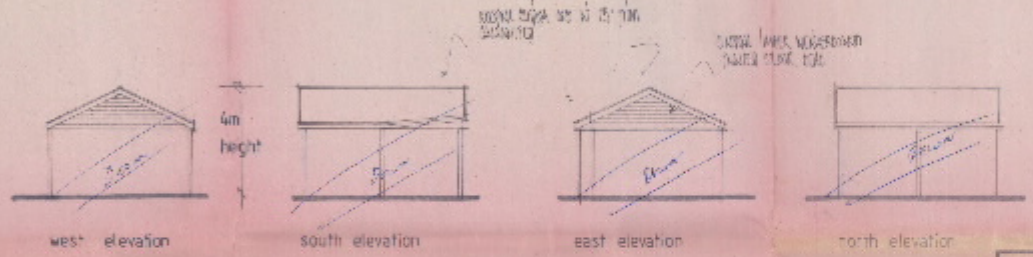
PENNY LANE

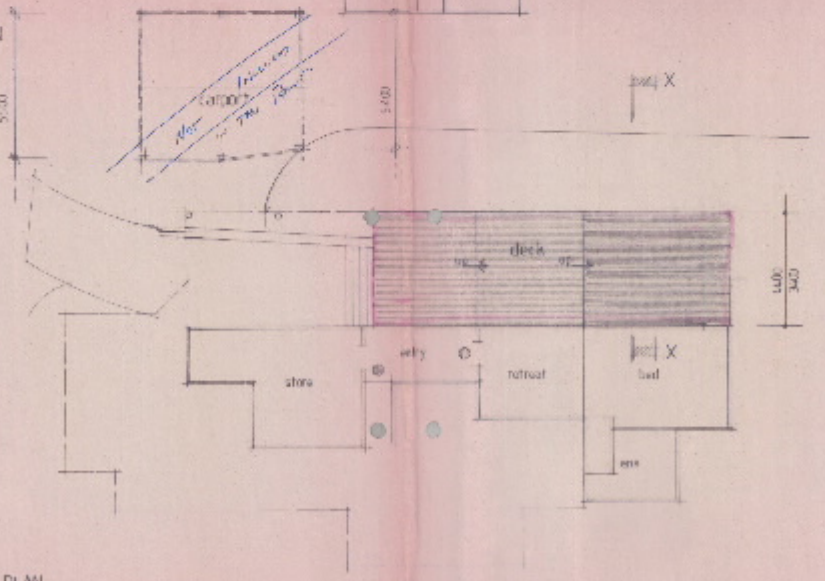


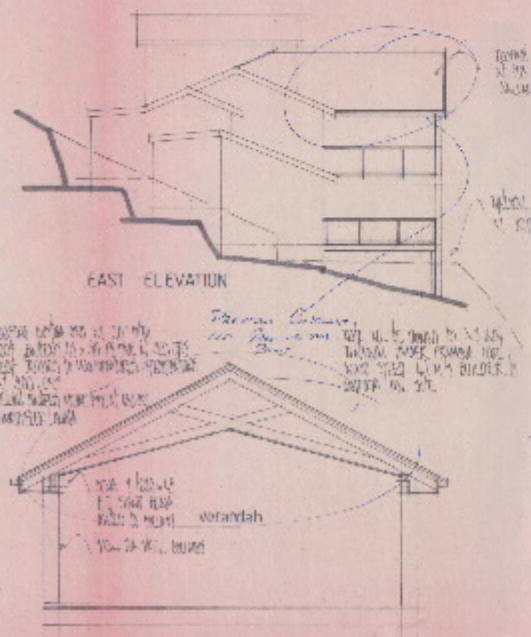

existing to be demolished and re-built
addition
lintel schedule
deck
sunroom
UPPER FLOOR PLAN
NORTH ELEVATION
WEST ELEVATION
max o'all height to n.g.l 8m
deck
dining
kitchen
ldry
wc
bath
MIDDLE FLOOR PLAN
lintel schedule
SOUTH ELEVATION
existing to be demolished and re-built
REFER DECK LAYOUT OTHER SHEET
deck
basement
store
entry
retreat
master bedroom
ens
LOWER FLOOR PLAN
lintel schedule
EAST ELEVATION
POINT NEPEAN ROAD
PENNY LANE
existing residence
15m
SITE PLAN
proposed alterations at
3 PENNY LANE
Mc CRAE
for
Mr & Mrs F DIMOPOLOUS
longbeach drafting

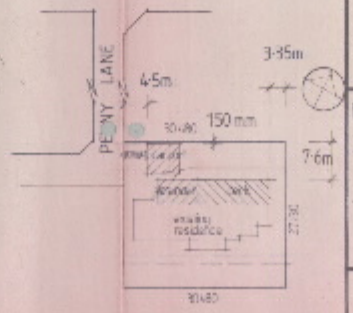












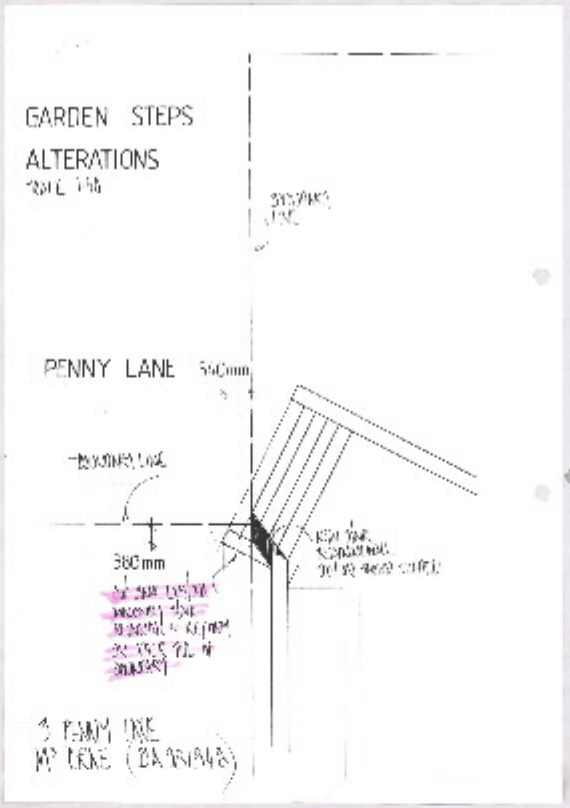
NOTES

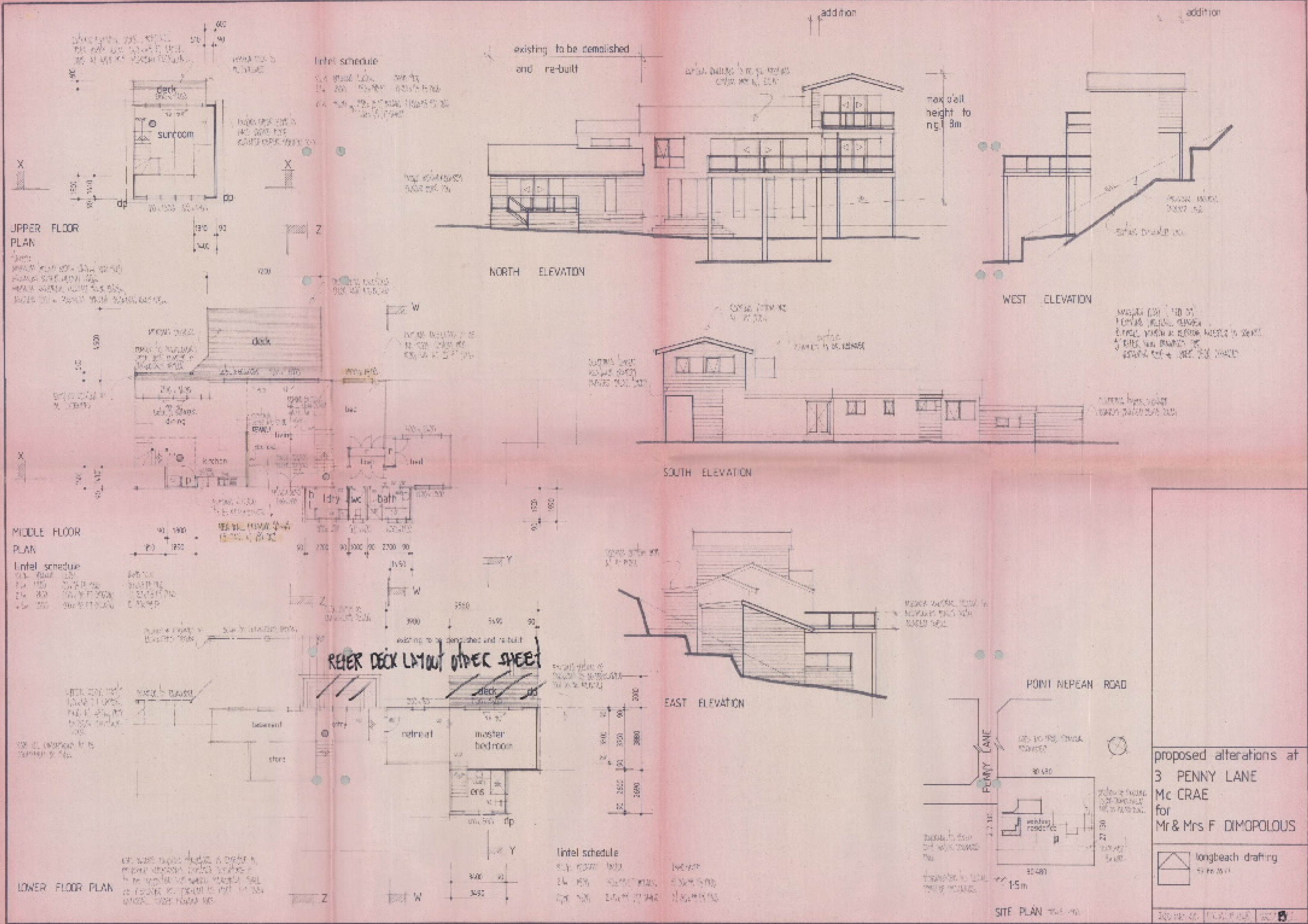
proposed additions at
3 PENNY LANE
Mc CRAE
for
Mr & Mrs F DIMOPOLOUS

longbeach drafting

GARDEN STEPS

ALTERATIONS





addition
addition
existing to be demolished and re-built
lintel schedule
deck
sunroom
UPPER FLOOR PLAN
max o'all height to ngl 8m
NORTH ELEVATION
WEST ELEVATION
deck
dining
kitchen
living
bed
bed
ldry
wc
bath
SOUTH ELEVATION
MIDDLE FLOOR PLAN
lintel schedule
existing to be demolished and re-built
REFER DECK LAYOUT OTHER SHEET
deck
basement
store
entry
retreat
master bedroom
ens
EAST ELEVATION
lintel schedule
LOWER FLOOR PLAN
POINT NEPEAN ROAD
PENNY LANE
existing residence
1.5m
SITE PLAN
proposed alterations at
3 PENNY LANE
Mc CRAE
for
Mr & Mrs F DIMOPOLOUS
longbeach drafting

MORNINGTON PENINSULA
Shire
ABN 53 159 890 143
Private Bag 1000
Besgrove Street
Rosebud 3939
www.mornpen.vic.gov.au
Tel 1300 850 600
Fax (03) 5986 6696
DX 30059

0411-787-641.

19 March, 2003

Mr F Dimopoulos
3 Penny Lane
McCRAE 3938

MORNINGTON PENINSULA Shire Council
RECEIVED
MAIN FILE
OFFICER/S
FYI

Dear Sir

RE: 3 PENNY LANE, MCCRAE – BA 981848

I refer to you submission of amended plans received on 14/3//03 detailing the proposed amendments to the dwelling and the submission of the survey undertaken by Watson P/L and received on 18/3//03 for the above site and advise as follows.

I am willing to issue a new building permit for the building work still to be undertaken being-

1. Framing items

- Bearer ends and joins to be supported in the store & steps
- Tie top plates to studs/studs to sub-floor
- Provide tie downs to RB2/RB4 & RB5 as per engineering computations (page B)
- Nail ply bracing @ 50 mm centres top & bottom
- Amend all plans to show wall and window positions (submitted 24/2/03)
- Block under studs RB1 & RB2

2. Building work

- Completion of the timber decking adjacent to the entry, bedroom and retreat

3.

- Submission of the computations for the glazed balustrading including computations, from the manufacturer
- It would appear that the columns known as DC3 & DC5 exceed the design length of 6.9 metres considerably and amended engineering computations (with Form 13) will need to be submitted confirming their adequacy prior to the issue of the Occupancy permit

HAND DELIVERED MAIL

-1 APR 2003

The existing roofed area over the decking adjacent to the living room cannot be issued with a building permit as the work has been completed. You must expose all framing members and connections to enable inspection to be undertaken to ensure that compliance with the submitted engineering drawings is achieved.

Furthermore, from the survey submitted it is evident that portion of the entry stairs and retaining wall (masonry) have been constructed on the adjoining allotment. You are required to submit amended plans detailing the removal of all structures over the title boundary and proposed new replacement structures. The existing timber sleeper retaining wall may remain on the adjoining property provided written consent is received from the owner of the allotment agreeing to the current siting.

If you have any queries in regard to this matter please do not hesitate to contact me on (03) 5986 0160.

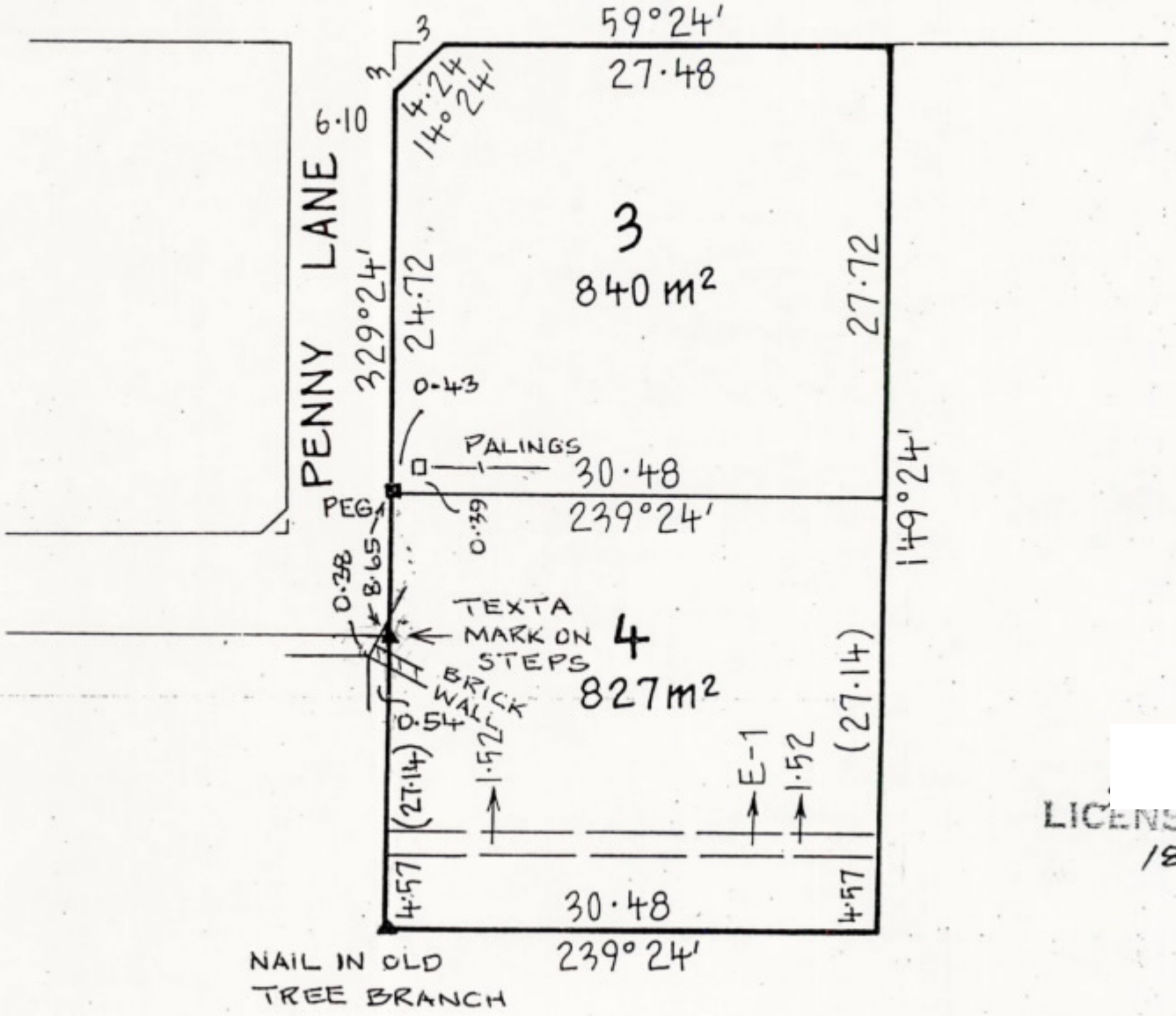
Yours faithfully,

Personal Information

Peter Phillips
MUNICIPAL BUILDING SURVEYOR

(Our ref: Land No. 44715)

POINT NEPEAN ROAD



Personal Information

LICENSED SURVEYOR
18·03·03

PTY. LTD.

NEERS
OWN PLANNERS

Upper Floor And Middle Roof Framing Plan.

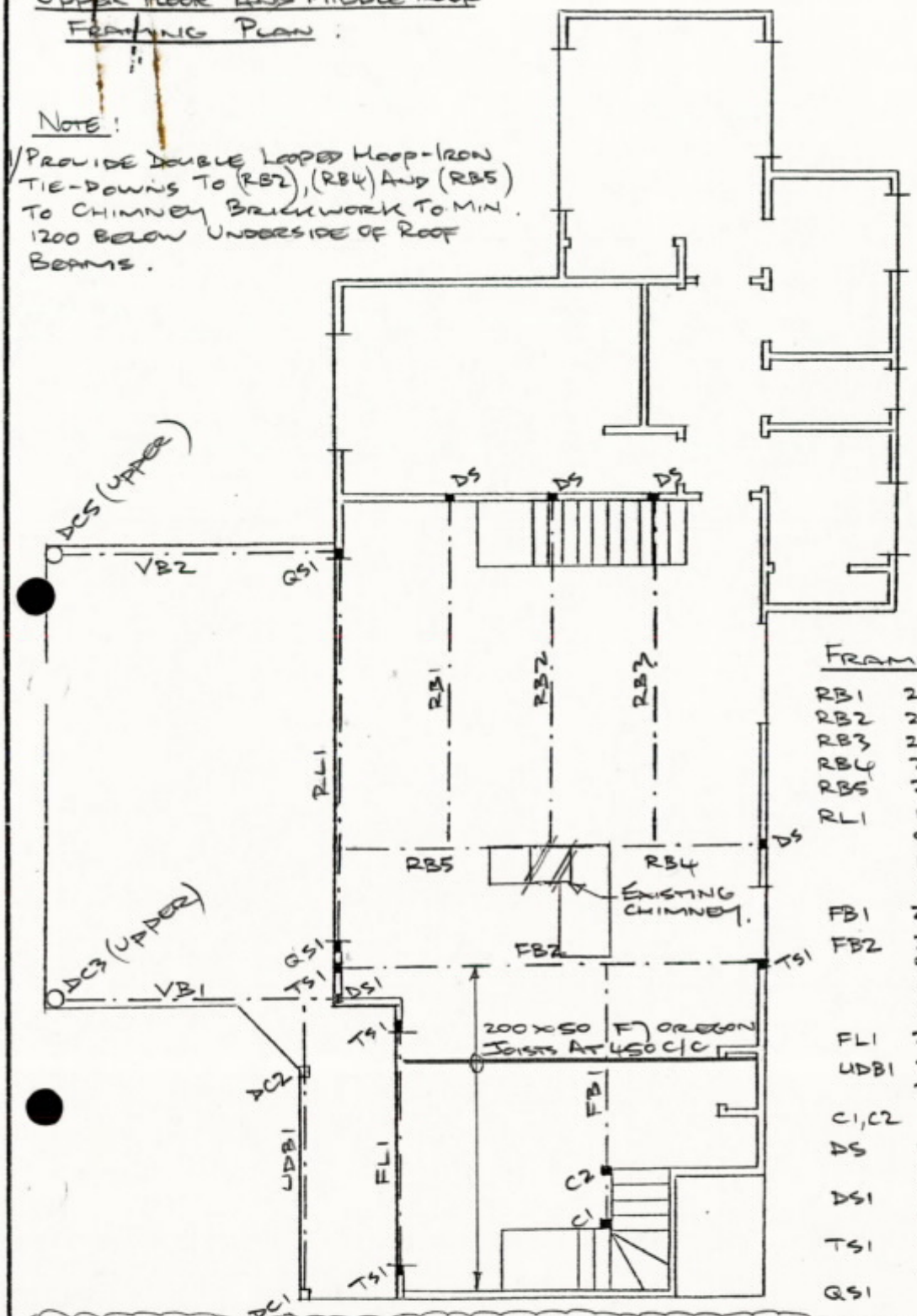
Note:

1/ Provide Double Looped Hoop-Iron Tie-Downs To (RB2), (RB4) And (RB5) To Chimney Brickwork To Min. 1200 Below Underside Of Roof Beams.

Note:

1/ All Roof And Wall Framing Tie-Downs To Be In Accord. With Timber Framing Manual Requirements For 41 ms^{-1} Design Wind Speed.

2/ Provide 2/30x0.8 GI Looped Straps 6/2.8 Dia. Galv. Flat Head Nails Each End Of Each Strap To Supporting Studs: (RB1)-(RB5) And (RL1), (VB1) And (VB2).



Framing Schedule

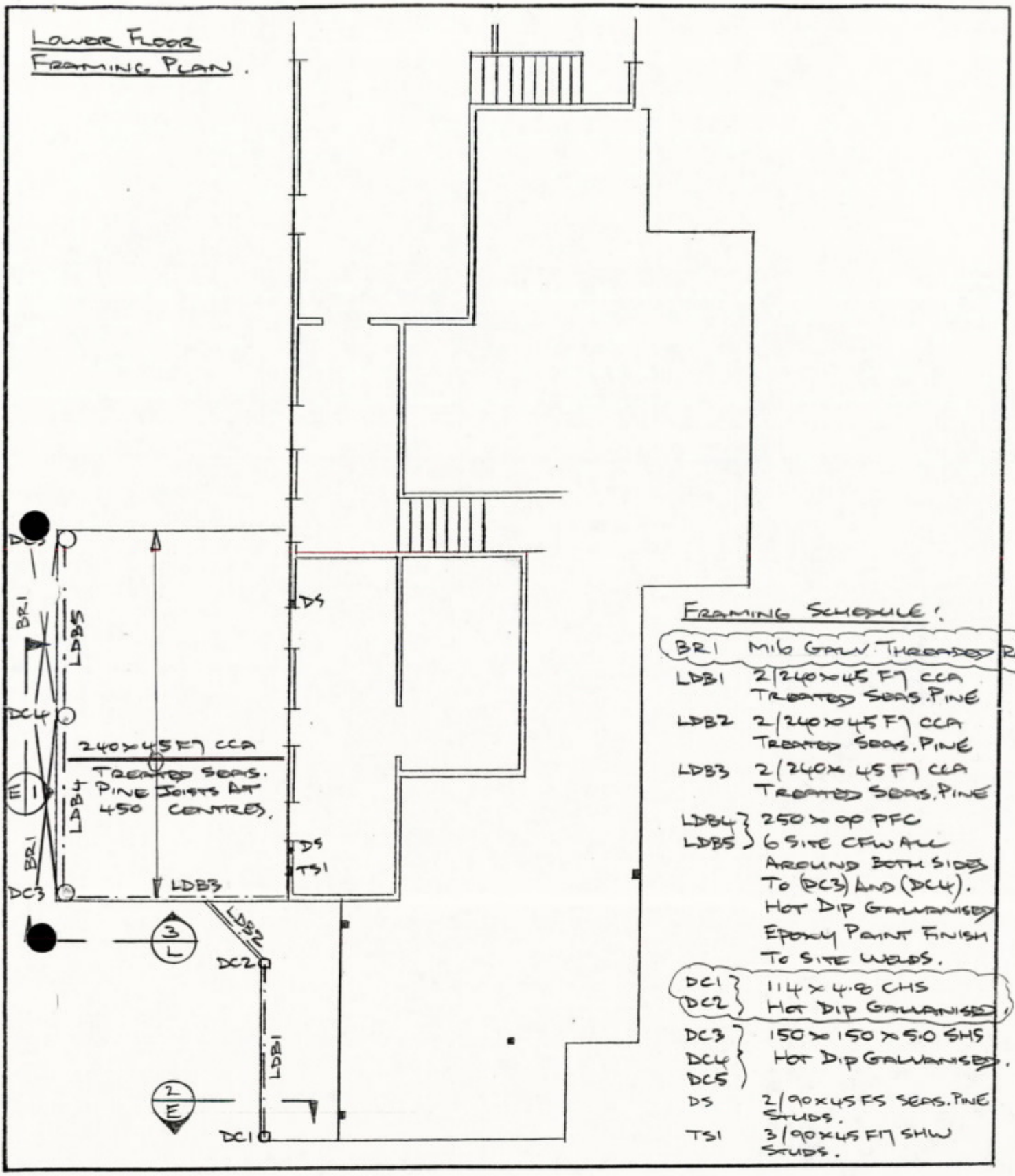
RB1	2/240x45 F17 SHW
RB2	2/240x45 F17 SHW
RB3	2/240x45 F17 SHW.
RB4	240x45 F17 SHW
RB5	240x45 F17 SHW
RL1	180x75 PFC & FL CLEATS. 6 CFW TO UNDERSIDE. 2/M12 BOLTS TO (RS1)
FB1	2/190x45 F17 SHW.
FB2	300x90 PFC & FL CLEATS. 6 CFW TO UNDERSIDE. 2/M12 BOLTS TO (TS1).
FL1	2/290x45 F17 SHW
UDB1	2/240x45 F7 CCA TREATED SEATS PINE.
C1, C2	100x100 F7 OREGON
DS	2/90x45 F5 SEATS PINE STUDS.
DS1	2/90x45 F17 SHW STUDS.
TS1	3/90x45 F17 SHW STUDS.
QS1	4/90x45 F17 SHW STUDS

VB1, VB2 2/290x45 F17 SHW. GALV. NAIL-LAMINATED,
DC3, DC5 (UPPER) 219x4.8 CHS. HOT DIP GALVANISED.
DC1, DC2 114x4.8 CHS HOT DIP GALVANISED.

John Fitzgerald Consulting Engineers

Project: Upper Floor And Middle Roof Framing Plan. Proposed Alterations To Residence 3 Penny Lane McCrae.

Sheet No: B
Job No: 131/98
Date: 22.6.98
Engr: A.P. Rev. A (6.1.99)

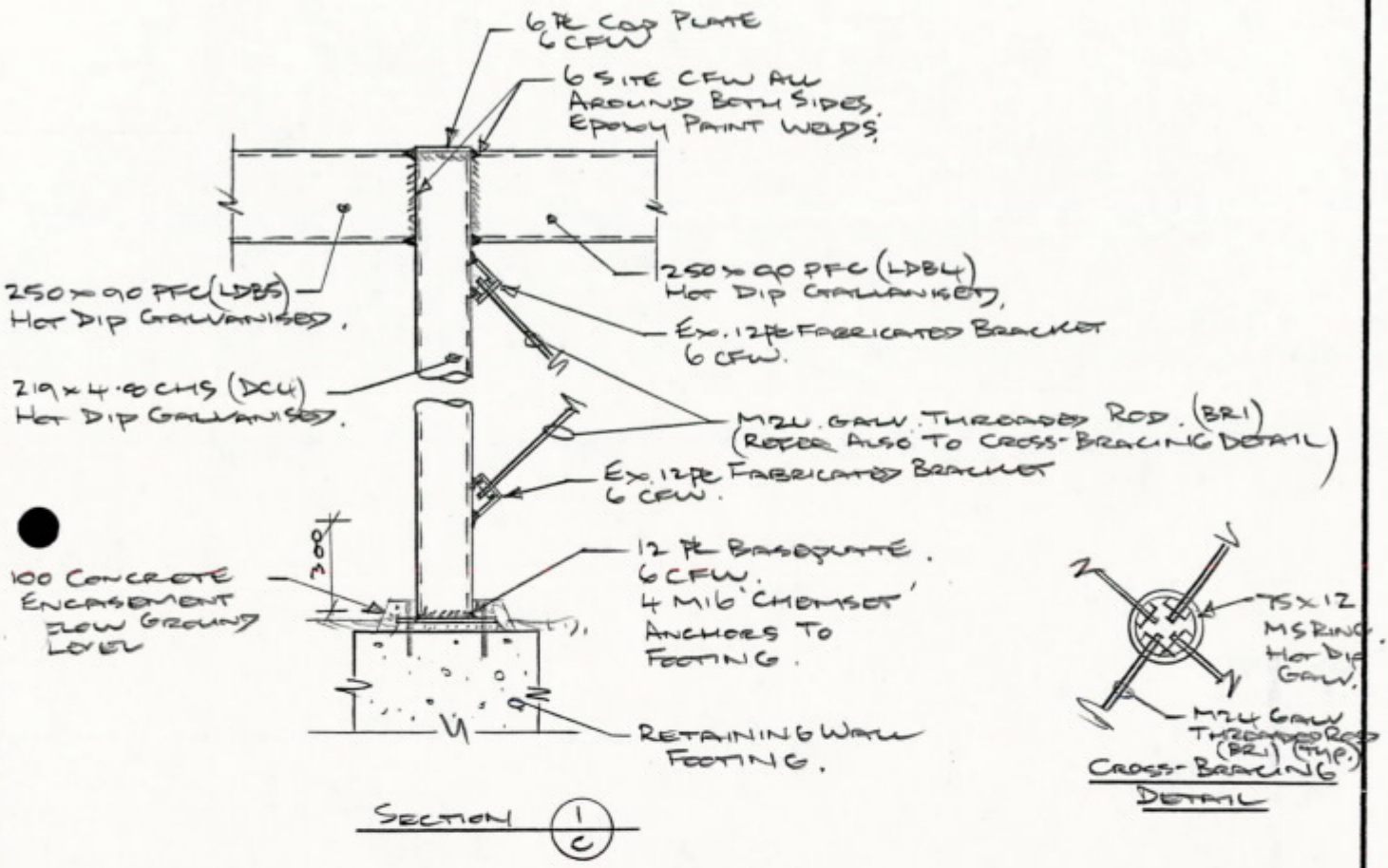


John Fitzgerald Consulting Engineers

Project: LOWER FLOOR FRAMING PLAN
PROPOSED ALTERATIONS TO RESIDENCE
3 PENNY LANE
MCCRAE.

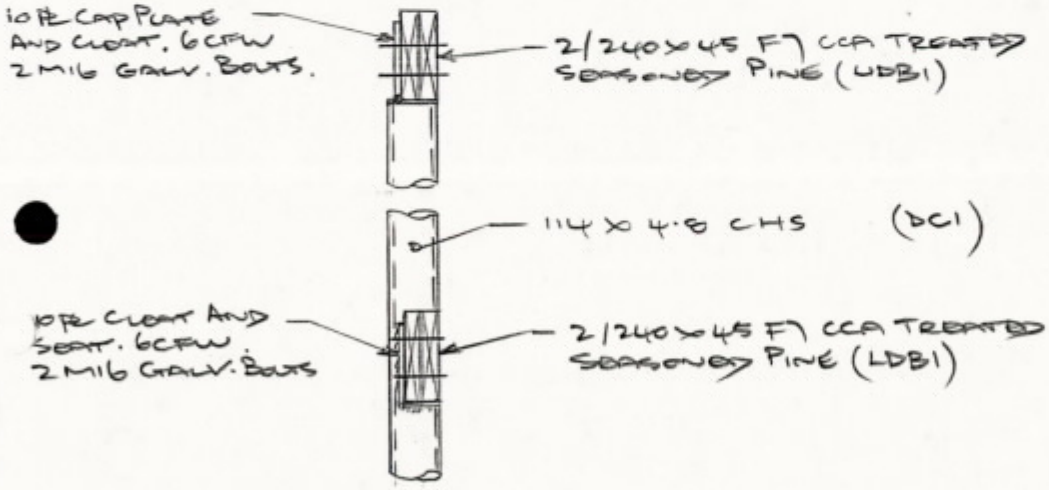
Sheet No: C
Job No: 131/98.
Date: 23.6.98
Engr: A.P. REV.A (6.1.99)

DECK FRAMING DETAILS:



SECTION 1/C

CROSS-BRACING DETAIL



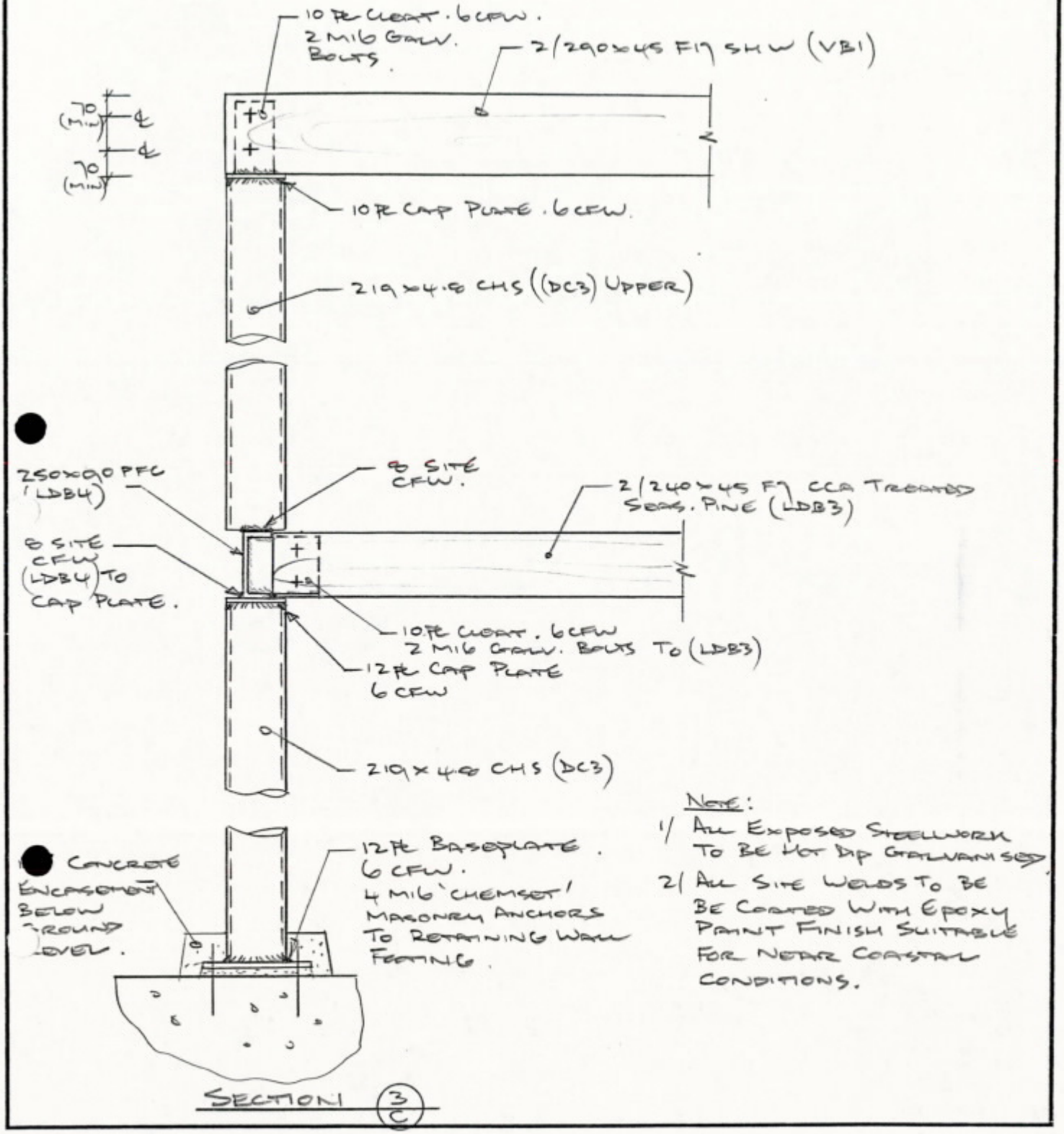
SECTION 2/C

John Fitzgerald Consulting Engineers

Project: DECK FRAMING DETAILS
PROPOSED ALTERATIONS TO RESIDENCE
3 PENNY LANE
McCRAE

Sheet No: E
Job No: 131/98.
Date: 26.6.98.
Engr: A.P. REV.A (6.1.99)

DECK FRAMING DETAILS:



SECTION 1 (3/C)

NOTE:

1/ ALL EXPOSED STEELWORK TO BE HOT DIP GALVANISED.

2/ ALL SITE WELDS TO BE BE COATED WITH EPOXY PAINT FINISH SUITABLE FOR NEAR COASTAL CONDITIONS.

John Fitzgerald Consulting Engineers

Project: DECK FRAMING DETAILS
PROPOSED ALTERATIONS TO RESIDENCE
3 PENNY LANE
MCCRATE .

Sheet No: L
Job No: 131/98 .
Date: 6.1.99
Engr: AP .

John Fitzgerald Consulting Engineers

A.C.N. 006 358 489

Project:

Sheet No. 11
Job No. 131/98
Date 22.6.98
Engr. AF

Rev. A (6.1.99)

Deck Columns (DC1) And (DC2)

Height : 4200 mm.

Loads : (Max)

Upper Deck	DL	$(0.65 \times 4.60^2/2)/3.50$	=	1.96 kN
	LL	$(2.25 \times 4.60^2/2)/3.50$	=	6.80 kN
Lower Deck	DL	$0.65 \times 3.50/2$	=	1.14 kN
	LL	$1.13 \times 3.50/2$	=	1.98 kN
Addit " "	DL	$0.33 \times (1/2 \times 1.20^2) \times 1/3$	=	0.08 kN
	LL	$1.50 \times (1/2 \times 1.20^2) \times 1/3$	=	0.36 kN
Col. S/W	DL	$0.18 \text{ kN/m} \times 6.90$	=	1.24 kN
				13.56 kN

Try $125^2 \times 5.0$ SHS $P_s = 274.8$ kN. ✓ ok
Alt : Try 114×4.0 CHS $P_s = 98.1$ kN. (Comp) ✓ ok

Try $450^2 \times 900$ Min Deep Pad Footing :

$BP = (13.56 + 3.09)/0.45^2 = 86.2$ kPa. ✓ ok

Adopt 114 x 4.00 CHS Cols (DC1) And (DC2) (350 Grade)
Hot Dip Galv. After Fabrication
450 x 450 x 900 (Min) Deep Footings
Min. 100 Into Natural Sand.

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A.C.N. 006 358 489

Sheet No. 29
Job No. 131/98
Date 6.1.99
Engr. AP

Project:

VERANDAH ROOF BEAMS (VB1) AND (VB2):

Span: 4700 mm clr

Loads:

Roof DL. 0.40kPa × (7.20/2 + 0.70) = 1.72 kN/m ↓.
LL 0.25kPa × (7.20/2 + 0.70) = 1.08 kN/m ↓
WL 1.20(0.99kPa) × (7.20/2 + 0.70) = 5.11 kN/m ↑.

S/W DL = 0.10 kN/m ↓.

DL = 1.90 kN/m ↓.
DL + LL = 2.98 kN/m ↓.
DL + WL = 3.21 kN/m ↑

$M_{DL+LL} = 2.98 \times 4.70^2/8 = 8.23$ kN.m $R_{DL+LL} = 7.00$ kN ↓

$M_{DL+WL} = 3.21 \times 4.70^2/8 = 8.86$ kN.m $R_{DL+WL} = 7.54$ kN ↑.

Try 2/290×45 F17 SHW

$f_b = 8.23 \times 10^3/1261.50 = 6.52$ MPa / OK.

→ 2 M16 Bolts:
$P_s = 2(2.0 \times 3.60)$
$= 14.40$ kN / OK.

$\delta_{DL} = \frac{2.5 \times 1.90 \times 4700^4}{384 \times 14000 \times 182.918 \times 10^6} = 9.43$ mm
(= Span/498) / OK.

ADOPT 2/290×45 F17 SHW VERANDAH ROOF BEAMS (VB1) AND (VB2)
GALV. NAIL LAMINATED
2/M16 GALV. BOLTS TO DECK COLUMNS (DC3) AND (DC5)
2/30×0.8 GI STRAPS LOOPED OVER VERANDAH BEAMS TO DOUBLE STUDS (DS1)
6/2.8 DIA GALV. FLAT HEAD NAILS TO (DS1) AT EACH END OF EACH STRAP.

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A.C.N. 006 358 489

Sheet No. 30
Job No. 131/98
Date 6·1·99
Engr. AP.

Project:

Deck Columns (DC3) - (DC5):

Height : 6900 mm

Loads : (DC4)

From (LDB4)/(LDB5) DL+LL 4.65 kN/m × 7.20/2 = 16.74 kN. ← Critical.

Loads : (DC3)/(DC5)

From (LDB4)	DL+LL	4.65 kN/m × 3.60/2	= 8.37 kN
Balustrade	DL	0.30 kN/m × 4.50/2	= 0.68 kN.
From (VB1)	DL+LL	2.98 kN/m × (4.50/2+0.19)	= 7.00 kN.
			16.05 kN

Try 219 × 4.8 CHS

$M_{DC4} = 16.74 \times 0.219/2 = 1.83$ kN.m

$M_s = 39.1$ kN.m ✓ OK.

$P_s = 344$ kN ✓ OK.

Adopt 219×4.8 CHS Deck Columns (DC3) (DC4) And (DC5)

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A.C.N. 006 358 489

Sheet No. 31
Job No. 131/98
Date 6.1.99.
Engr. AP

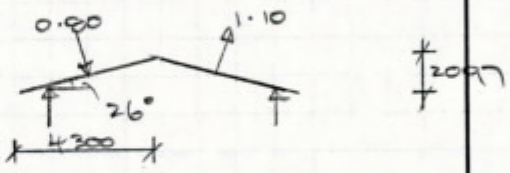
Project:

Deck Bracing:

$\alpha = 26.0°$

Cols: $V_{sb} = 40.63 \times 0.219 = 8.89$

$\therefore C_d = 0.71$



Loads: (1)

Roof WL $(0.8+1.10)0.99kPa \times 2.097 \times (4.50/2+0.10)$ = 9.27 kW →.

Columns WL $2(0.71(0.99kPa) \times 0.219 \times 2.40/2)$ = 0.37 kW →

9.64 kW →

@ 2400 Above Deck Level.

Loads: (2)

Balustrades WL $2(1.20(0.99kPa) \times 1.00 \times (4.50/2+0.10)$ = 5.58 kW →

Deck WL $1.20(0.99kPa) \times 0.30 \times (4.50/2+0.10)$ = 0.84 kW →

Columns WL $2(0.71(0.99kPa) \times 0.219 \times (2.40/2+6.90/2)$ = 1.43 kW →.

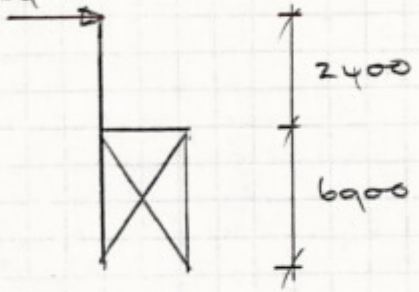
7.85 kW →

@ Deck Level.

Cantilever Upper Columns (DC3) And (DC5)

Height: 2400 mm

9.64kN.



$M_{cant} = 9.64 \times 2.40$

$= 23.14$ kN.m.

→ Load shared By 2 No. Cols:

$\therefore M/col = 11.57$ kN.m.

→ 219x4.8 CHS $M_s = 39.1$ kN.m ✓ ok.

Base Connection

$P_{couple} = 11.57/0.214 = 54.0$ kN.

→ 90mm bFW $P_s = 90 \times 0.57 = 51.3$ kN N.G.

→ 90mm sFW $P_s = 90 \times 0.77 = 69.3$ kN ✓ ok

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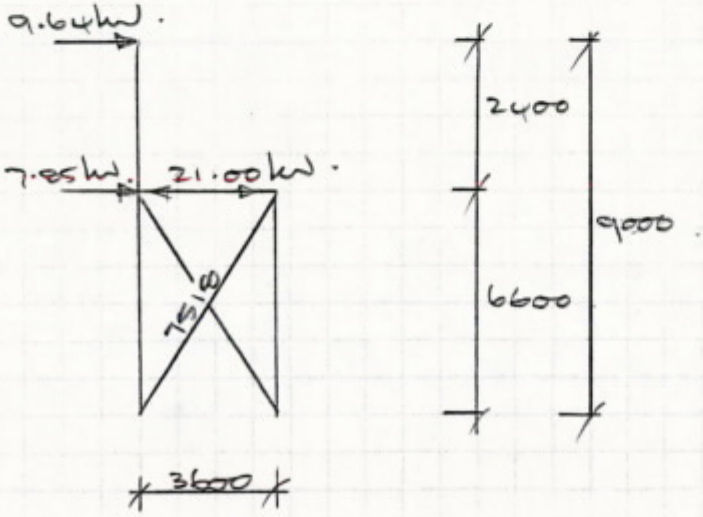
A.C.N. 006 358 489

Sheet No. 32
Job No. 131/98
Date 6.1.99
Engr. AP

Project:

DECK BRACING: (CONT'D.)

Sub-Deck Cross-Bracing (BR1)



P_{TENS} : $\frac{7519}{3600} \times 21.00 = 43.85$ kN.

→ M24 Threaded Rod P_S : 51.0 kN / ea.

Alt : 2 / M16 Threaded Rod P_S : 2 × 23.0 = 46.0 kN

ADOPT M24 GALVANISED THREADED ROD DECK CROSS-BRACING (BR1)
219 × 4.8 CHS CANTILEVER UPPER COLUMNS (DC3) AND (DC5)
& SITE CFW TO DECK BEAMS (LDB4) AND (LDB5)

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FILE COPY

John Fitzgerald
Consulting Engineers and Project Managers

Form 13

Building Act 1993

BUILDING REGULATIONS 1994

Regulation 15.7(2)

CERTIFICATE OF COMPLIANCE - DESIGN

To:

Relevant Building Surveyor: .....

Postal Address: .....

From:

Building Practitioner: John Fitzgerald Category/Class: Civil Engineer

Postal Address: 2/360 Main Street, Mornington, 3931

I certify that the part of the design described as:

Structural Calculations and Structural Drawings for Proposed Alterations To Residence 3 Penny Lane, McCrae

complies with the following provisions of the Regulations:

Building Code of Australia and the relevant Australian Standards

Design Documents

Structural Drawings: 131/98 A4 Sheets B(Rev A) C(Rev A), E(Rev A) and L	Prepared by: Tony Pingiaro	Date 6.1.99
Structural Calculations: 131/98 Sheets 11(Rev A) 29-32	Prepared by: Tony Pingiaro	Date 6.1.99
Computer Print Outs Sheets	Prepared by:	Date
Architectural Drawings:	Prepared by	Date

Test Reports, accreditations, other documentation

Signature:

Signed Building Practitioner .....

Personal Information

...Registration No: EC-1250

Date: 6.1.99

Upper Floor And Middle Roof Framing Plan.

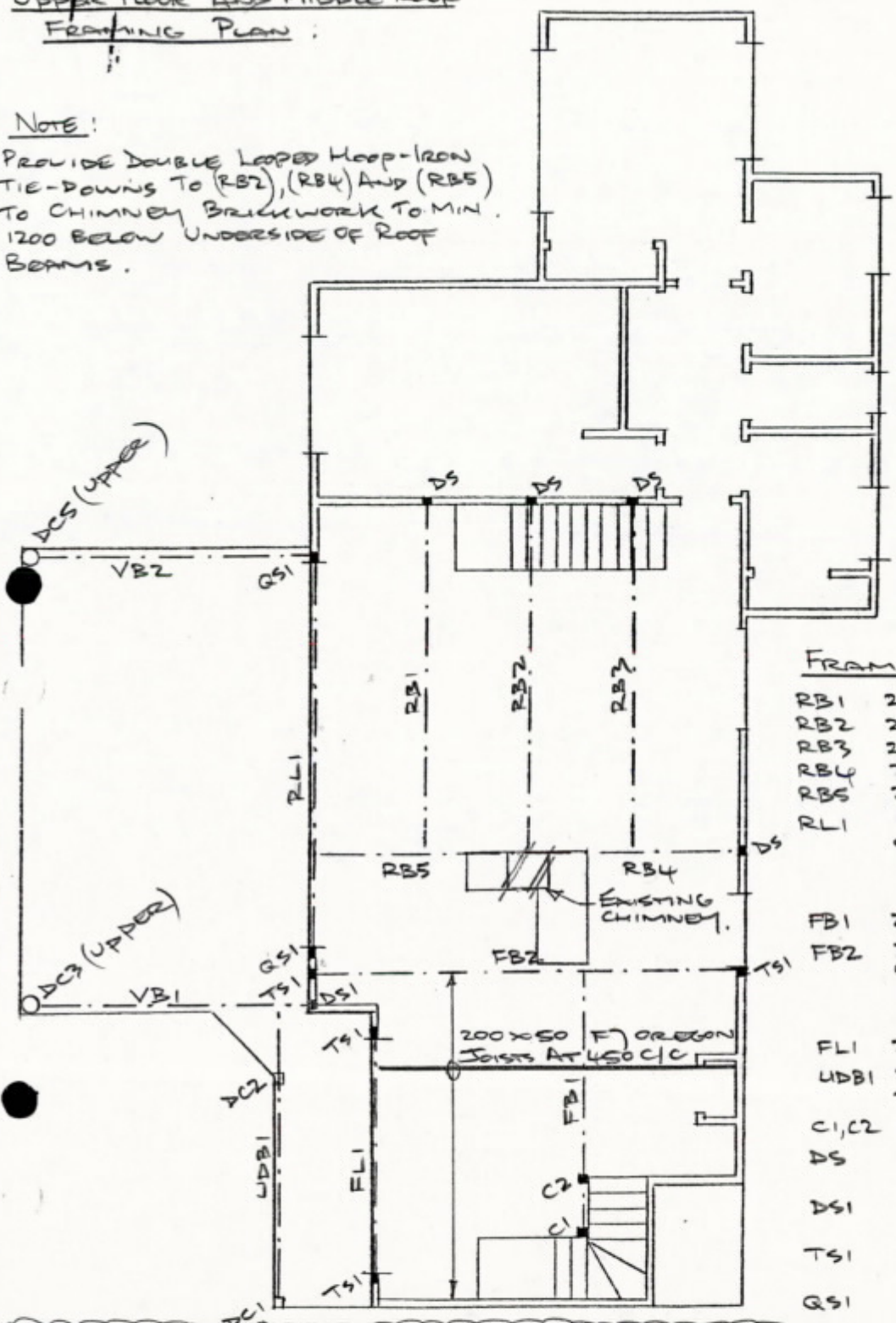
Note:

1/ Provide Double Looped Hoop-Iron Tie-Downs To (RB2), (RB4) And (RB5) To Chimney Brickwork To Min. 1200 Below Underside Of Roof Beams.

Note:

1/ All Roof And Wall Framing Tie-Downs To Be In Accord. With Timber Framing Manual Requirements For 41 ms⁻¹ Design Wind Speed.

2/ Provide 2/30x0.8 GI Looped Straps 6/2.8 Dia. Galv. Flat Head Nails Each End Of Each Strap To Supporting Studs (RB1)-(RB5), And (RL1) (VB1) And (VB2).



Framing Schedule

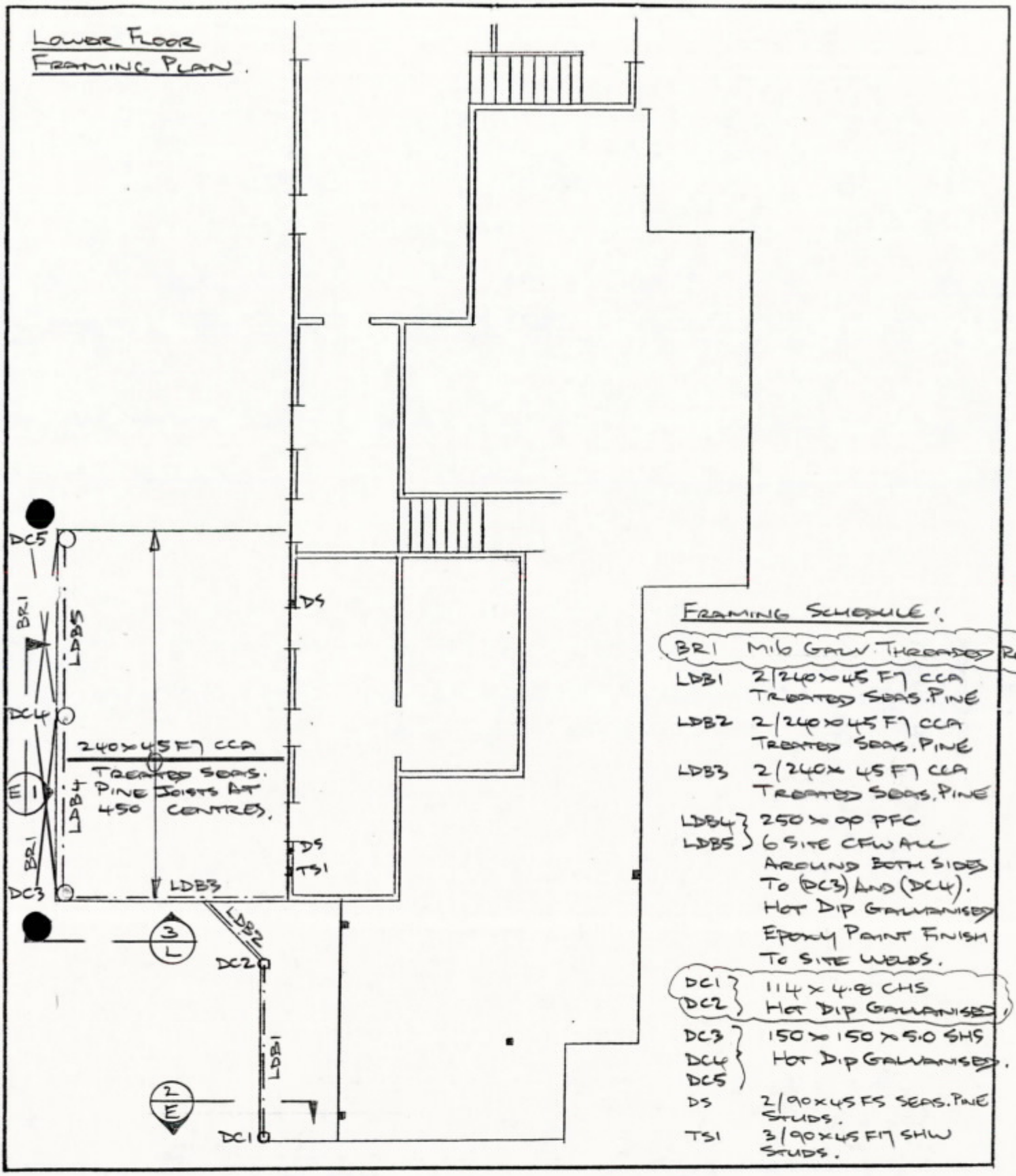
RB1	2/240x45 F17 SHW
RB2	2/240x45 F17 SHW
RB3	2/240x45 F17 SHW.
RB4	240x45 F17 SHW
RB5	240x45 F17 SHW
RL1	180x75 PFC & RL CLEATS. 6 CFW TO UNDERSIDE. 2/M12 BOLTS TO (RS1)
FB1	2/190x45 F17 SHW.
FB2	300x90 PFC & RL CLEATS. 6 CFW TO UNDERSIDE. 2/M12 BOLTS TO (TS1).
FL1	2/290x45 F17 SHW
UDB1	2/240x45 F7 CCA TREATED SEATS PINE.
C1, C2	100x100 F7 OREGON
DS	2/90x45 F5 SEATS PINE STUDS.
DS1	2/90x45 F17 SHW STUDS.
TS1	3/90x45 F17 SHW STUDS.
QS1	4/90x45 F17 SHW STUDS

VB1, VB2 2/290x45 F17 SHW. GALV. NAIL-LAMINATED,
DC3, DC5 (UPPER) 219x4.8 CHS. HOT DIP GALVANISED.
DC1, DC2 114x4.8 CHS HOT DIP GALVANISED.

John Fitzgerald Consulting Engineers

Project: Upper Floor And Middle Roof Framing Plan.
Proposed Alterations To Residence
3 Penny Lane
McCrae.

Sheet No: B
Job No: 131/98
Date: 22.6.98
Engr: A.P. Rev. A (6.1.99)

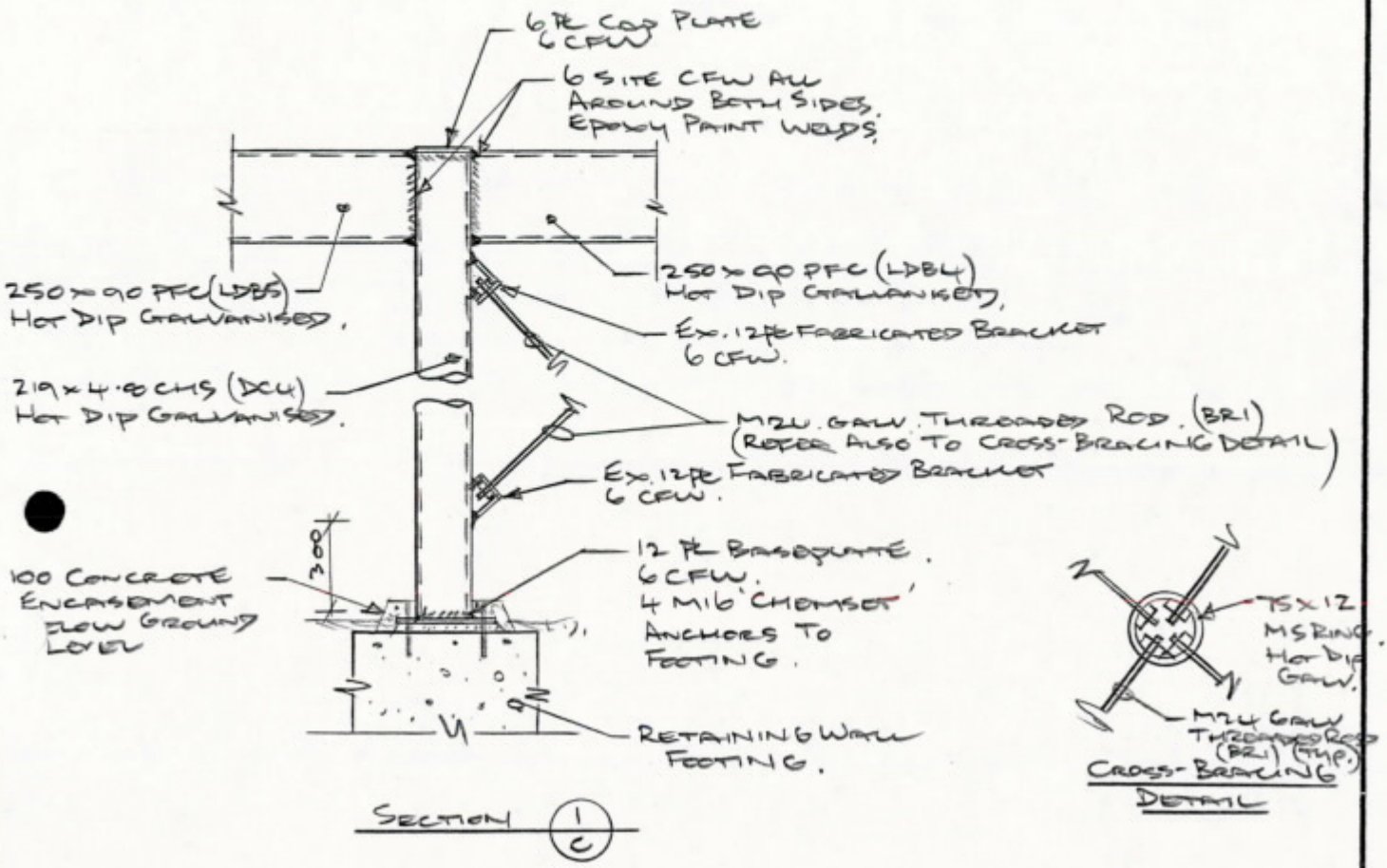


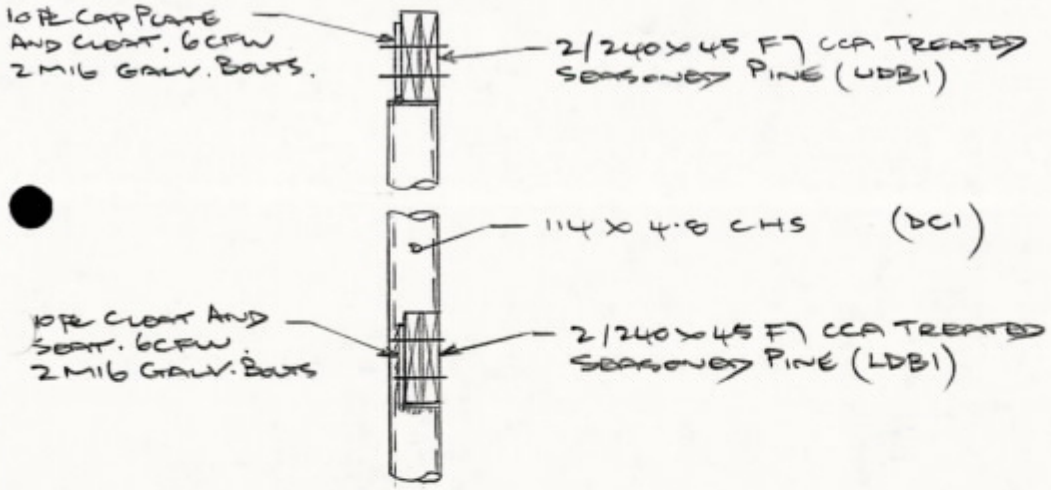
John Fitzgerald Consulting Engineers

Project: LOWER FLOOR FRAMING PLAN
PROPOSED ALTERATIONS TO RESIDENCE
3 PENNY LANE
MCCRAE.

Sheet No: C
Job No: 131/98.
Date: 23.6.98
Engr: A.P. REV.A (6.1.99)

DECK FRAMING DETAILS:





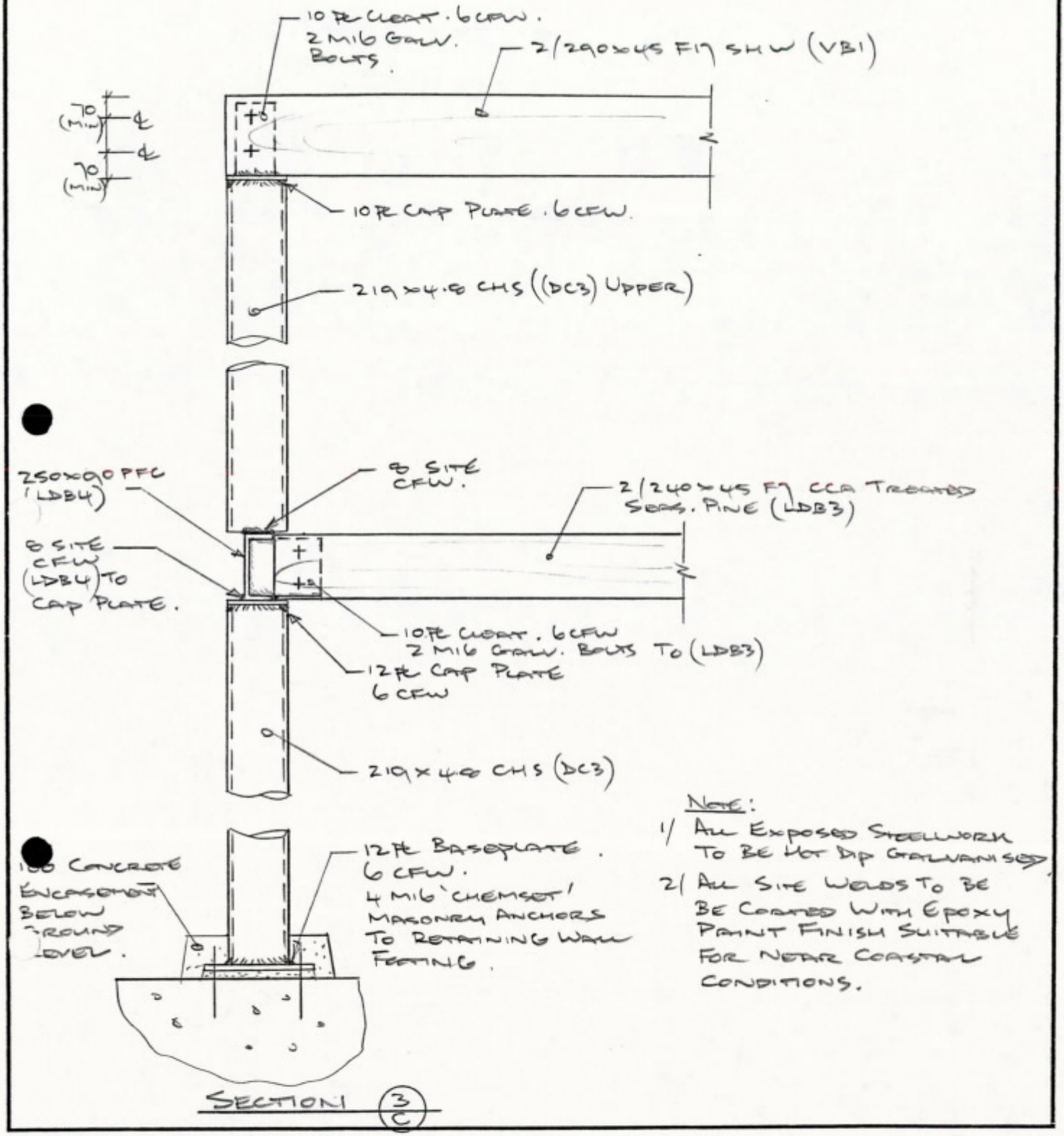
SECTION 2/C

John Fitzgerald Consulting Engineers

Project: DECK FRAMING DETAILS
PROPOSED ALTERATIONS TO RESIDENCE
3 PENNY LANE
McCRAE

Sheet No: E
Job No: 131/98.
Date: 26.6.98.
Engr: A.P. REV.A (6.1.99)

DECK FRAMING DETAILS:



SECTION 3/C

NOTE:

1/ ALL EXPOSED STEELWORK TO BE HOT DIP GALVANISED.

2/ ALL SITE WELDS TO BE BE COATED WITH EPOXY PAINT FINISH SUITABLE FOR NEAR COASTAL CONDITIONS.

John Fitzgerald Consulting Engineers

Project: DECK FRAMING DETAILS
PROPOSED ALTERATIONS TO RESIDENCE
3 PENNY LANE
McCRAE .

Sheet No: L
Job No: 131/98 .
Date: 6.1.99
Engr: AP .

John Fitzgerald Consulting Engineers

A.C.N. 006 358 489

Project:

Sheet No. 11
Job No. 131/98
Date 22·6·98
Engr. A.P

Rev. A (6.1.99)

Deck Columns (DC1) And (DC2)

Height : 4200 mm.

Loads : (Max)

Upper Deck	DL	$(0.65 \times 4.60^2/2)/3.50$	= 1.96 kN
	LL	$(2.25 \times 4.60^2/2)/3.50$	= 6.60 kN
Lower Deck	DL	$0.65 \times 3.50/2$	= 1.14 kN
	LL	$1.13 \times 3.50/2$	= 1.98 kN
Addit " "	DL	$0.33 \times (1/2 \times 1.20^2) \times 1/3$	= 0.08 kN
	LL	$1.50 \times (1/2 \times 1.20^2) \times 1/3$	= 0.36 kN
Col. s/w	DL	$0.18 \text{ kN/m} \times 6.90$	= 1.24 kN
			13.56 kN

Try $125^2 \times 5.0$ SHS $P_s = 274.8$ kN. ✓ ok
Alt : Try 114×4.0 CHS $P_s = 98.1$ kN. (Comp) ✓ ok

Try $450^2 \times 900$ Min Deep Pad Footing :

$BP = (13.56 + 3.09)/0.45^2 = 86.2$ kPa. ✓ ok.

Adopt 114 x 4.00 CHS Cols (DC1) And (DC2) (350 GRADE)
Hot Dip Galv. After Fabrication
450 x 450 x 900 (Min) Deep Footings
Min. 100 Into Natural Sand.

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A.C.N. 006 358 489

Sheet No. 29
Job No. 131/98
Date 6.1.99
Engr. AP

Project:

VERANDAH ROOF BEAMS (VB1) AND (VB2):

Span: 4700 mm c/c

Loads:

Roof DL. $0.40 kPa \times (7.20/2 + 0.70)$ = 1.72 kN/m ↓
LL $0.25 kPa \times (7.20/2 + 0.70)$ = 1.08 kN/m ↓
WL $1.20(0.99 kPa) \times (7.20/2 + 0.70)$ = 5.11 kN/m ↑

S/W DL = 0.18 kN/m ↓

DL 1.90 kN/m ↓
DL+LL 2.98 kN/m ↓
DL+WL 3.21 kN/m ↑

$M_{DL+LL} = 2.98 \times 4.70^2/8 = 8.23$ kN.m $R_{DL+LL} = 7.00$ kN ↓

$M_{DL+WL} = 3.21 \times 4.70^2/8 = 8.86$ kN.m $R_{DL+WL} = 7.54$ kN ↑

Try 2/290×45 F17 SHW → 2 M16 Bolts:

$f_b = 8.23 \times 10^3/1261.50 = 6.52$ MPa / ok.

$P_s = 2(2.0 \times 3.60) = 14.40$ kN / ok.

$\delta_{DL} = \frac{2.65 \times 1.90 \times 4700^4}{384 \times 14000 \times 182.9 \times 10^6} = 9.43$ mm

$(= Span/498)$ / ok.

ADOPT 2/290×45 F17 SHW VERANDAH ROOF BEAMS (VB1) AND (VB2)
GALV. NAIL LAMINATED
2/M16 GALV. BOLTS TO DECK COLUMNS (DC3) AND (DC5)
2/30×0.8 GI STRAPS LOOPED OVER VERANDAH BEAMS TO DOUBLE STUDS (DS1)
6/2.8 DIA GALV. FLAT HEAD NAILS TO (DS1) AT EACH END OF EACH STRAP.

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A.C.N. 006 358 489

Project:

Sheet No. 30
Job No. 131/98
Date 6·1·99
Engr. AP.

Deck Columns (DC3) - (DC5):

Height : 6900 mm

Loads : (DC4)

From (LDB4)/(LDB5) DL+LL 4.65 kN/m × 7.20/2 = 16.74 kN. ← Critical.

Loads : (DC3)/(DC5)

From (LDB4)	DL+LL	4.65 kN/m × 3.60/2	= 8.37 kN
Balustrade	DL	0.30 kN/m × 4.50/2	= 0.68 kN.
From (VB1)	DL+LL	2.98 kN/m × (4.50/2+0.10)	= 7.00 kN.
			16.05 kN

Try 219 × 4.8 CHS

$M_{DC4} = 16.74 \times 0.219/2 = 1.83$ kN.m

$M_s = 39.1$ kN.m ✓ OK.

$P_s = 344$ kN ✓ OK.

Adopt 219 × 4.8 CHS Deck Columns (DC3) (DC4) and (DC5)

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A.C.N. 006 358 489

Sheet No. 31
Job No. 131/98
Date 6.1.99.
Engr. AP

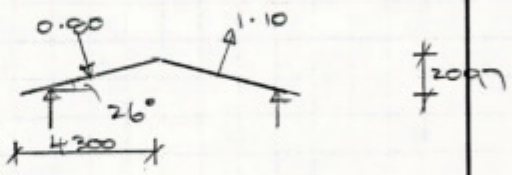
Project:

Deck Bracing:

$\alpha = 26.0°$

Cols: $V_{sb} = 40.63 \times 0.219 = 8.89$

$\therefore C_d = 0.71$



Loads: (1)

Roof WL $(0.8+1.10)0.99kPa \times 2.097 \times (4.50/2+0.10)$ = 9.27 kW →.
Columns WL $2(0.71(0.99kPa) \times 0.219 \times 2.40/2)$ = 0.37 kW →
9.64 kW →
@ 2400 Above Deck Level.

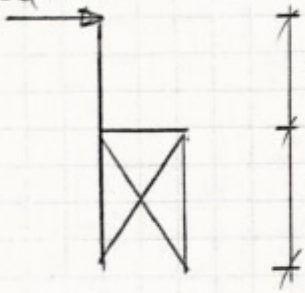
Loads: (2)

Balustrades WL $2(1.20(0.99kPa) \times 1.00 \times (4.50/2+0.10)$ = 5.58 kW →
Deck WL $1.20(0.99kPa) \times 0.30 \times (4.50/2+0.10)$ = 0.84 kW →
Columns WL $2(0.71(0.99kPa) \times 0.219 \times (2.40/2+6.90/2)$ = 1.43 kW →.
7.85 kW →
@ Deck Level.

Cantilever Upper Columns (DC3) And (DC5)

Height: 2400 mm

9.64kW.



$M_{cant} = 9.64 \times 2.40$
$= 23.14$ kN.m.

→ Load Shared By 2 No. Cols:

$\therefore M/col = 11.57$ kN.m.

→ 219x4.8 CHS $M_s = 39.1$ kN.m ✓ ok.

Base Connection

$P_{couple} = 11.57/0.214 = 54.0$ kN.

→ 90mm 6FW $P_s = 90 \times 0.57 = 51.3$ kN N.G.
→ 90mm 8FW $P_s = 90 \times 0.77 = 69.3$ kN ✓ ok

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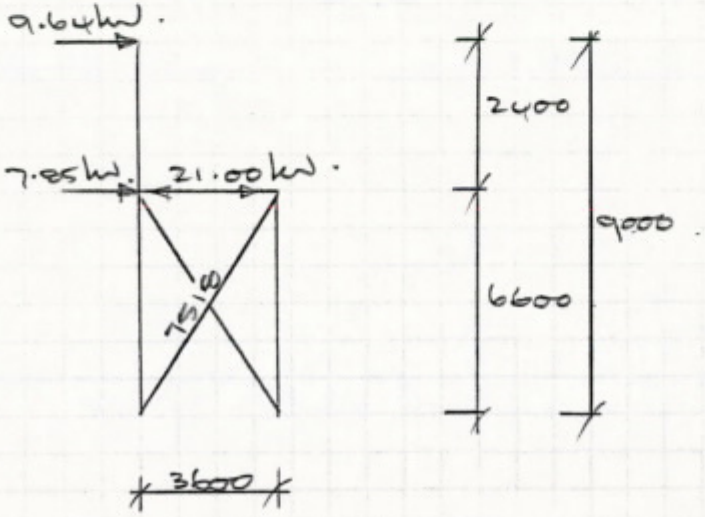
A.C.N. 006 358 489

Sheet No. 32
Job No. 131/98
Date 6.1.99
Engr. AP

Project:

DECK BRACING: (CONT'D.)

Sub-Deck Cross-Braced (BR1)



$P_{TENS} : \frac{7510}{3600} \times 21.00 = 43.85\ kN.$

→ M24 Threaded Rod P_s : 51.0 kN / cm.

Alt : 2 / M16 Threaded Rod $P_s = 2 \times 23.0 = 46.0\ kN$

ADOPT M24 GALVANISED THREADED ROD DECK CROSS-BRACING (BR1)
219 x 4.8 CHS CANTILEVER UPPER COLUMNS (DC3) AND (DC5)
& SITE CFW TO DECK BEAMS (LDB4) AND (LDB5)

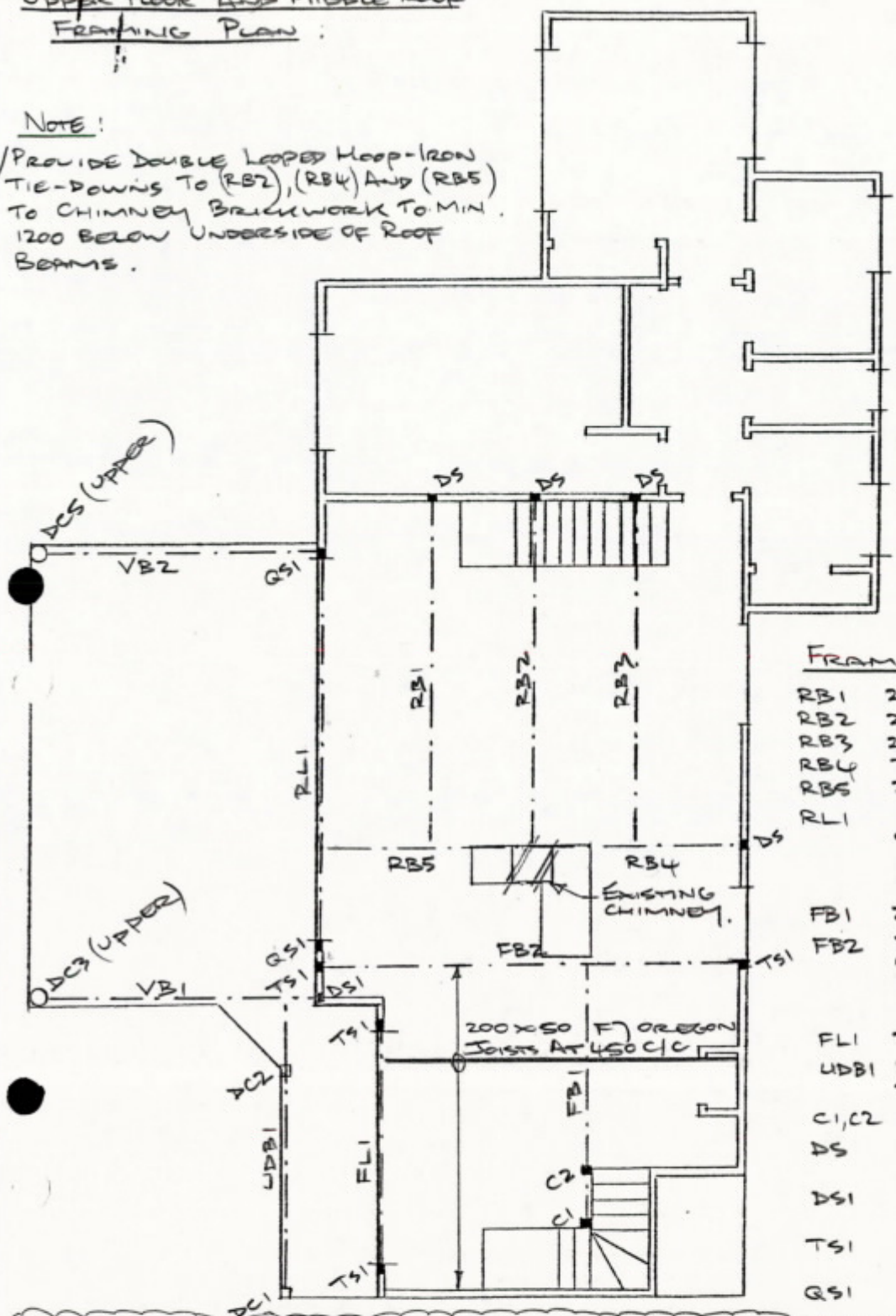
2/360 main street
mornington 3931

phone (03) 5975 5100
fax (03) 5975 9564

Upper Floor And Middle Roof Framing Plan.

Note:

1/ Provide Double Looped Hoop-Iron Tie-Downs To (RB2), (RB4) And (RB5) To Chimney Brickwork To Min. 1200 Below Underside Of Roof Beams.



Note:

1/ All Roof And Wall Framing Tie-Downs To Be In Accord. With Timber Framing Manual Requirements For 41 ms^{-1} Design Wind Speed.

2/ Provide 2/30x0.8 GI Looped Straps 6/2.8 Dia. Galv. Flat Head Nails Each End Of Each Strap To Supporting Studs (RB1)-(RB5), And (RL1), (VB1) And (VB2).

Framing Schedule

RB1	2/240x45 F17 SHW
RB2	2/240x45 F17 SHW
RB3	2/240x45 F17 SHW.
RB4	240x45 F17 SHW
RB5	240x45 F17 SHW.
RL1	180x75 PFC & PL Cleats. 6 CFW To Underside. 2/M12 Bolts To (RS1)
FB1	2/190x45 F17 SHW.
FB2	300x90 PFC & PL Cleats. 6 CFW To Underside. 2/M12 Bolts To (TS1).
FL1	2/290x45 F17 SHW
UDB1	2/240x45 F7 CCA Treated Seats Pine.
C1, C2	100x100 F7 Oregon
DS	2/90x45 F5 Seats Pine Studs.
DS1	2/90x45 F17 SHW Studs.
TS1	3/90x45 F17 SHW Studs.
QS1	4/90x45 F17 SHW Studs

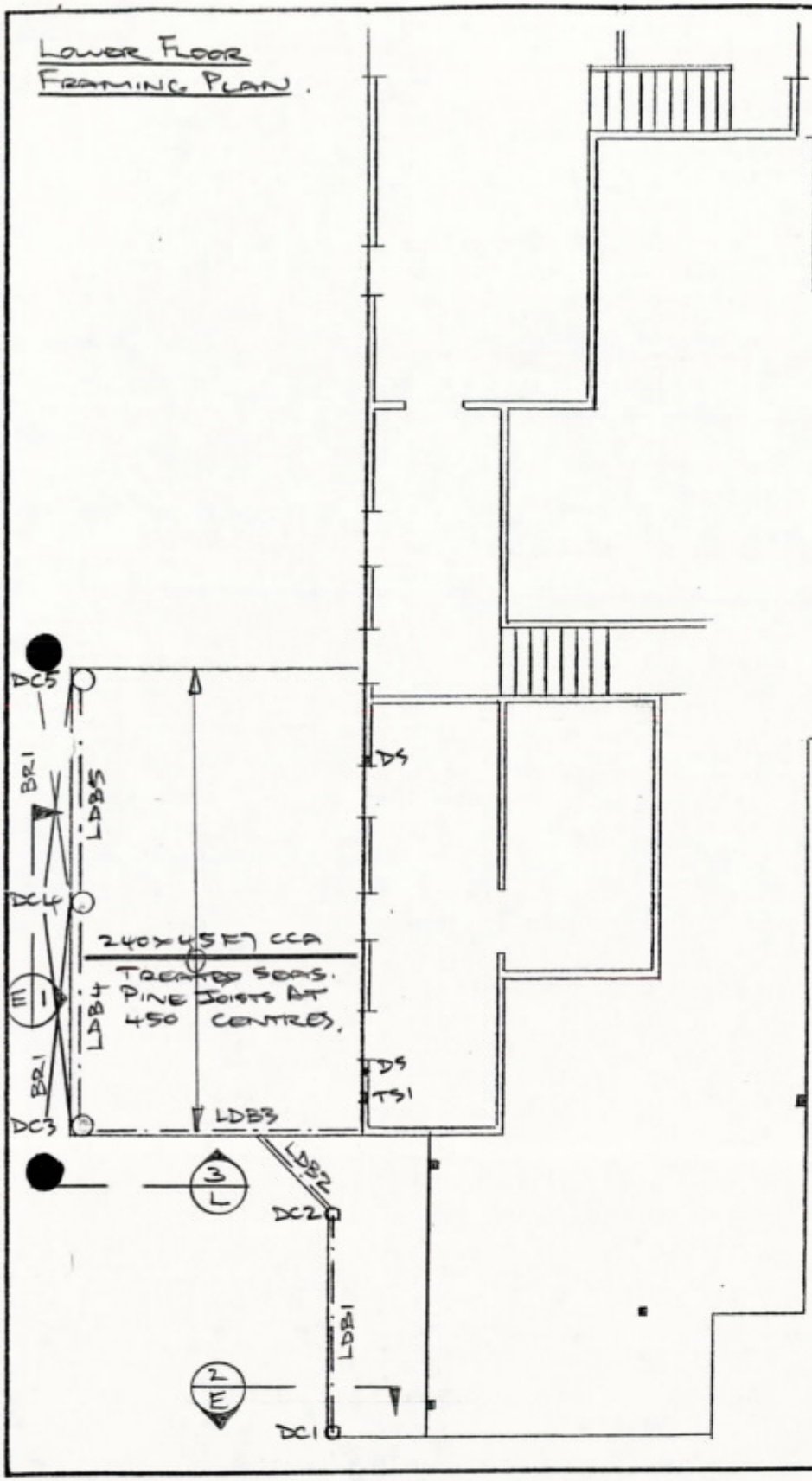
VB1, VB2 2/290x45 F17 SHW. Galv. Nail-Laminated.
DC3, DC5 (Upper) 219x4.8 CHS. Hot Dip Galvanised.
DC1, DC2 114x4.8 CHS Hot Dip Galvanised.

John Fitzgerald Consulting Engineers

Project: Upper Floor And Middle Roof Framing Plan.
Proposed Alterations To Residence
3 Penny Lane
McCrae.

Sheet No: B
Job No: 131/98
Date: 22.6.98
Engr: A.P. Rev. A (6.1.99)

LOWER FLOOR
FRAMING PLAN.



FRAMING SCHEDULE:

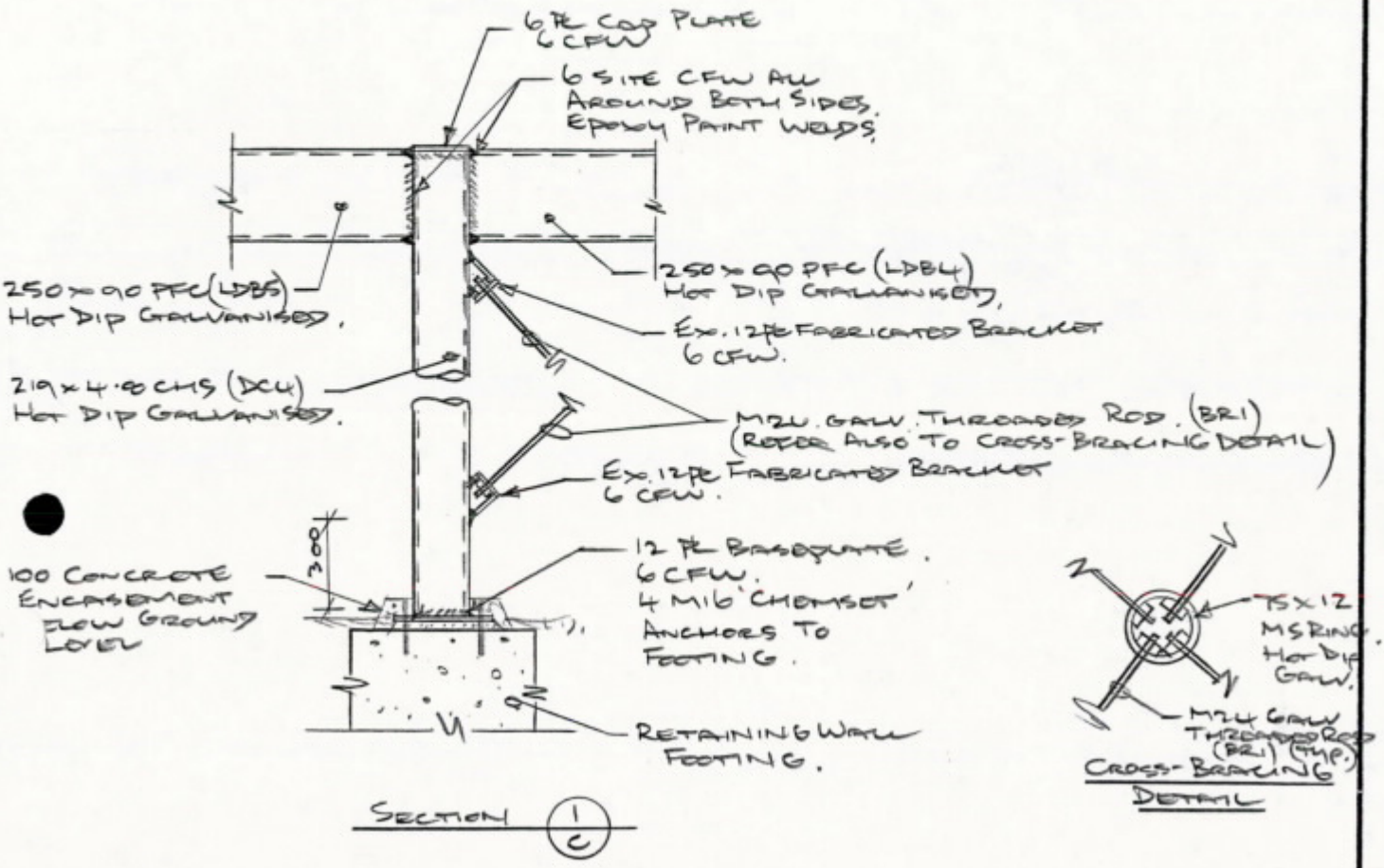
BR1	M16 GALV. THREADED ROD
LDB1	2/240x45 F7 CCA TREATED SEAS. PINE
LDB2	2/240x45 F7 CCA TREATED SEAS. PINE
LDB3	2/240x 45 F7 CCA TREATED SEAS. PINE
LDB4, LDB5	250x90 PFC 6 SITE CFW ALL AROUND BOTH SIDES TO (DC3) AND (DC4). HOT DIP GALVANISED EPOXY PAINT FINISH TO SITE WELDS.
DC1, DC2	114x4.8 CHS HOT DIP GALVANISED.
DC3, DC4, DC5	150x150x5.0 SHS HOT DIP GALVANISED.
DS	2/90x45 F5 SEAS. PINE STUDS.
TS1	3/90x45 F7 SHW STUDS.

John Fitzgerald Consulting Engineers

Project: LOWER FLOOR FRAMING PLAN
PROPOSED ALTERATIONS TO RESIDENCE
3 PENNY LANE
MCCRAE.

Sheet No: C
Job No: 131/98.
Date: 23.6.98
Engr: A.P. REV.A (6.1.99)

DECK FRAMING DETAILS:

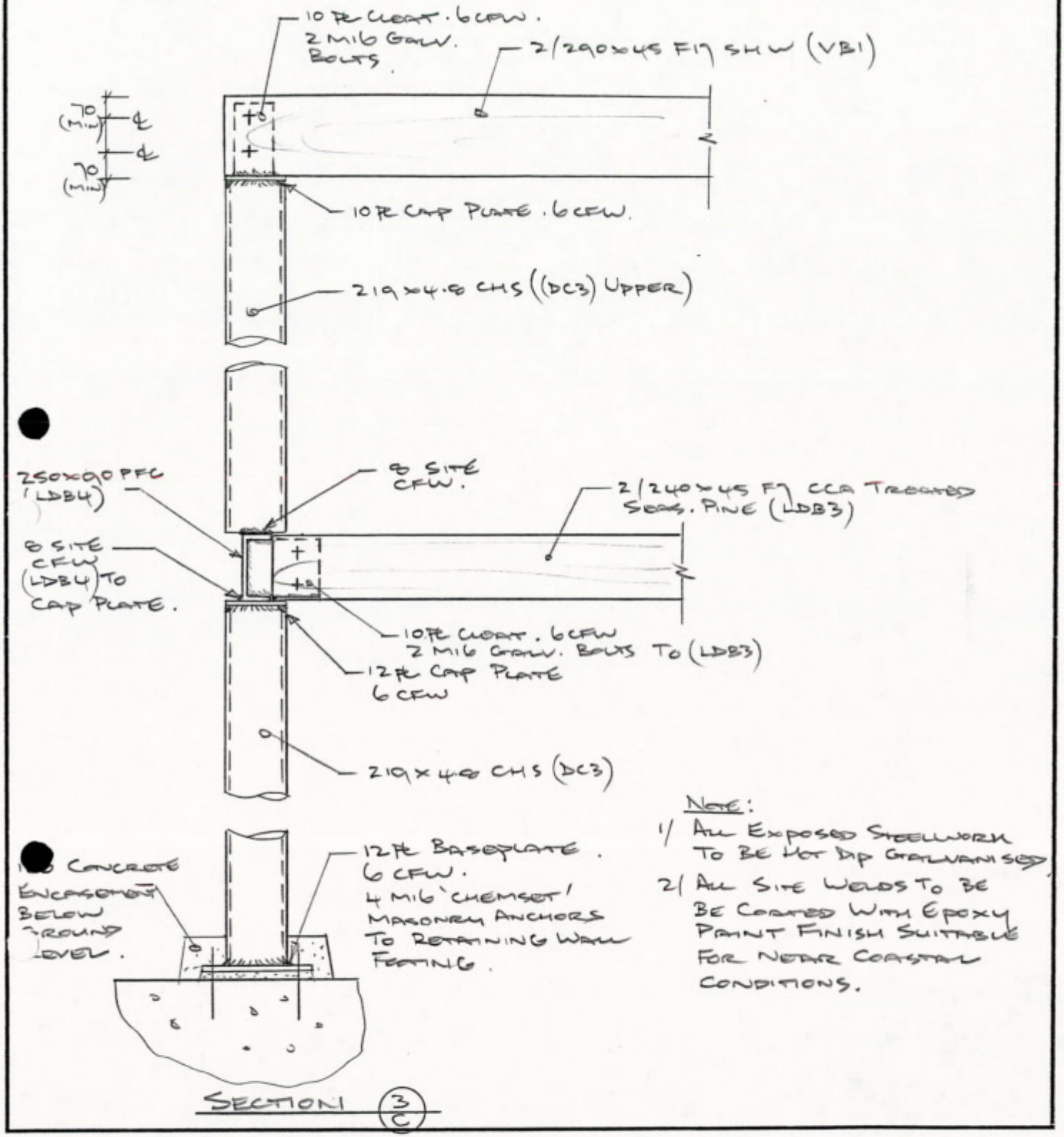


John Fitzgerald Consulting Engineers

Project: DECK FRAMING DETAILS
PROPOSED ALTERATIONS TO RESIDENCE
3 PENNY LANE
McCRAE

Sheet No: E
Job No: 131/98.
Date: 26.6.98.
Engr: A.P. REV.A (6.1.99)

DECK FRAMING DETAILS:



SECTION 1 (3/C)

NOTE:

1/ ALL EXPOSED STEELWORK TO BE HOT DIP GALVANISED

2/ ALL SITE WELDS TO BE BE COATED WITH EPOXY PAINT FINISH SUITABLE FOR NEAR COASTAL CONDITIONS.

John Fitzgerald Consulting Engineers

Project: DECK FRAMING DETAILS
PROPOSED ALTERATIONS TO RESIDENCE
3 PENNY LANE
McCRATE .

Sheet No: L
Job No: 131/98 .
Date: 6.1.99
Engr: AP .

John Fitzgerald Consulting Engineers

A.C.N. 006 358 489

Project:

Sheet No. 11
Job No. 131/98
Date 22·6·98
Engr. AF

Rev. A (6.1.99)

Deck Columns (DC1) And (DC2)

Height : 4200 mm.

Loads : (Max)

Upper Deck	DL	$(0.65 \times 4.60^2/2)/3.50$	= 1.96 kN
	LL	$(2.25 \times 4.60^2/2)/3.50$	= 6.60 kN
Lower Deck	DL	$0.65 \times 3.50/2$	= 1.14 kN
	LL	$1.13 \times 3.50/2$	= 1.98 kN
Addit " "	DL	$0.33 \times (1/2 \times 1.20^2) \times 1/3$	= 0.08 kN
	LL	$1.50 \times (1/2 \times 1.20^2) \times 1/3$	= 0.36 kN
Col. s/w	DL	$0.18 kN/m \times 6.90$	= 1.24 kN
			13.56 kN

Try $12.5^2 \times 5.0$ SHS $P_s = 274.8$ kN. ✓ ok

Alt : Try 114×4.0 CHS $P_s = 98.1$ kN. (Comp) ✓ ok

Try $450^2 \times 800$ Min Deep Pad Footing :

$BP = (13.56 + 3.89)/0.45^2 = 86.2$ kPa. ✓ ok

Adopt 114 x 4.00 CHS Cols (DC1) And (DC2) (350 Grade)
Hot Dip Galv. After Fabrication
450 x 450 x 800 (Min) Deep Footings
Min. 100 Into Natural Sand.

2/360 main street
mornington 3931

phone (03) 5975 5100
fax (03) 5975 9564

John Fitzgerald Consulting Engineers

A.C.N. 006 358 489

Sheet No. 29
Job No. 131/98
Date 6.1.99
Engr. AP

Project:

VERANDAH ROOF BEAMS (VB1) AND (VB2):

Span: 4700 mm clr

Loads:

Roof DL. 0.40kPa × (7.20/2 + 0.70) = 1.72 kN/m ↓.
LL 0.25kPa × (7.20/2 + 0.70) = 1.08 kN/m ↓
WL 1.20(0.99kPa) × (7.20/2 + 0.70) = 5.11 kN/m ↑.

S/W DL = 0.18 kN/m ↓.

DL = 1.90 kN/m ↓.
DL + LL = 2.98 kN/m ↓.
DL + WL = 3.21 kN/m ↑

$M_{DL+LL} = 2.98 \times 4.70^2/8 = 8.23$ kN.m. $R_{DL+LL} = 7.00$ kN ↓

$M_{DL+WL} = 3.21 \times 4.70^2/8 = 8.86$ kN.m $R_{DL+WL} = 7.54$ kN ↑.

Try 2/290×45 F17 SHW → 2 M16 Bolts:

$f_b = 8.23 \times 10^3/1261.50 = 6.52$ MPa / cm.

$P_s = 2(2.0 \times 3.60) = 14.40$ kN / cm.

$\delta_{DL} = \frac{2.5 \times 1.90 \times 4700^4}{384 \times 14000 \times 182.918 \times 10^6} = 9.43$ mm (= Span/498) / cm.

ADOPT 2/290×45 F17 SHW VERANDAH ROOF BEAMS (VB1) AND (VB2)
GALV. NAIL LAMINATED
2/M16 GALV. BOLTS TO DECK COLUMNS (DC3) AND (DC5)
2/30×0.8 GI STRAPS LOOPED OVER VERANDAH BEAMS TO DOUBLE STUDS (DS1)
6/2.8 DIA GALV. FLAT HEAD NAILS TO (DS1) AT EACH END OF EACH STRAP.

2/360 main street
mornington 3931

phone (03) 5975 5100
fax (03) 5975 9564

John Fitzgerald Consulting Engineers

A.C.N. 006 358 489

Sheet No. 30
Job No. 131/98
Date 6·1·99
Engr. AP.

Project:

DECK COLUMNS (DC3) - (DC5):

Height : 6900 mm

LOADS : (DC4)

From (LDB4)/(LDB5) DL+LL 4.65 kN/m × 7.20/2 = 16.74 kN. ← Critical.

LOADS : (DC3)/(DC5)

From (LDB4)	DL+LL	4.65 kN/m × 3.60/2	= 8.37 kN
Balustrade	DL	0.30 kN/m × 4.50/2	= 0.68 kN.
From (VB1)	DL+LL	2.98 kN/m × (4.50/2+0.10)	= 7.00 kN.
			16.05 kN

Try 219 × 4.8 CHS

$M_{DC4} = 16.74 \times 0.219/2 = 1.83$ kN.m

$M_s = 39.1$ kN.m ✓ OK.

$P_s = 344$ kN ✓ OK.

ADOPT 219×4.8 CHS DECK COLUMNS (DC3) (DC4) AND (DC5)

2/360 main street
mornington 3931

phone (03) 5975 5100
fax (03) 5975 9564

John Fitzgerald Consulting Engineers

A.C.N. 006 358 489

Sheet No. 31
Job No. 131/98
Date 6.1.99.
Engr. AP

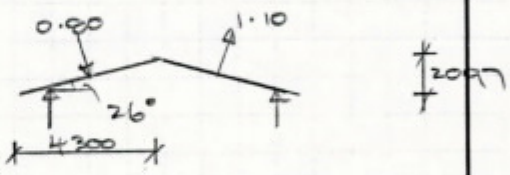
Project:

Deck Bracing:

$\alpha = 26.0°$

Cols: $V_{sb} = 40.63 \times 0.219 = 8.89$

$\therefore C_d = 0.71$



Loads: (1)

Roof WL $(0.8+1.10)0.99kPa \times 2.097 \times (4.50/2+0.10)$ = 9.27 kW →.

Columns WL $2(0.71(0.99kPa) \times 0.219 \times 2.40/2)$ = 0.37 kW →

9.64 kW →

@ 2400 Above Deck Level.

Loads: (2)

Balustrades WL $2(1.20(0.99kPa) \times 1.00 \times (4.50/2+0.10)$ = 5.58 kW →

Deck WL $1.20(0.99kPa) \times 0.30 \times (4.50/2+0.10)$ = 0.84 kW →

Columns WL $2(0.71(0.99kPa) \times 0.219 \times (2.40/2+6.90/2)$ = 1.43 kW →

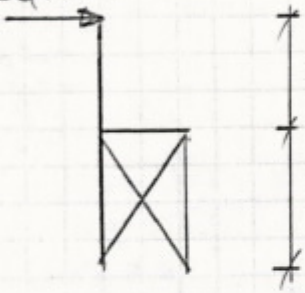
7.85 kW →

@ Deck Level.

Cantilever Upper Columns (DC3) And (DC5)

Height: 2400 mm

9.64kN.



$M_{cant} = 9.64 \times 2.40$

$= 23.14$ kN.m.

→ Load shared By 2 No. Cols:

$\therefore M/col = 11.57$ kN.m.

→ 219×4.8 CHS $M_s = 39.1$ kN.m ✓ ok.

Base Connection

$P_{couple} = 11.57/0.214 = 54.0$ kN.

→ 90 mm 6FW $P_s = 90 \times 0.57 = 51.3$ kN N.G.

→ 90 mm 8FW $P_s = 90 \times 0.77 = 69.3$ kN ✓ ok

2/360 main street
mornington 3931

phone (03) 5975 5100
fax (03) 5975 9564

John Fitzgerald Consulting Engineers

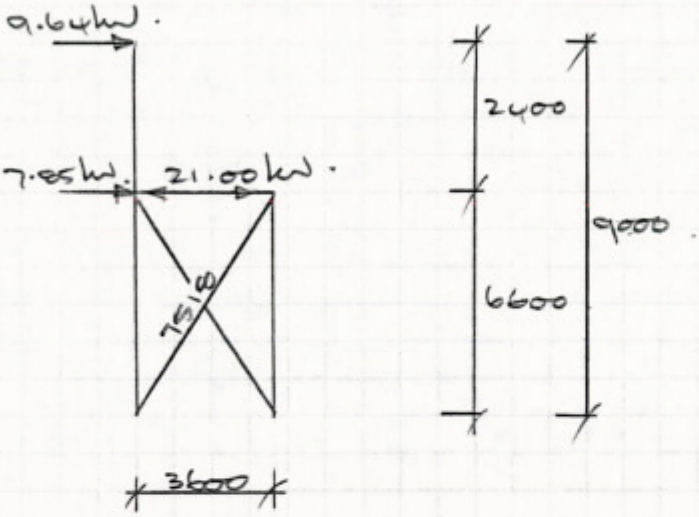
A.C.N. 006 358 489

Project:

Sheet No. 32
Job No. 131/98
Date 6.1.99
Engr. AP

DECK BRACING: (CONT'D.)

Sub-Deck Cross-Braced (BR1)



P_{TENS} : $\frac{7510}{3600} \times 21.00 = 43.85$ kN.

→ M24 Threaded Rod P_S : 51.0 kN / ea.

Alt : 2 / M16 Threaded Rod P_S : 2 × 23.0 = 46.0 kN

ADOPT M24 GALVANISED THREADED ROD DECK CROSS-BRACING (BR1)
219 × 4.8 CHS CANTILEVER UPPER COLUMNS (DC3) AND (DC5)
& SITE CFW TO DECK BEAMS (LDB4) AND (LDB5)

2/360 main street
mornington 3931

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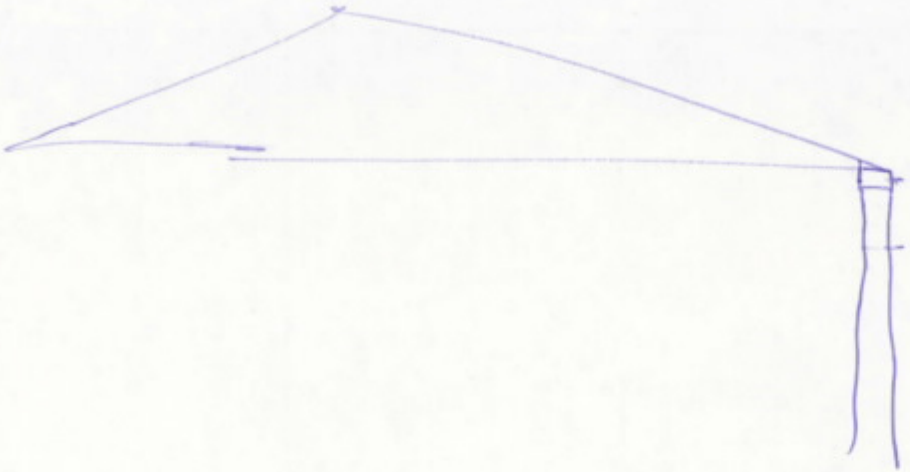
fax (03) 5975 9564



Cheque Request Voucher

MORNINGTON PENINSULA Shire Council

Order Number *(Office Use Only)* _____

Creditors Number _____

Creditors Name Mr Frank Dimopoulos

Creditors Address 3 Penny Lane
McCrae 3938

Date of Invoice 24/2/03

Amount $ 50.00

Invoice Number _____

Date Payment Due ___/___/___

Is this payment to / for an MPSC Employee ?

☐ Yes ☒ No

If Yes, you must sign the FBT Declaration at the bottom of the page.

	Account Number	Total Amount	GST Portion (01 9900 7807)	Description
1	0 1 2 1 2 1 1 4 6 0	50.00	—	$100 paid for minor amendment when fee is $50
2				
3				
4				
5				
6				
7				
8				
9				
10				
	Payment Total	50.00	—	

Requested By	Authorised By	Processed By
Name Vicki Schembri	Name Jackie Prosser	Name
Signature [redacted] Personal Information	Signature [redacted] Personal Information	Signature
Date 24.2.03	Date 24/2/03	Date

FBT Declaration

I, ... behalf of Mornington Peninsula Shire Council declare that the expense payment benefits, described above, and provided during the FBT year from 1 April 2000 to 31 March 2001 are payments or reimbursements of expenses which, under the 'otherwise deductible' rule, would have taxable value of nil.

Name _____ Signature _____ Position _____ Date ___/___/___

This file is closed

Documents received since 1st April 1999 have been scanned.

The images are available on Ausinfo.

148726

NOTED

2690.105.

C4769/98.

Australian BUILDING PERMITS
BUILDING SURVEYORS TOWN PLANNERS
Building Permits
Building Inspections
Building Reports
Town Planning

791 Toorak Road, East Hawthorn 3123
Tel: 9821 0511 Fax: 9821 0522
ACN 080309771

Friday, 9 October 1998

ENTERED
22-10-98

Attention:-
The Municipal Building Surveyor
Mornington Shire Council
PrivBag1000, DX30059
Municipal Offices, Boneo Rd,
ROSEBUD 3939
Fax no. 059 866 696
Ph no. 059 811 500

MORNINGTON PENINSULA Shire Council
RECEIVED 21 OCT 1998
MAIN FILE
OFFICER/S DAA
XREF
FYI

Dear Sir, Madam,

3 Penny Lane McCrae
Mornington Shire Council
Restump of detached dwelling As per plans

In accordance with Section 80 of the Building Act 1993, we advise that Marie J. Walker has recently been appointed as the relevant building surveyor for the above project.

If you have any queries, do not hesitate to contact Marie J. Walker.

Yours faithfully,

Personal Information

Marie J. Walker
BUILDING SURVEYOR
encl.

Australian BUILDING PERMITS
BUILDING SURVEYORS TOWN PLANNERS
Building Permits
Building Inspections
Building Reports
Town Planning

791 Toorak Road, East Hawthorn 3123
Tel: 9821 0511 Fax: 9821 0522

ACN 080309771

Building Act 1993 Building Regulations 1994 :- Reg 2.6

PERMIT NO. BS-1068/990166/0

TO:-

		address	town	postcode
Owner	*F Dimopoulos*	*3 Penny Lane*	*McCrae*	*3938*
home ph		*business*	*fax no*	
Agent	*Liddell Construction Pty Ltd*	*P.O. Box 4041*	*Frankston Heights*	*3199*
home ph	*5971 4944*	*business 0418 998 004*	*fax no 5971 4944*	
Builder	*Liddell Construction Pty Ltd*	*P.O. Box 4041*	*Frankston Heights*	*3199*
business ph	*5971 4944*	*mobile 0418 998 004*	*fax no 5971 4944*	

PROJECT ADDRESS :-

3 Penny Lane McCrae

Mornington Shire Council

title details *site area m2:*

PROJECT DESCRIPTION

Restump of detached dwelling As per plans

project use ***residential***

total new floor area m2	*0*	*Project classification:*	*1ai*
allowable live load:	*1.5 kpa*	*No of project works*	*1*
persons accomodated for:	*0*	*no of storeys*	*1*
		project estimated val	*$3,000.00*

Details of domestic building work insurance

The issuer or provider of the required insurance policy is:-

IMPORTANT ***A Final Certificate is required prior to use or Occupation***

PERMIT ***Building work is to commence by: 10/10/1999 and is to be completed by: 10/10/2000***

DETAILS ***Stages of work permitted:***

MANDATORY INSPECTIONS

Inspection of stump holes

Inspection for Final certificate

PRACTITIONERS:-

LIDDELL, CHRISTOPHER JOHN; CB-U2525 Prepared Architectural plans

Builder

Personal Information

SIGNATURE

BUILDING SURVEYOR ***Marie J. Walker***

Registration no *BS-1068*

ISSUED DATE ***Saturday, 10 October 1998***

Melways reference

BUILDING PERMIT - INFORMATION SHEET

TYPE OF WORKS: - Reblock Dwelling

PROJECT ADDRESS: 3 Peony Lane
Street
Mc CRAE
Suburb

Protection of Sleeping Areas

The regulations require that a smoke alarm be located "between each area containing bedrooms and the remainder of the dwelling".
In most dwellings it is common to find the bedroom located in one area and connected by a general hallway. In this instance the alarm should be located as depicted in Diagram 1.

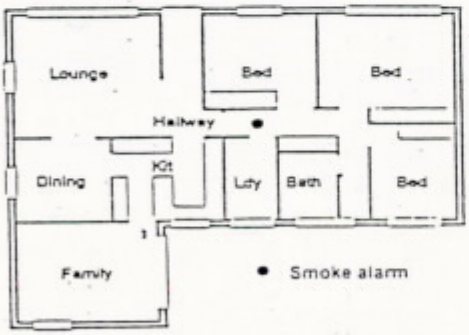


DIAGRAM1 - SMOKE ALARMS IN HALLWAYS
Located on ceiling between sleeping area and remainder of dwelling
If the bedrooms are not grouped in a common area or no connecting hallway exists, then an alarm should be located within 1.5m of the entrance to each bedroom as depicted in Diagram 2.

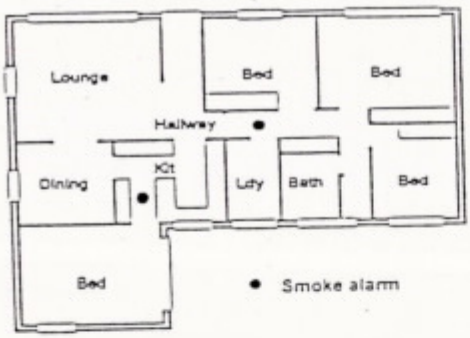
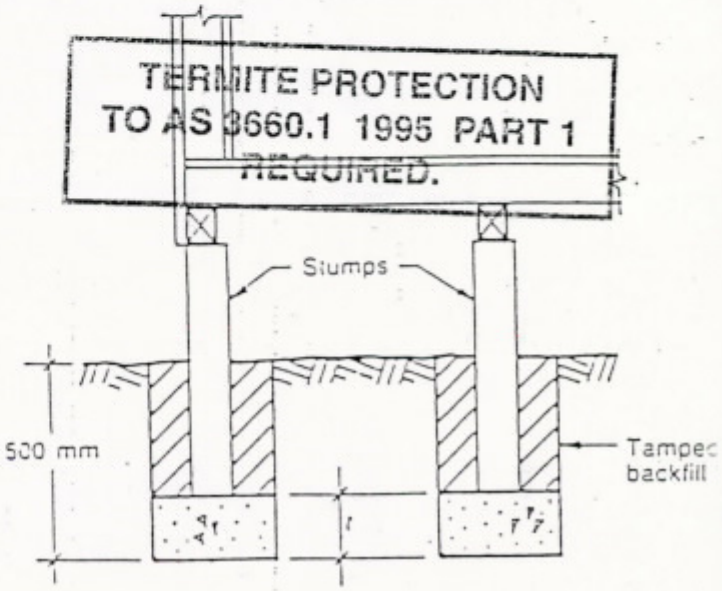


DIAGRAM 2 - DWELLING WITH SEPERATE SLEEPING AREAS
NOTE: Self contained smoke alarms must be located on or near the ceiling.
Smoke alarms not to be located within 300mm of the ceiling/wall junction.
Smoke detectors to be supplied and installed in accordance with AS 3786.

TERMITE PROTECTION:



FOOTING DETAILS

100mm x 100mm Concrete Reinforced Stumps
300mm x 300mm Concrete Pad Footing - Founded at Min. 500mm.
NOTE: BUILDING INSPECTOR MAY REQUIRE FOUNDING DEPTH TO BE DEEPENED.

ALL DAMAGED AND ROTTEN TIMBERS TO BE REPLACED.

BUILDING PERMIT

PLANS AND SPECIFICATIONS APPROVED SUBJECT TO STRICT COMPLIANCE WITH THE BUILDING A 1993 AND BUILDING REGULATIONS 1994

IMPORTANT NOTICE
NO VARIATION OR ALTERATION OF APPROVED PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL THE RELEVANT BUILDING SURVEYOR.

BUILDING SURVEYOR: ~~A. Collen BS 1169~~ M. Walker BS 1068

DATE: 10/10/98 PERMIT No.: 9901666/0

Signature Personal Information

AUSTRALIAN BUILDING PERMITS

INSPECTIONS REQUIRED: 1. Foundation 2. Final Inspection Please phone 9885 7225 for book

Australian BUILDING PERMITS Pty. Ltd.

ACN 080 309 771

BUILDING SURVEYORS
TOWN PLANNERS

390 Wattletree Road, Malvern East, Vic. 3145
P.O. Box 60, Central Park, Vic. 3145
Ph: 9885 7225 Fax: 9886 9003

Act 1993
BUILDING REGULATIONS 1994
Regulation 1.11(1)

APPLICATION FOR A BUILDING PERMIT

Form 1

TO: BUILDING SURVEYOR Allison Colten / Marie J Walker

FROM:

Owner of land: Frank Dimopoulos

Postal address: 3 Perrylane McCrae

Postcode: ____

Telephone: ____ Fax: ____ Mobile: ____

AGENT OF OWNER:

Name: Liddell Constructions

Postal Address: P.O. Box 4041 Frankston Heights

Postcode: ____

Telephone: ____ Fax: ____ Mobile: ____

BUILDER:

Name: As Above

Postal Address: ____

Postcode: ____

Telephone: ____ Fax: ____ Mobile: ____

BUILDING PRACTITIONERS (1) and/or ARCHITECTS:

(a) To be engaged in the building work (2)

NAME: ____ CAT./CLASS: ____ REGISTRATION NO: ____

NAME: ____ CAT./CLASS: ____ REGISTRATION NO: ____

(b) Who were engaged to prepare documents submitted with this application (3)

NAME: ____ CAT./CLASS: ____ REGISTRATION NO: ____

NAME: ____ CAT./CLASS: ____ REGISTRATION NO: ____

PROPERTY DETAILS

No: 3 Street/Road: Perrylane Suburb: McCrae

Lot: ____ LP/PS: ____ Volume: ____ Folio: ____

Crown Allot.: ____ Section: ____ Parish: ____ County: ____

Municipal District: Mornington Peninsula Allotment Area: ____ M2

NATURE OF BUILDING WORK*

Construction of a new building [ ]
Demolition of a building [ ]
Re-erection of a building [ ]
Removal of a building [ ]

Alterations to an existing building [ ]
Extension to an existing building [ ]
Change of use of an existing building [ ]
Other: .... [ ]

* Tick if applicable or give other description.

IF WORK IS FOR PRESCRIBED BUILDING WORK (4)

I intend to carry out the work as an owner builder. [ ]
I intend to engage an approved builder/supervisor to carry out this work. [ ]
Certificate from approved guarantor attached [ ] to come [ ]

STAGE OF BUILDING WORK (If application is to permit a stage of the building work)

Extent of stage: ____ Value of building work for this stage $ ____

INTENDED USE OF BUILDING: Residential

VALUE OF BUILDING WORK: Estimated value of building work / contract sum : $ [illegible]

SIGNATURE: Owner/Agent Personal Information DATE: 9 . 10 . 98

Penny Lane, McCrae.

P980801

[redacted] sited approx. in line with dwelling on subject land - also steeply sloping.

Generally: U-shaped, un-made road.
Significant views of P.P. Bay.

Comments: appears okay to issue under delegation subject to: submission of application form.
clarification of cost & wall colours.

PIN: 44715
Ref: P 02/2535 – Anthony Matthews Direct Dial (03) 5986 0963: Fax (03) 5986 0841

18 February, 2003

Mr Frank Dimopoulos
3 Penny Lane
MCCRAE 3938

Dear Sir / Madam,

REQUEST FOR MINOR AMENDMENT
PLANNING PERMIT P 98/0801
3 PENNY LANE, MCCRAE

I refer to your application for a minor amendment that was received by Council on 11 July 2002 and wish to confirm my earlier verbal advice that the relevant criteria have not been satisfied and accordingly the application cannot be approved.

I also confirm that Planning Permit P 02/2535 was issued on 17 February 2003 which effectively approves (with some variation) those matters subject to the minor amendment application.

I note that a $100.00 application fee was paid for the minor amendment application – with $50.00 being the applicable fee. Accordingly a $50.00 fee refund for the overpaid amount will be forwarded to you shortly.

If you have any further questions I will be pleased to assist.

Yours faithfully

Personal Information

Anthony Matthews
DEVELOPMENT PLANNER

7065000

DATE 12/7/02

AMENDMENTS PENDING

PIN NUMBER 44715

APPLICATION NUMBER AND ADDRESS

P98/0801

3 Penny Lane, McCrae

COMPLETE TO RECORDS

7/8/98

File ordered

Anthony

OFFICER AM

RECEIVED 11/7/02

Yvonne/Robyn

P98/0801.01

Mornington Peninsula Shire

ABN: 53 159 890 143
Private Bag 1000
Rosebud 3939

REPRINTED

TAX INVOICE
OFFICIAL RECEIPT

11/07/2002 Receipt No: 189876

To F & V DIMOPOULOS

3 PENNY LANE
MCCRAE

Qty/ Applic	Reference	Amount
	041 DAA Planning	$100.00
GL Receipt	X2 FOR ABOVE	
To GL Receipt:		

Total Amount:	$100.00
Includes GST of:	$0.00

Amounts Tendered

Cash	$0.00
Cheque	$100.00
Card	$0.00
Money Order	$0.00
Agency Rec	$0.00
Total	$100.00
Rounding	$0.00
Change	$0.00
Nett	$100.00

Printed 11/07/2002 13:26:09
Cashier: brlek

477923

MORNINGTON PENINSULA Shire Council
RECEIVED 11 JUL 2002
MAP FILE
OFFICER/S
XREF
EXT

MINOR AMENDMENTS ENDORSED PLANS & PERMITS

S72, s73 & s62(3) – Planning and Environment Act 1987

Private Bag 1000
Rosebud 3939

Request for minor amendment

The owner of land, or a person with the consent of the owner, may ask the Responsible Authority in writing to amend a permit which applies to the land.

Decision to amend by Responsible Authority

The Responsible Authority may amend the permit if it is satisfied that the amendment-

1. does not change the affect of any condition required by the Victorian Civil and Administrative Tribunal; and
2. does not change the effect of any condition required by a referral authority unless this acceptable to the relevant referral authority; and
3. does not adversely affect the interests of a relevant referral authority, or is acceptable to the relevant referral authority; and
4. will not cause an increase in detriment to any person; and
5. does not change the use for which the permit was issued other than a minor change to the description of the use.

What conditions can be put on permits?

The Responsible Authority may approve an amendment to any plans, drawings or other documents approved under a permit if the amendments are consistent with the planning scheme and the permit.

Note:
Only those alterations/amendments clearly stated below and coloured on 3 copies of the submitted plan will be considered as being approved in the event that an approval is given.

Name of Applicant: FOR VENETTA DIMOPOULOS
Address: 3 Perry Lane MC CRAE
Land Address: AS ABOVE
Date Plans Lodged: 5-7.96
Telephone & Fax No's: 0411787641 OR 97996406
Permit No: P544/96.

Personal Information

Signature of Applicant: [redacted]

Alterations/Amendments (Attach additional pages if required)

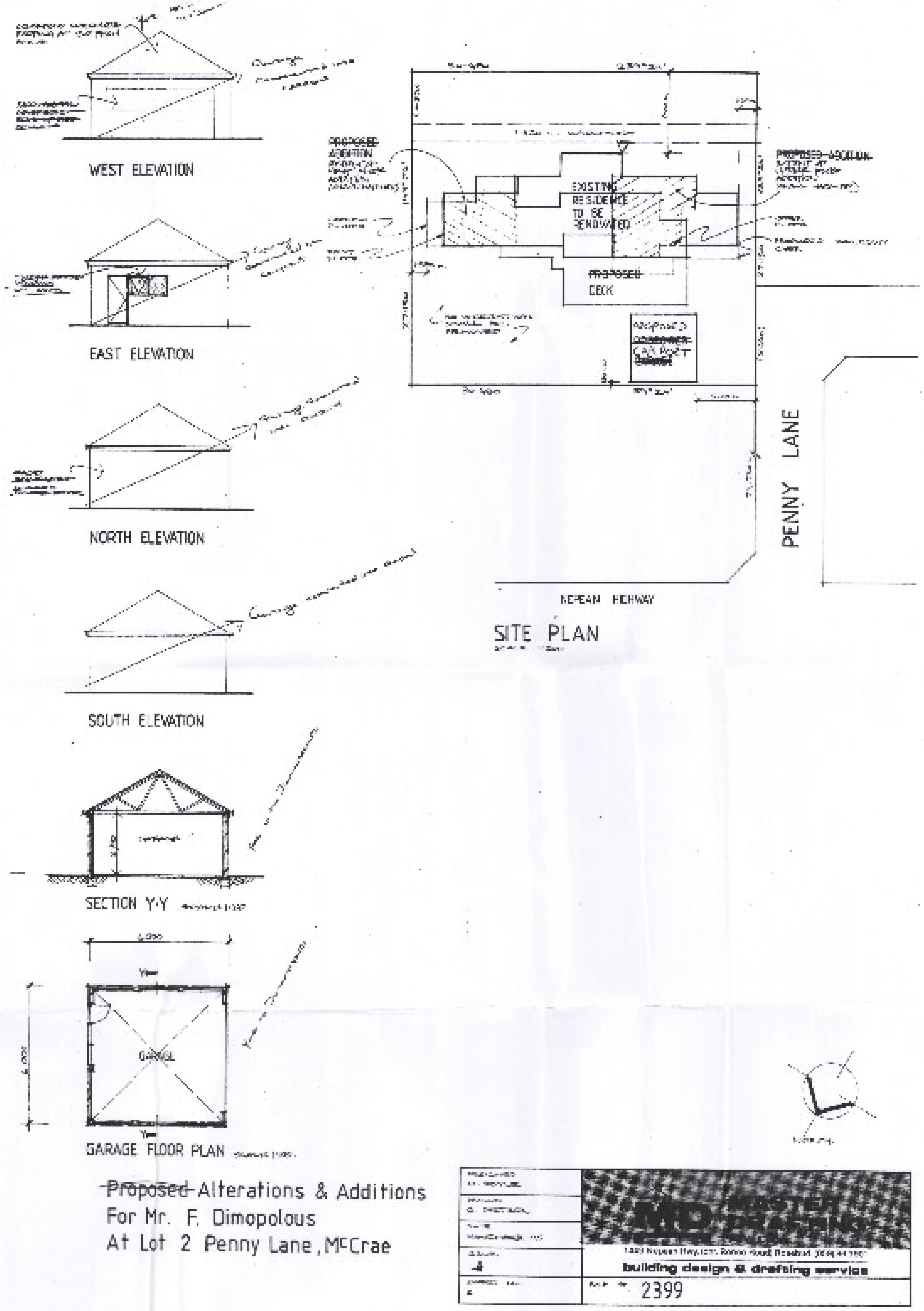
1 Changing the brick Garage to only an open car-port. Dimensions Remain the Same.
2
3
4

Administrative Fee: $50.00 Paid _____ A/C No. 41 Receipt Number: 189876

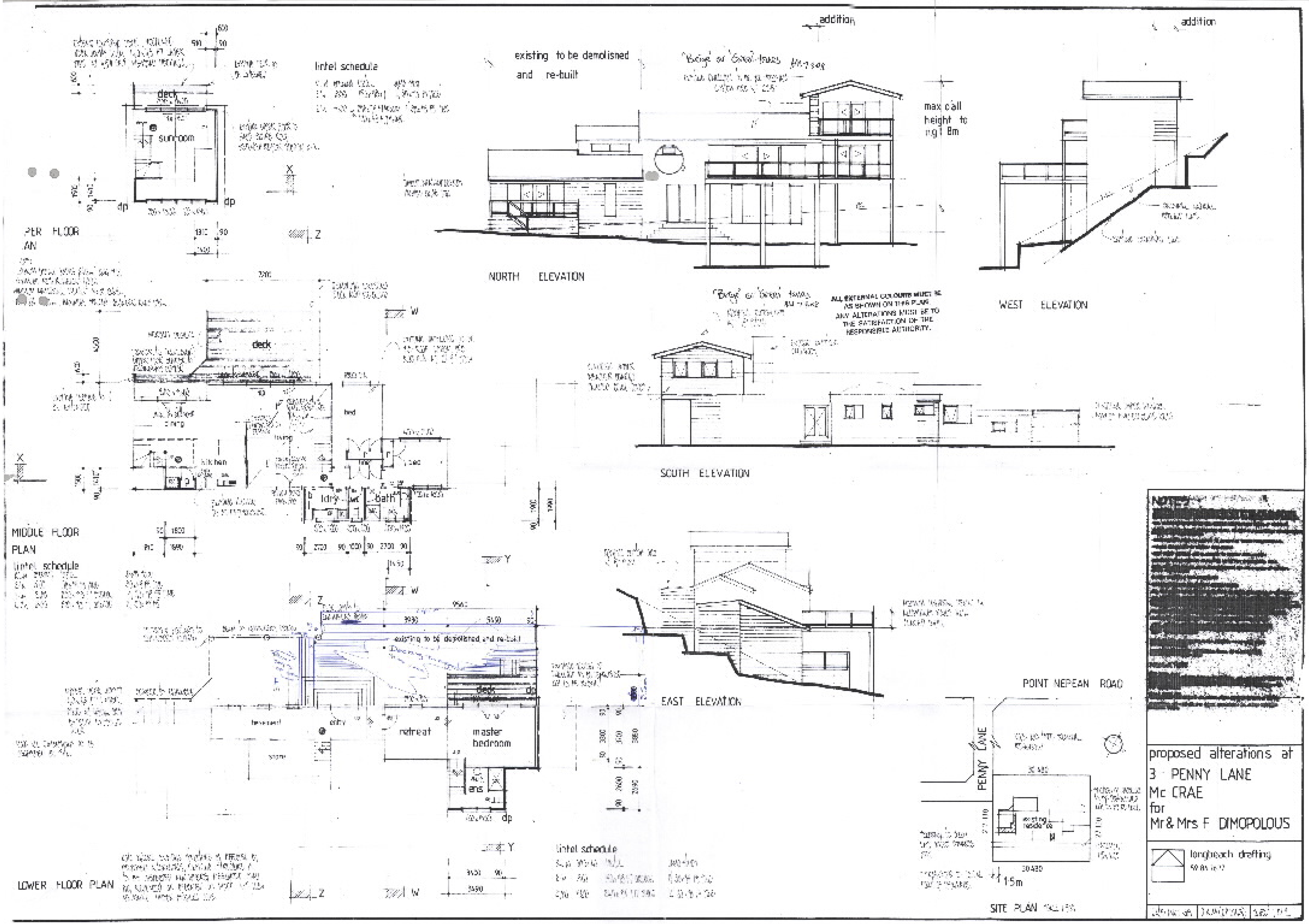
Date: 11/7/02

K/planning/misc/minoram.doc

Registered under 1 Amendment



WEST ELEVATION
EAST ELEVATION
NORTH ELEVATION
SOUTH ELEVATION
SECTION Y-Y
GARAGE
GARAGE FLOOR PLAN
PROPOSED ADDITION
EXISTING RESIDENCE TO BE RENOVATED
PROPOSED ADDITION
PROPOSED DECK
PROPOSED CAR PORT
PENNY LANE
NEPEAN HIGHWAY
SITE PLAN
Proposed Alterations & Additions
For Mr. F. Dimopolous
At Lot 2 Penny Lane, McCrae
building design & drafting service
2399



addition
addition
existing to be demolished and re-built
lintel schedule
deck
sunroom
max ceil height to ng 1 8m
PER FLOOR AN
NORTH ELEVATION
WEST ELEVATION
ALL EXTERNAL COLOURS MUST BE AS SHOWN ON THIS PLAN. ANY ALTERATIONS MUST BE TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
deck
bed
kitchen
ldry
bath
SOUTH ELEVATION
MIDDLE FLOOR PLAN
lintel schedule
existing to be demolished and re-built
deck
retreat
master bedroom
ens
EAST ELEVATION
POINT NEPEAN ROAD
PENNY LANE
existing residence
SITE PLAN
lintel schedule
LOWER FLOOR PLAN
NOTES
[redacted]
proposed alterations at
3 PENNY LANE
Mc CRAE
for
Mr & Mrs F DIMOPOLOUS
longbeach drafting

MINOR AMENDMENTS
ENDORSED PLANS & PERMITS

S72, s73 & s62(3) – Planning and Environment Act 1987

Private Bag 1000
Rosebud 3939

Request for minor amendment

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3. does not adversely affect the interests of a relevant referral authority, or is acceptable to the relevant referral authority; and
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What conditions can be put on permits?

The Responsible Authority may approve an amendment to any plans, drawings or other documents approved under a permit if the amendments are consistent with the planning scheme and the permit.

Note:
Only those alterations/amendments clearly stated below and coloured on 3 copies of the submitted plan will be considered as being approved in the event that an approval is given.

Name of Applicant: FOTI & VENETTA DIMOPOULOS
Address: 3 Penny Lane MC CRAE
Land Address: AS ABOVE
Date Plans Lodged: 7-8-98
Telephone & Fax No's: 0411787641 OR 97996406
Permit No: P9980801

Signature of Applicant: Personal Information

Alterations/Amendments (Attach additional pages if required)

1 Decking in front of master bedroom to be exct to front
2 entry.
3
4

Administrative Fee: $50.00 Paid _____ A/C No. 41 Receipt Number: 189876

Date: 11/7/02

addition

existing to be demolished and re-built

addition

lintel schedule

deck

sunroom

dp

UPPER FLOOR PLAN

NORTH ELEVATION

max wall height to n.g.l. 8m

WEST ELEVATION

ALL EXTERNAL FINISHES MUST BE AS SHOWN ON THIS PLAN. ANY ALTERATIONS MUST BE TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.

MELBOURNE PLANNING SCHEME
PLANNING PERMIT No. [illegible]
ENDORSED PLAN
Dated [illegible]
Signed [illegible] TOWN PLANNER
Date [illegible]

deck

dining

living

kitchen

bed

bed

laundry

wc

bath

MIDDLE FLOOR PLAN

SOUTH ELEVATION

lintel schedule

existing to be demolished and re-built

deck

dp

basement

retreat

master bedroom

ens

dp

LOWER FLOOR PLAN

EAST ELEVATION

POINT NEPEAN ROAD

PENNY LANE

existing residence

15m

SITE PLAN

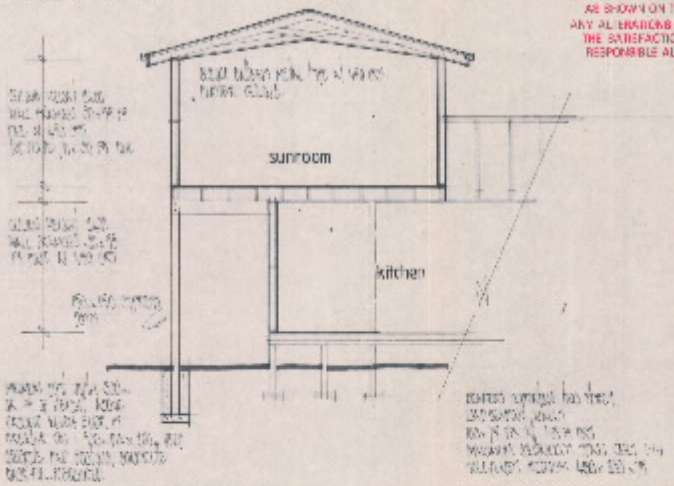
NOTES

INSULATION

proposed alterations at
3 PENNY LANE
Mc CRAE
for
Mr & Mrs F DIMOPOLOUS

longbeach drafting

ALL EXTERNAL COLOURS MUST BE AS SHOWN ON THE PLAN
ANY ALTERATIONS MUST BE TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.



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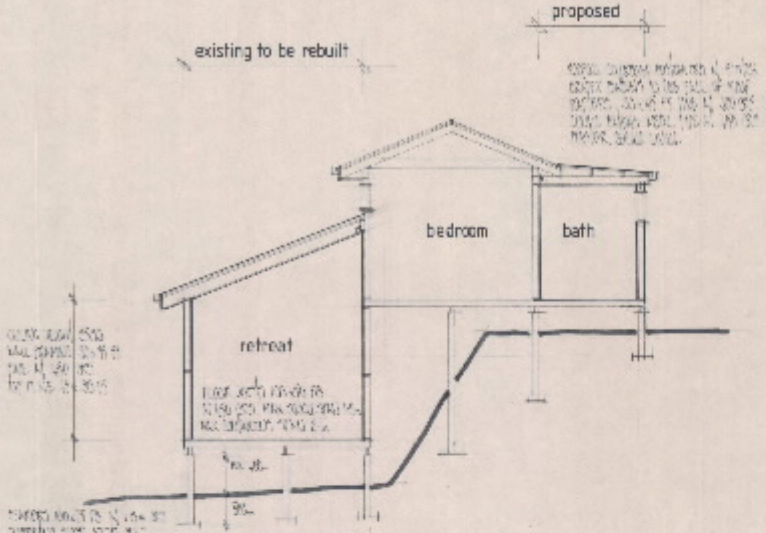

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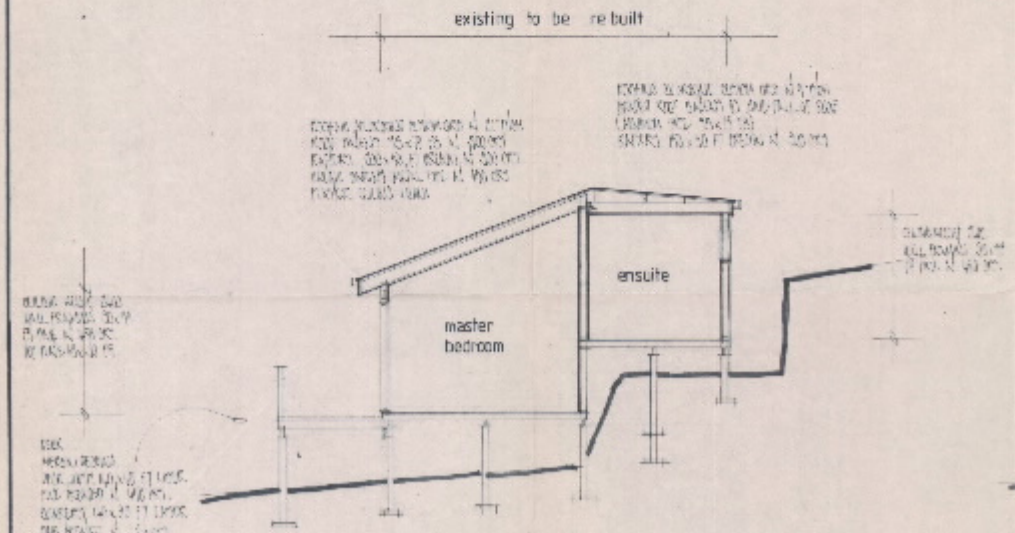

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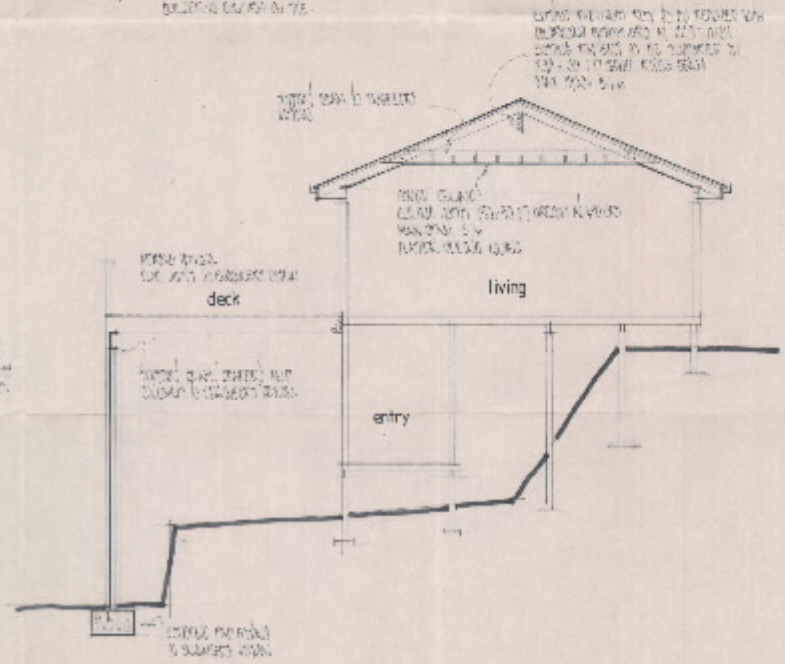


SECTION Z Z

TOWN DEVS. PLANNING SCHEME
PLANNING PERMIT No. T
ENDORSED PLAN
Sheet
Signed
TOWN PLANNER
Date

proposed alterations at
3 PENNY LANE
Mc CRAE
for
Mr & Mrs F DIMOPOLOUS

longbeach drafting

Ref: P980801 : Direct Dial Mr Anthony Matthews on 5986 0963; Fax 5986 0841

7 August 1998

Mr Frank Dimopoulos
3 Penny Lane
MCCRAE 3938

Dear Sir/Madam,

PLANNING APPLICATION P980801
DWELLING ADDITIONS & ALTERATIONS
3 PENNY LANE, MCCRAE (LOT 4, LP. 348585)

I refer to the above application which has been considered and approved.

Attached is a copy of the above Planning Permit subject to the stated conditions - together with the endorsed plans.

If you have any further questions, I will be pleased to assist.

Yours faithfully

Personal Information

Anthony Matthews
DEVELOPMENT PLANNER

Form 4.4

PLANNING PERMIT

Permit No: P980801

Planning Scheme: Flinders

Responsible Authority: Mornington Peninsula Shire Council

ADDRESS OF THE LAND

3 PENNY LANE, MCCRAE

LOT 4, LP. 348585

THE PERMIT ALLOWS:

DEVELOPMENT OF ADDITIONS AND ALTERATIONS TO AN EXISTING DWELLING IN ACCORDANCE WITH THE ENDORSED PLANS.

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

1. The layout of the land, the size and type of the proposed buildings and works, including the materials of construction, on the endorsed plans must not be altered or modified without the consent of the Responsible Authority.
2. All disturbed surfaces on the land resulting from the development must be revegetated and stabilised to the satisfaction of the Responsible Authority.
3. The exterior finish of the building shall be 'Beige' or 'Green' or other non-reflective and muted shades of colour approved by the Responsible Authority and then maintained to its satisfaction.
4. This permit will expire if one of the following applies:

   - The development is not started within two years of the date of this permit.
   - The development is not completed within four years of the date of this permit.

   The Responsible Authority may extend the above periods if a request is made in writing before the permit expires or within the following three months.

Date Issued: Friday, 7 August 1998

Signature For The Responsible Authority:

Personal Information

Mr Anthony Matthews, Development Planner

IMPORTANT INFORMATION ABOUT THIS PERMIT

WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.

(Note: This is not a permit granted under Division 5 of Part 4 of the **Planning and Environment Act 1987.**

WHEN DOES A PERMIT BEGIN?

A permit operates:
* from the date specified in the permit, or
* if no date is specified, from:
  - (i) the date of the decision of the Victorian Civil and Administrative Tribunal, if the permit was issued at the direction of the Tribunal, or
  - (ii) the date on which it was issued, in any other case.

WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if-
   - the development or any stage of it does not start within the time specified in the permit; or
   - the development requires the certification of a plan of subdivision or consolidation under the **Subdivision Act 1988** and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
   - the development or any stage is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the pl of subdivision or consolidation under the **Subdivision Act 1988**.

2. A permit for the use of land expires if-
   - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
   - the use is discontinued for a period of two years.

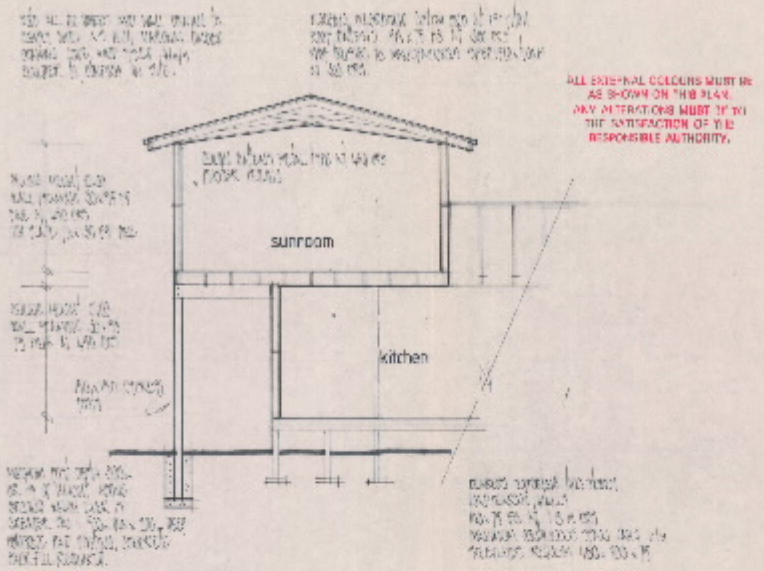
3. A permit for the development and use of land expires if-
   - the development or any stage of it does not start within the time specified in the permit; or
   - the development or any stage of it is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit; or
   - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development; or
   - the use is discontinued for a period of two years.

4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in section 6A(2) of the **Planning and Environment Act 1987**, or to any combination of use, development or any of those circumstances requires the certification of a plan under the **Subdivision Act 1988**, unless the permit contains a different provision-
   - the use or development of any stage is to be taken to have started when the plan is certified; and
   - the permit expires if the plan is not certified within two years of the issue of the permit.
5. The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

WHAT ABOUT APPEALS?

* The person who applied for the permit may appeal against any condition in the permit unless it was granted at the direction of the Victorian Civil and Administrative Tribunal where, in which case no right of appeal exists.
* An appeal must be lodged within 60 days after the permit was issued, unless a Notice of Decision to grant a permit has been issued previously, in which case the appeal must be lodged within 60 days after the giving of that notice.
* An appeal is lodged with the Victorian Civil and Administrative Tribunal.
* An appeal must be made on a Notice of Appeal form which can be obtained from the Victorian Civil and Administrative Tribunal, and be accompanied by the prescribed fee.
* An appeal must state the grounds upon which it is based.
* An appeal must also be served on the Responsible Authority.
* Details about appeals and the fees payable can be obtained from the:

Victorian Civil and Administrative Tribunal
Planning Division
7th Floor, 55 King Street,
Melbourne, 3000.
Phone: (03) 9628-9777 Fax: (03) 9628-9789 DX 210160



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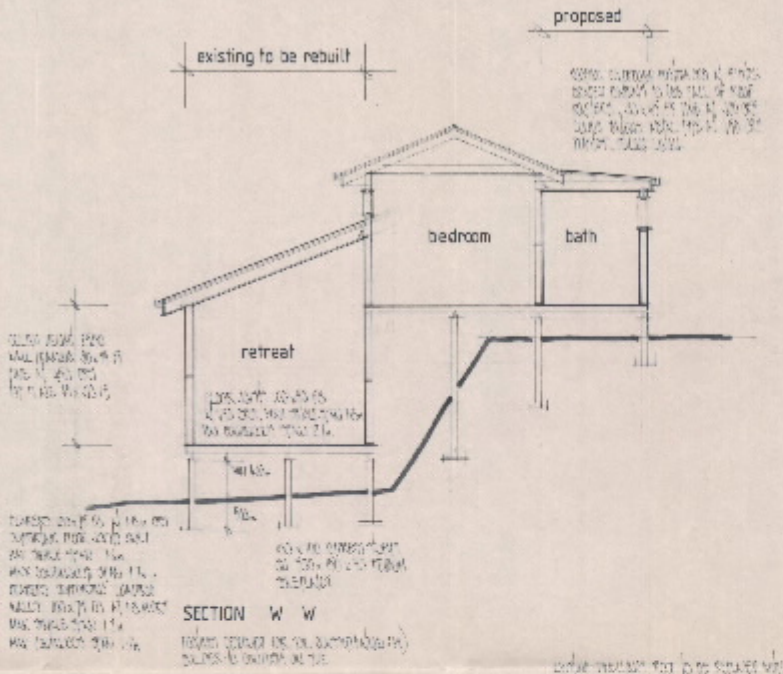

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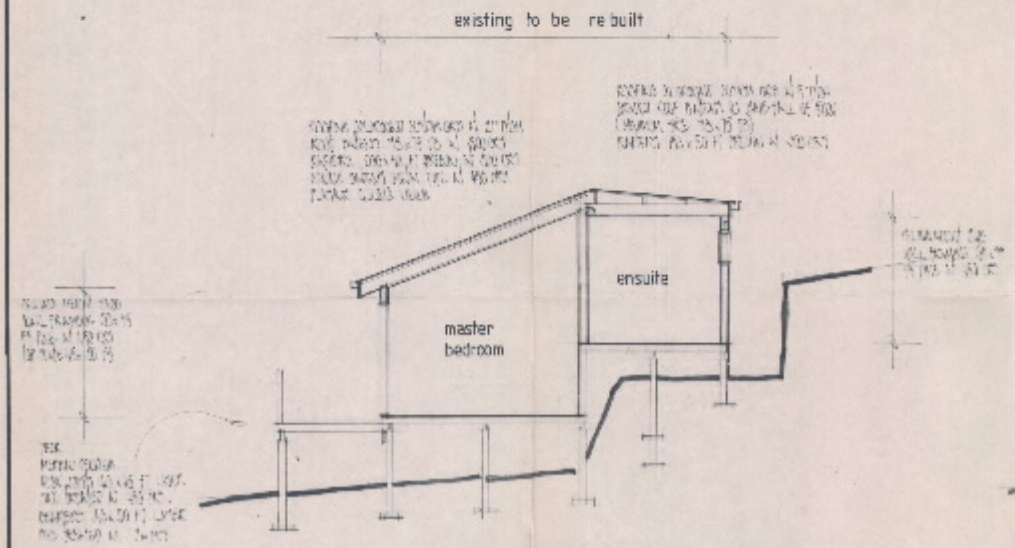

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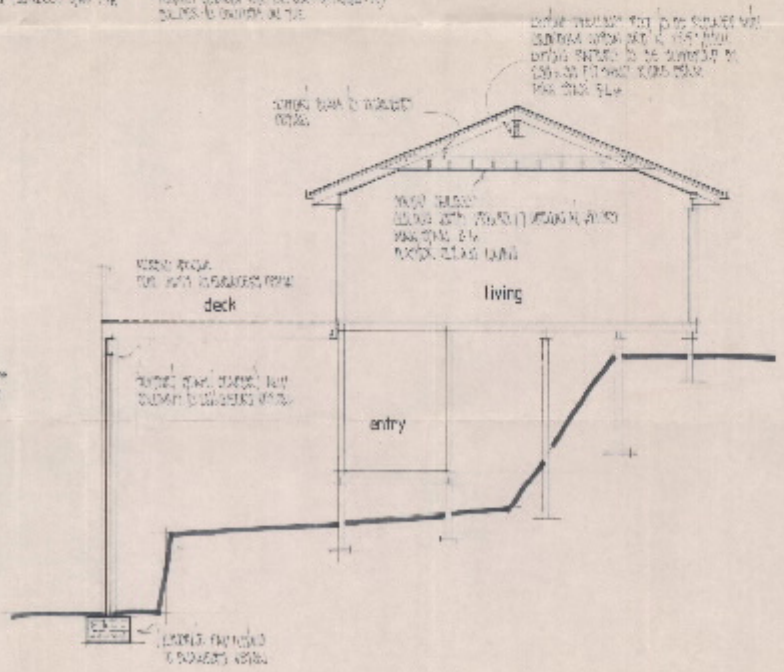
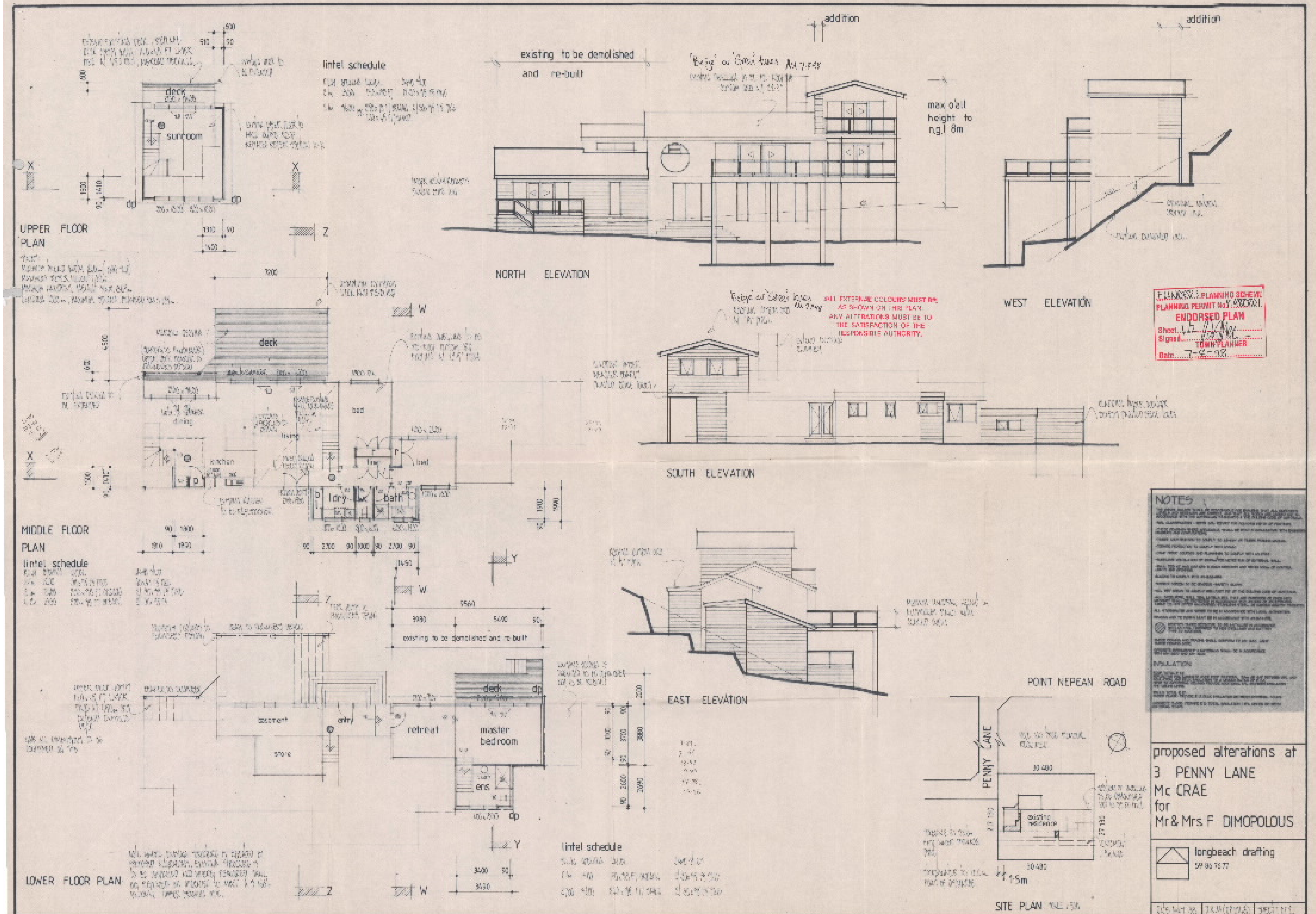


SECTION Z Z

proposed alterations at
3 PENNY LANE
Mc CRAE
for
Mr & Mrs F DIMOPOLOUS

longbeach drafting



addition
addition
existing to be demolished
and re-built
lintel schedule
deck
sunroom
UPPER FLOOR PLAN
max o'all height to n.g.l 8m
NORTH ELEVATION
WEST ELEVATION
ALL EXTERNAL COLOURS MUST BE AS SHOWN ON THIS PLAN. ANY ALTERATIONS MUST BE TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY.
PLANNING PERMIT
ENDORSED PLAN
Sheet
Signed
TOWN PLANNER
Date
deck
dining
kitchen
living
bed
bed
lndry
bath
SOUTH ELEVATION
MIDDLE FLOOR PLAN
lintel schedule
existing to be demolished and re built
deck
basement
entry
retreat
master bedroom
store
ens
EAST ELEVATION
lintel schedule
LOWER FLOOR PLAN
POINT NEPEAN ROAD
PENNY LANE
existing residence
1:5m
SITE PLAN
NOTES
INSULATION
proposed alterations at
3 PENNY LANE
Mc CRAE
for
Mr & Mrs F DIMOPOLOUS
longbeach drafting

DELEGATE REPORT - P 980801 7 August, 1998

Dwelling additions
3 Penny Lane, McCrae

Prepared By:	Anthony Matthews - Development Planner
Planning Scheme:	Flinders - Chapter 1
Zone:	Hillside Residential
Overlay (in building area):	Coastal Policy
Applicant:	Frank Dimopoulos
Received:	24/6/98
Advertising:	Not requested

BACKGROUND

History/previous permits:
Planning Permit P 544/96 was issued on 5 July 1996 for the development additions to an existing dwelling and erection of a garage.

Existing Conditions:
27.130 m 30.48 m residential allotment with frontage of approx. 8.0 m to Penny Lane which is an unconstructed lane. The small frontage is due to the 'U"- shape of Penny Lane. The land which rises steeply towards the rear is steeply sloping and is improved by a two storey weatherboard dwelling (painted white). There are significant views of Port Phillip Bay to the north.

Adjoining properties:
North - Single storey brick dwelling with short axis facing north.
(607 Point Nepean Road)
South - Two storey brick dwelling sited well behind and well above the level of the subject dwelling. This house cannot be seen from the subject site.
North-east - Two storey cement sheet weatherboard dwelling which is sited approx. in line with the dwelling on the subject land on a steeply sloping block.
(605 Point Nepean Road)

PROPOSAL

To make additions to the dwelling to provide for: a sunroom and deck above the existing dining room and kitchen (which will be a second story); a large deck on the north side of the dwelling opposite the dining/living room; new laundry, toilet and bathroom on the south side of the building; part of the existing dwelling to be demolished and to be re-built to provide for a retreat and master bedroom/ensuite.

Materials: 'Green' or 'Beige' Colorbond roof and weatherboard walls in 'Beige' tones
Heights: 7.7 m max. wall height and 8.0 m max. overall height
Setbacks: 1.5 m from west (side) boundary
Works: Existing site cut.

.../2

The application requires approval pursuant to the provisions of the Coastal Policy (Clause 5.05 which requires planning approval for all buildings and works. In addition, a variation is being sought to the 5.5 m max. wall height (specified for both new houses or additions to houses) in the zone pursuant to Clause 4.01(3) and to vary the (west) side boundary setback from 2.2 m to 1.5 m pursuant to Clause 4.01(2)(c). A permit may be granted to vary either or both of these requirements subject to compliance with Clause 4.01(4).

CONSIDERATION

It is considered to be reasonable (and does not require advertising) as:

- the additions/alterations are designed to compliment and enhance the appearance of the existing dwelling;
- the additions/alterations are to be of approved materials and colour finishes;
- there is sufficient separation between the dwelling and surrounding dwellings to ensure that there should be no direct overlooking/loss of privacy or shadowing resulting from the development;
- it should have no significant impact on the views currently enjoyed to and from the area (beyond that which exists with the existing dwelling) particularly given the topography of the area and the surrounding vegetation;
- it is likely to significantly enhance the appearance of the building;
- it should not result in material detriment for any person

RECOMMENDATION

That the application be approved and planning permit P 980801 issued subject to the stated conditions.

Personal Information

Anthony Matthews - Development Planner
Approved: 7 August, 1998

k:\planning\del-rep\1998\r980801.doc

	5162	5163
5179	5180	5181
5199	5200	5201

Map No. A3-5180

00
0 200 250

Section 24/11/1997

MORNINGTON PENINSULA SHIRE COUNCIL
APPLICATION FOR PLANNING PERMIT

REGULATION 12
Code 41 $ .....
APPLICATION NO: 801

Planning and Environment Act 1987 Section 47,
Planning and Environment Regulations, Regulation 12.
Please print clearly. Please read the notes on the back before completing this form.

DATE RECEIVED:

THE APPLICANT: (Who is making this application)

NAME: FRANK DIMOPOULOS

ADDRESS: 3 PENNY LANE MCCRAE

PHONE/BUSINESS HOURS: 0414755234
97047111
59952240

THE LAND: (Give address and Title particulars of the land and attach a sketch plan)

ADDRESS AS ABOVE / COPY OF TITLE AT THE OFFICE WITH PLANS & ELEVATIONS

THE PROPOSAL: (For what use, development or other matter do you require a permit?)

RESIDENTIAL

Describe the way the land is used now:

THE COST OF THE DEVELOPMENT: 100,000

If a permit is required to undertake development, state the estimated cost of the proposed development. You may be required to verify the estimate. $..100,000.....

THE OWNER: (If the applicant is not the owner, give name and address of the owner and complete box A or B)

NAME: AS ABOVE

ADDRESS:

PHONE/BUSINESS HOURS:

A.	I am the owner of the land. I have seen this application.	Owner's Signature F. Dimopoulos Date: 22-7-98
B.	I/We the Applicant declare that I/We have notified the owner about this application.	Applicant's Signature Date:

DECLARATION TO BE COMPLETED FOR ALL APPLICANTS:

I Declare that all information I have given is true. FRANK DIMOPOULOS	Applicant's Signature Date: Personal Information 22-7-98

MOB

Personal Information

HOW TO APPLY FOR A PLANNING PERMIT

Applications must include the information required by Regulation 12 of the Planning and Environment Regulations 1988. This Application for Planning Permit is provided to assist applicants.

YOU MUST GIVE FULL DETAILS of your proposal and attach as many supporting documents as possible. If you do not give enough detail or give suitable description of the proposal, you will be asked for more information. This WILL DELAY your application.

- THE APPLICANT
  - Give your full name or the name of the company.
  - Give your full postal address and your contact phone number.

- THE LAND
  - Give the street number, street name, town and postcode, the Lot Number and Lodged Plan Number or other Title particulars.

- THE OWNER
  - Complete this section if the applicant is not the owner otherwise indicate "Applicant".

- THE PROPOSAL
  - Describe fully what you want to do with the land. The application must include a plain English description of the proposal which clearly conveys the nature of the proposal. This will be used in any notice about the application. Attach additional information if there is sufficient room.
  - Attach a plan to show details of the proposed development.
  - Briefly describe the current use of the land and any buildings.

- THE COST OF THE DEVELOPMENT
  - If a permit is required to develop land, you must give the estimated cost of the development. This is used to assess the amount of any fee you may have to pay.
  - Development here refers to the buildings and works you intend to construct on the land. If no buildings or works are proposed and you only intend to change the use in an existing building or on the land, the work 'NIL' should be written in this square.
  - The Responsible Authority will tell you the fee you have to pay.

HAVE YOU:

* Answered all the questions?
* Included payment to cover the application fee?
* Attached all the maps, plans, photographs and other documents?
* Included a list of all the documents?
* The Responsible Authority will tell you how many copies of each document is necessary.

REMEMBER it is against the Law to give false or misleading information. You may receive a heavy fine and your permit may be cancelled.

Send the completed form and all the documents to the Responsible Authority:
Mornington Peninsula Shire Council, Private Bag 1000, ROSEBUD 3939.

Ppty: 2690.105

Situated on LEFT side of PENNY LANE

P.I.N....: 44715
RATES No.: 5.57476.00000
Ward.....: NEPEAN
Area.....: 827.000 Sq.M.
Ppty Use.: Dwelling
Updated..: 25/05/98 p8505

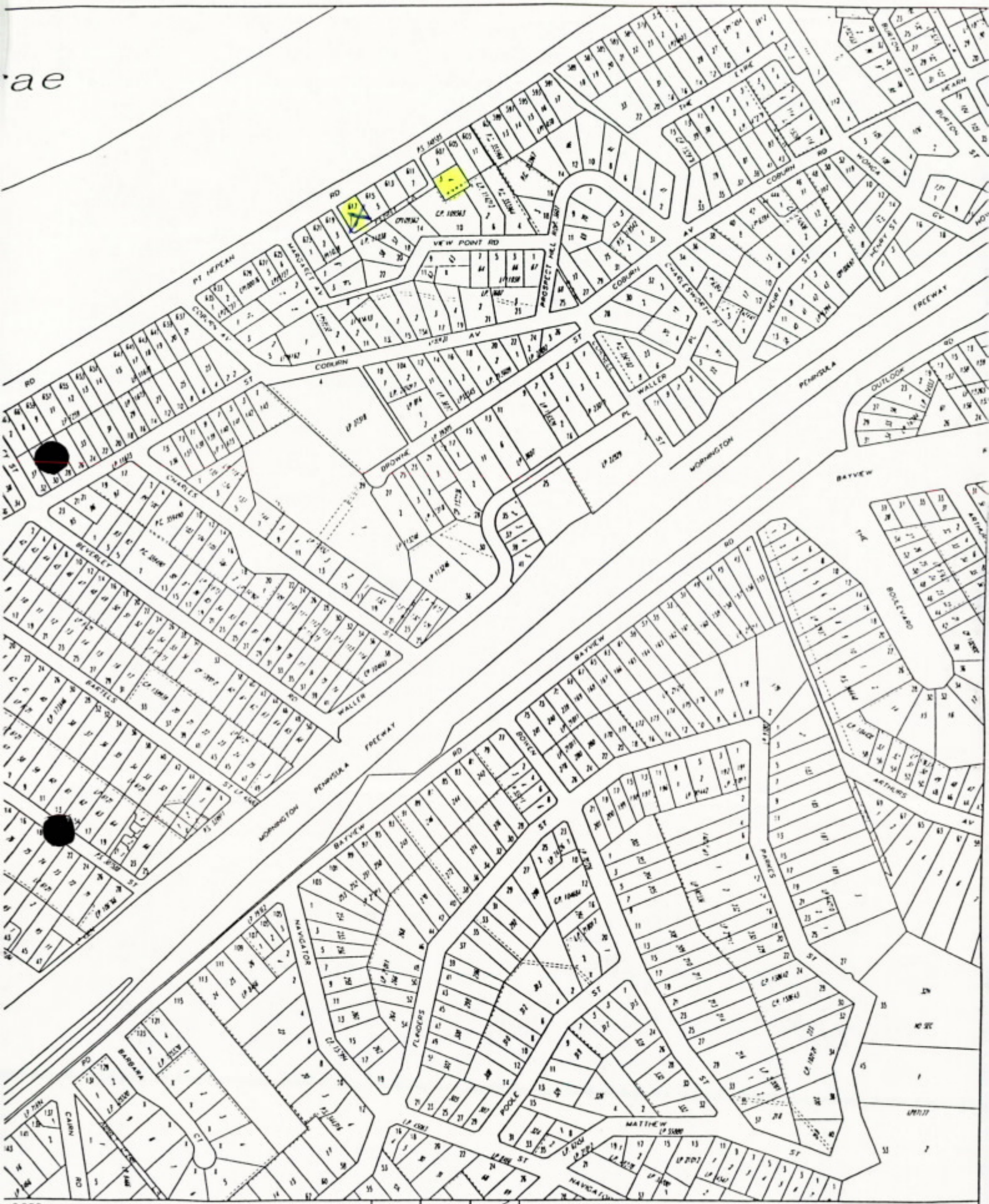
DIMOPOULOS F & V
3 PENNY LANE
MCCRAE 3938

Locn: 3 PENNY LANE, MCCRAE
27.13 x 30.48
2 PS310930
Base map ref: 105
SUP VAL 4.3.92 DESC CHANGE - PART NEW PARCEL
SUP VAL 16TH DEC 1992 - LOT RATED SEPARATELY
NEP BLG PERMITS BLG APPT 19/5/98 DWG ALTS

Applications:
1 PLANNING
Certificates:
2 Rating
3 Planning

Parcel ID's: PS 348585 Lot 4
Volume 10283 Folio 265
Old Number 148726

* End of Coded Data *



5,000

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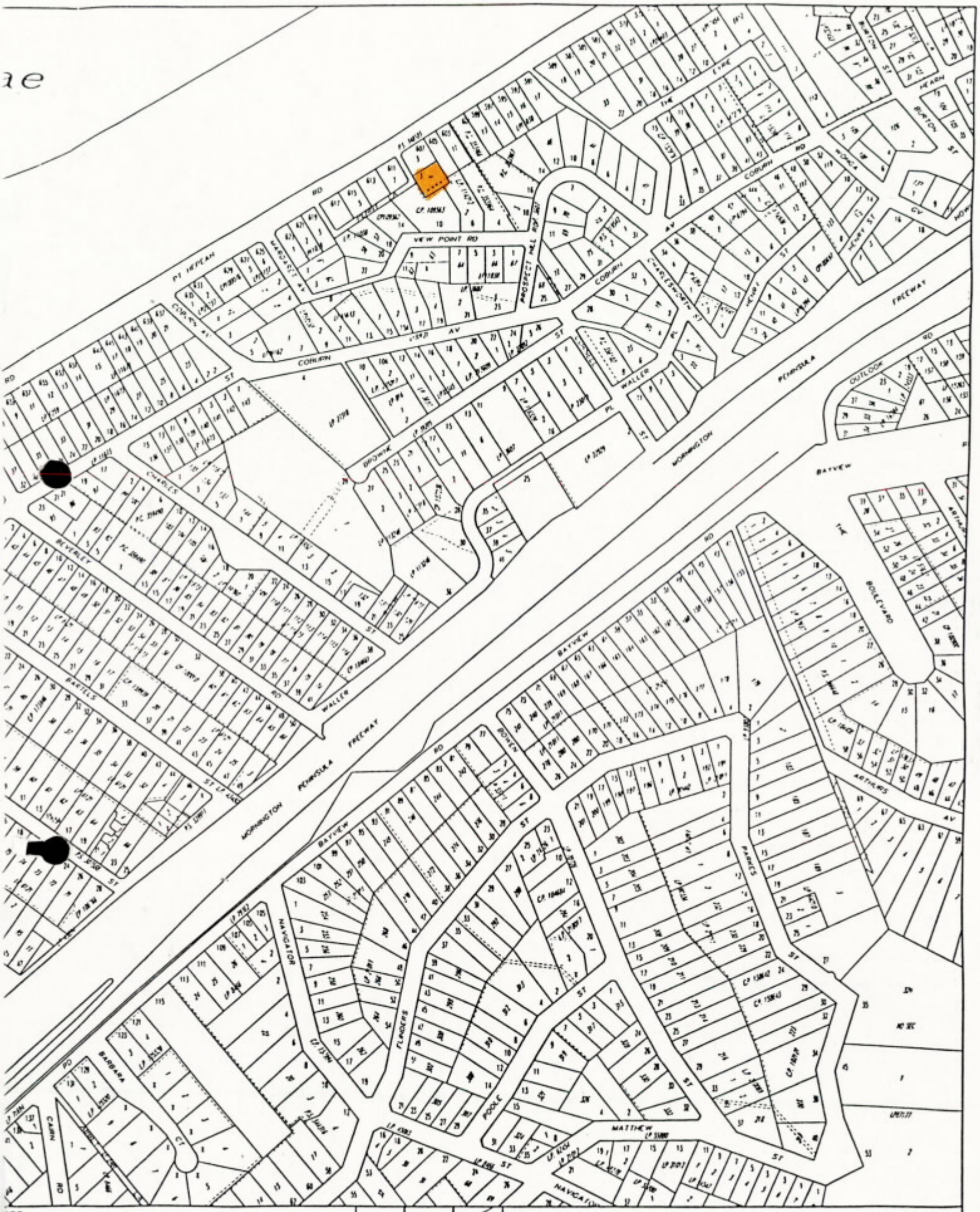
ES

GIS Section 24/11/1997

	5162	5163
5179	5180	5181
5199	5200	5201

Map No. A3-5180



000
50 200 250

S Section 24/11/1997

	5162	5163
5179	5180	5181
5199	5200	5201

Map No. A3-5180

waiting on application form.
Have spoken to Mp Bld Surv.—
form will be sent in soon.

DATE: 27·5·98

FILE NO.		
RECEIVED 28 MAY 1998		
	DEPT.	OFFICER
	04	
FOR DRAFT REPLY FOR C.E.		
DEPARTMENTAL REPLY		
COMMITTEE		
INFORMATION ONLY		

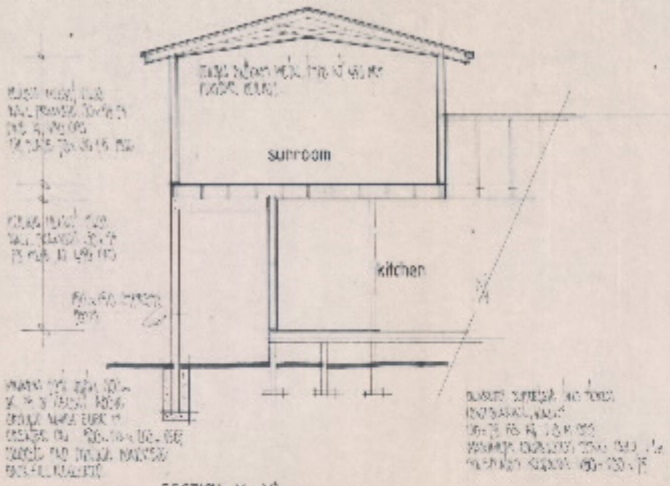
To: Building Dept.
FROM: FRANK DIMOPOULOS

FROM: 3 PENNY LANE
MC CRAE
TEL: 03 59 863 898 Mobile 0414755234

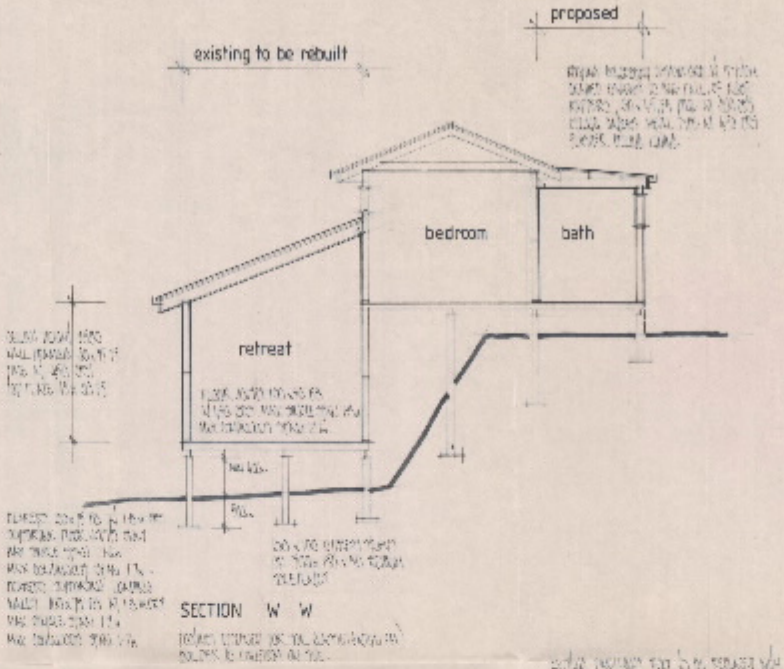
RE: ADDRESS ABOVE.

RENOVATIONS HAVE BEGUN DUE TO SAFETY REASONS, AS ADVISED BY Peninsular Permits, Verbaly.
15 STUMPS, SUPPORTS AND FRAMING have been completed for THE SECTION REQUIRED.
THE SECTION THAT HAS BEEN REPLACED FROM THE ORIGINAL IS HIGHLIGHTED ON THE PLANS.
EXPLANATIONS GLADLY EXPLAINED, IF A MEETING IS REQUIRED.
AS I AM SEEKING PERMITS FOR PLANNING AND BUILDING AS SOON AS POSSIBLE
PLEASE ADVISE

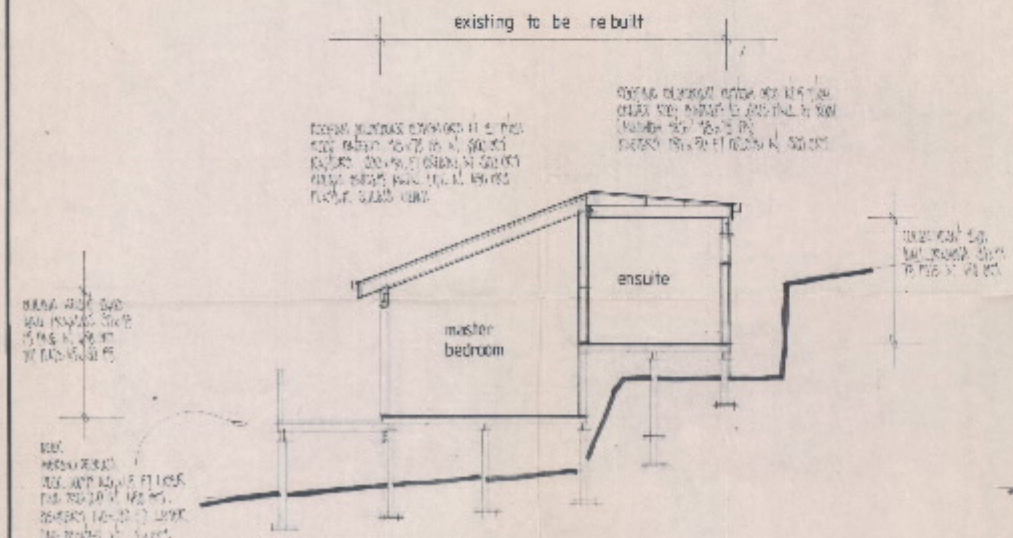
THANKING YOU
FRANK DIMOPOULOS



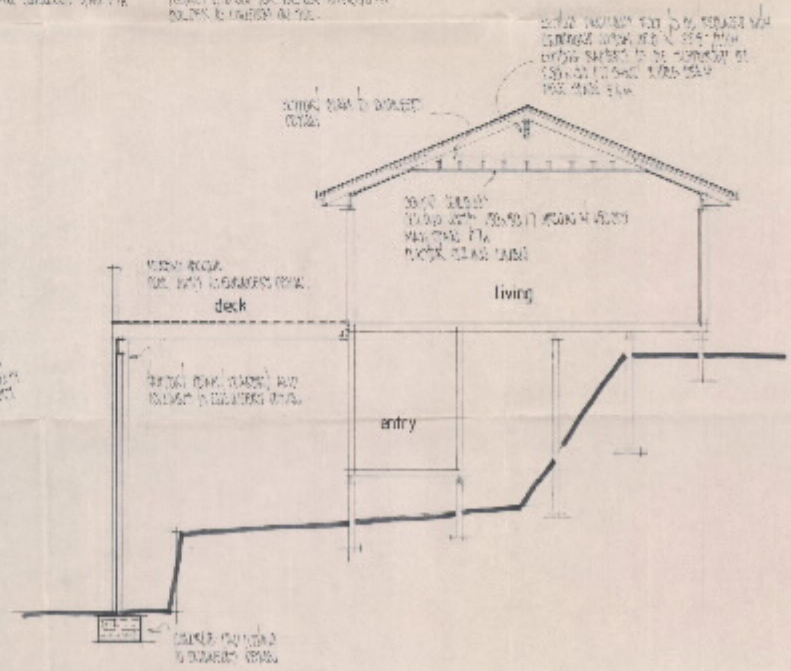
SECTION X X



SECTION W W



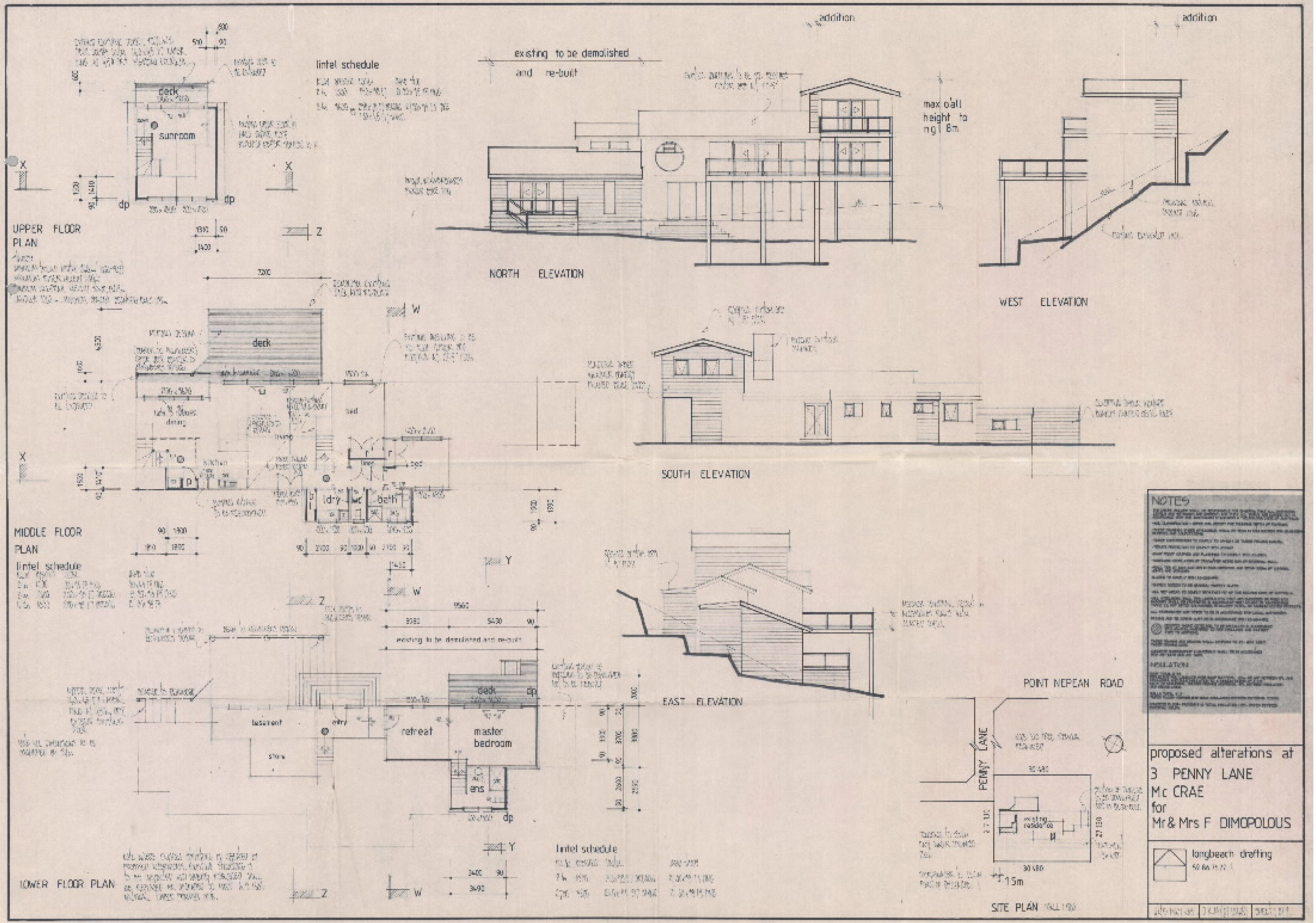
SECTION Y Y



SECTION Z Z

proposed alterations at
3 PENNY LANE
Mc CRAE
for
Mr & Mrs F DIMOPOLOUS

longbeach drafting



addition
existing to be demolished
and re-built
lintel schedule
deck
sunroom
dp
UPPER FLOOR PLAN
max o'all height to ngl 8m
NORTH ELEVATION
WEST ELEVATION
deck
bed
dining
kitchen
bed
ldry
wc
bath
SOUTH ELEVATION
MIDDLE FLOOR PLAN
lintel schedule
EAST ELEVATION
existing to be demolished and re-built
deck
basement
entry
retreat
master bedroom
store
ens
LOWER FLOOR PLAN
lintel schedule
NOTES
INSULATION
POINT NEPEAN ROAD
PENNY LANE
existing residence
15m
SITE PLAN
proposed alterations at
3 PENNY LANE
Mc CRAE
for
Mr & Mrs F DIMOPOLOUS
longbeach drafting

(7)

5 February 1997

Mr and Mrs F & V Dimopoulos
3 Penny Lane
MCCRAE 3938

Dear Sir and Madam

PROPERTY: 3 PENNY LANE, MCCRAE
ASSESSMENT NO: 5.57476

Unfortunately, an error has occurred with our computer system and, as a result, you will not receive instalment reminder notices.

You will, however, still be able to pay by instalments. The instalment dates and amounts are as follows:-

INSTALMENT	DATE DUE	AMOUNT
Second Instalment	28 February 1997	233.25
Third Instalment	30 May 1997	233.25

Please make these payments directly to the Mornington Peninsula Shire Council.

Yours faithfully

Personal Information

Digby Smyth
DEBT COLLECTOR

(Reference: DS:VR 148726 : Direct Dial 03 5986 0255)

ASSESS. NO.	5.57476
RATES	180996
CARDS	
MAPS	
V.M.S.	
FUJ	RI

2.14132/5.5747E

6

148726

CHANGE OF NAME OR ADDRESS FOR SERVICE OF NOTICES

PROPERTY NUMBER/S . . . . . .

. . . . . .

PROPERTIES OWNED BY THIS PERSON/S . . . . .

178 MELBOURNE RD RTE

3 PERRY LANE McCRAE

. . . . . .

. . . . . .

. . . . . .

. . . . . .

. . . . . .

147706
707

SURNAME OF OWNER/S DIMOPOULOS

GIVEN NAME OF OWNER/S F & V

NEW ADDRESS 3 PERRY LANE

McCRAE 3938

. . . . . .TEL: . . . . . .

DATE 5.9.96. RECEIVED B [redacted] (PHONE)

SYSTEM UPDATED . . . . . .

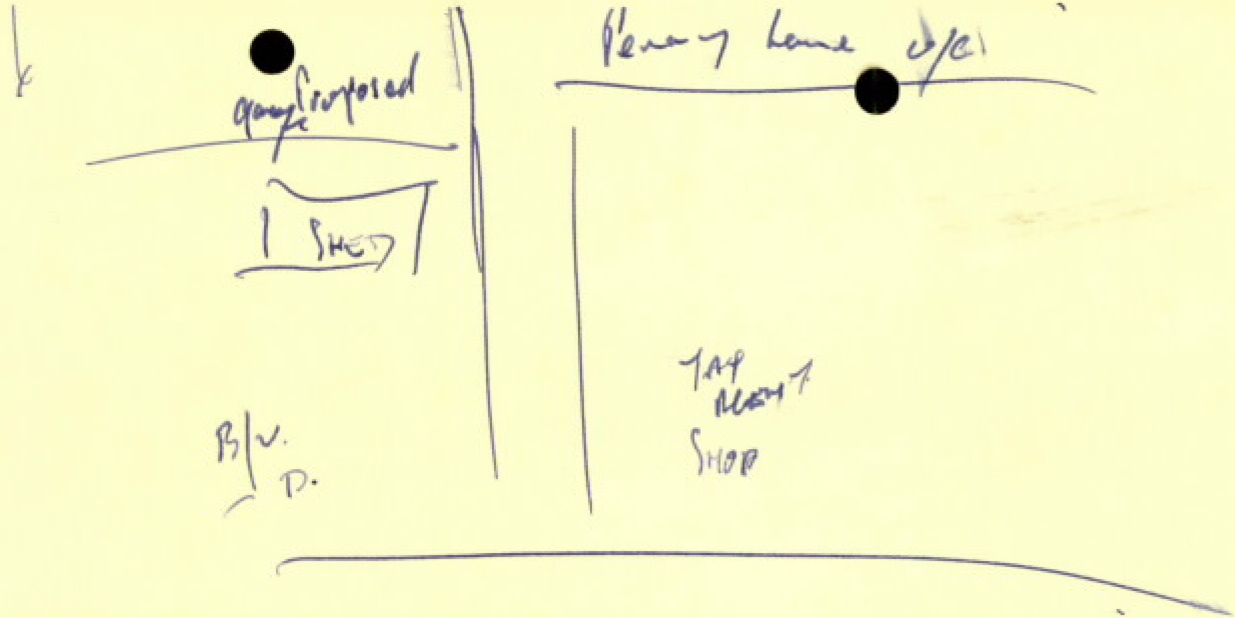
P544/96

148726

T.P.
Hillsbor Dr.

ENTERED

S.F.


SHED
B/V.
D.
SHOP

July 3, 1996

The Manager,
Master Drafting P/L.,
1449 Nepean Highway,
ROSEBUD 3939

Dear Sir/Madam,

APPLICATION NO. P544/96
3 PENNY LANE, MCCRAE

Please find enclosed your copy of the planning permit relating to the above application which outlines the terms of Council's approval. Care should be taken when reading the permit as there is an obligation to comply with the conditions specified.

If there are any queries concerning this matter, please contact me for assistance.

Yours faithfully,

Personal Information

J. CASTLE
DEVELOPMENT PLANNER

(Reference: P 544/96)

Form 4.4 - 148726

PLANNING PERMIT	Permit No:	P 544/96
	Planning Scheme:	Flinders
	Responsible Authority:	Mornington Peninsula Shire Council

ADDRESS OF THE LAND:

NO. 3 (LOT 2, PS 310930) PENNY LANE, MC CRAE

THE PERMIT ALLOWS:

THE USE AND DEVELOPMENT FOR THE PURPOSE OF RENOVATIONS AND ADDITIONS TO THE EXISTING DWELLING AND THE ERECTION OF A GARAGE IN ACCORDANCE WITH THE DETAILS SUBMITTED WITH THE APPLICATION

THE FOLLOWING CONDITIONS APPLY TO THIS PERMIT:

1. The layout of the site and the size and type of the proposed renovations and additions to the existing and the erection of a garage, including the materials of construction, as shown on the endorsed plan shall not be altered or modified, unless in accordance with this permit, without the consent in writing of the Responsible Authority.

2. All external cladding and trim of the proposed additions and garage shall be of a non-reflective nature. Cladding materials shall be coloured or painted in muted shades of green, brown, beige or other colours approved in writing by the Responsible Authority. (All paintwork shall be maintained to the satisfaction of the Responsible Authority).

3. No native tree or shrub other than on land required for the dwelling alterations and additions and the erection of a garage authorised by this permit, its surrounds, ancillary buildings, an access driveway, or in compliance with a lawful requirement in writing by a public authority acting under any Act, shall be felled, lopped, topped, ringbarked or otherwise destroyed or removed, except with the further written approval of the Responsible Authority.

Date Issued:	5/7/96	Signature For The Responsible Authority: John Castle, Development Planner

Personal Information

IMPORTANT INFORMATION ABOUT THIS NOTICE

WHAT HAS BEEN DECIDED?

The Responsible Authority has issued a permit.

WHEN DOES A PERMIT BEGIN?

A permit operates:

- from the date specified in the permit, or
- if no date is specified, from :
  - (i) the date of the decision of the Administrative Appeals Tribunal, if the permit was issued at the direction of the Tribunal, or
  - (ii) the date on which it was issued, in any other case.

WHEN DOES A PERMIT EXPIRE?

1. A permit for the development of land expires if-
   - the development or any stage of it does not start within the time specified in the permit, or
   - the development requires the certification of a plan of subdivision or consolidation under the *Subdivision Act* 1988 and the plan is not certified within two years of the issue of the permit, unless the permit contains a different provision; or
   - the development or any stage is not completed within the time specified in the permit, or, if no time is specified, within two years after the issue of the permit or in the case of a subdivision or consolidation within 5 years of the certification of the plan of subdivision or consolidation under the *Subdivision Act* 1988.

2. A permit for the use of land expires if-
   - the use does not start within the time specified in the permit, or if no time is specified, within two years after the issue of the permit, or
   - the use is discontinued for a period of two years.

3. A permit for the development and use of land expires if-
   - the development or any stage of it does not start within the time specified in the permit; or
   - the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
   - the use does not start within the time specified in the permit, or, if no time is specified, within two years after the completion of the development, or
   - the use is discontinued for a period of two years.

4. If a permit for the use of land or the development and use of land or relating to any of the circumstances mentioned in section 6A(2) of the *Planning and Environment Act* 1987, or to any combination of use, development or any of those circumstances requires the certification of a plan under the *Subdivision Act* 1988, unless the permit contains a different provision -
   - the use or development of any stage is to be taken to have started when the plan is certified; and
   - the permit expires if the plan is not certified within two years of the issue of the permit.

5. The expiry of a permit does not affect the validity of anything done under that permit before the expiry.

WHAT ABOUT APPEALS?

- The person who applied for the permit may appeal against any condition in the permit unless it was granted at the direction of the Administrative Appeals Tribunal where, in which case no right of appeal exists.
- An appeal must be lodged within 60 days after the permit was issued, unless a Notice of Decision to grant a permit has been issued previously, in which case the appeal must be lodged within 60 days after the giving of that notice.
- An appeal is lodged with the Administrative Appeals Tribunal.
- An appeal must be made on a Notice of Appeal form which can be obtained from the Administrative Appeals Tribunal, and be accompanied by the prescribed fee.
- An appeal must state the grounds upon which it is based.
- An appeal must also be served on the Responsible Authority.
- Details about appeals and the fees payable can be obtained from the Administrative Appeals Tribunal

Form 4.4 - 148726

PLANNING PERMIT	Permit No:	P 544/96
	Planning Scheme:	Flinders
	Responsible Authority:	Mornington Peninsula Shire Council

4. Drainage of the subject land shall be in accordance with standards approved by and to the satisfaction of the Responsible Authority.

Date Issued: 5/7/96

Signature For The Responsible Authority:
John Castle, Development Planner

Personal Information

IMPORTANT INFORMATION ABOUT THIS NOTICE

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   - the use is discontinued for a period of two years.

3. A permit for the development and use of land expires if-
   - the development or any stage of it does not start within the time specified in the permit; or
   - the development or any stage of it is not completed within the time specified in the permit, or if no time is specified, within two years after the issue of the permit; or
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DELEGATE REPORT - P 544/96 July 3, 1996

Proposal: RENOVATIONS AND ADDITIONS TO AN EXISTING DWELLING

Address NO. 3 (LOT 2, PS 310930) PENNY LANE, MC CRAE

Prepared By: J Castle

Planning Scheme: ROSEBUD
Applicant:
Zone:
Date Received:
Advertising Requested:

Advertising Completed:

This application seeks to undertake extensive renovations involving the additions and renovations to an existing two storey dwelling on this lot.

Pursuant to the Flinders Planning Scheme the subject land is in a Hillside Residential Zone with a Coastal Policy overlay wherein any buildings and works require approval.

The development application submitted indicates extensive alterations and additions to the existing building to modernise the appearance with new windows, exterior clad and colorbond roofing.

It is also proposed that the first floor will be extended in a northerly direction to increase the living /meals area and provide for a new kitchen.

Currently there is a small bedroom balcony existing as a second storey at the southern end of the building, such area is located above the existing basement and storage area, an addition is to be placed above this providing for a new bedroom, ensuite and walk in robe.

This area of the redevelopment gives the appearance of a third storey level which is prohibited by the Scheme. An assessment of the development shows the proposed extension to this level is to be developed above a storeroom basement which is not considered to be a level within the building concept therefore in taking this into account the proposed additions are considered to be only an extension to the second floor level.

No vegetation is to be removed from the site for this redevelopment as all extensions and alterations are to be confined to the existing development envelope.

It is also proposed that a large two car garage will be constructed at the entry to Penny Lane, such building to be clad in brickwork with a colorbond roof to match.

Overall it is considered that the proposed redevelopment of this site to be consistent to the Scheme's provisions and as the development is primarily upgrading the existing building on the land it is considered that no material detriment would suffered by adjoining residents.

It should be noted that a new house has been erected on the corner of Penny Lane and the Nepean Highway, this building being sited on a lot which has recently been excised from the old parent lot. It is considered that while this dwelling will suffer some overlooking due to the height of the building, this feature will not be exaggerated in the current circumstances as the occupants of the existing dwelling currently overlook existing properties along the Highway frontage.

It is believed that the overall redevelopment and additions is consistent with the planning objectives of the Zone and it is recommended that a permit be granted with conditions.

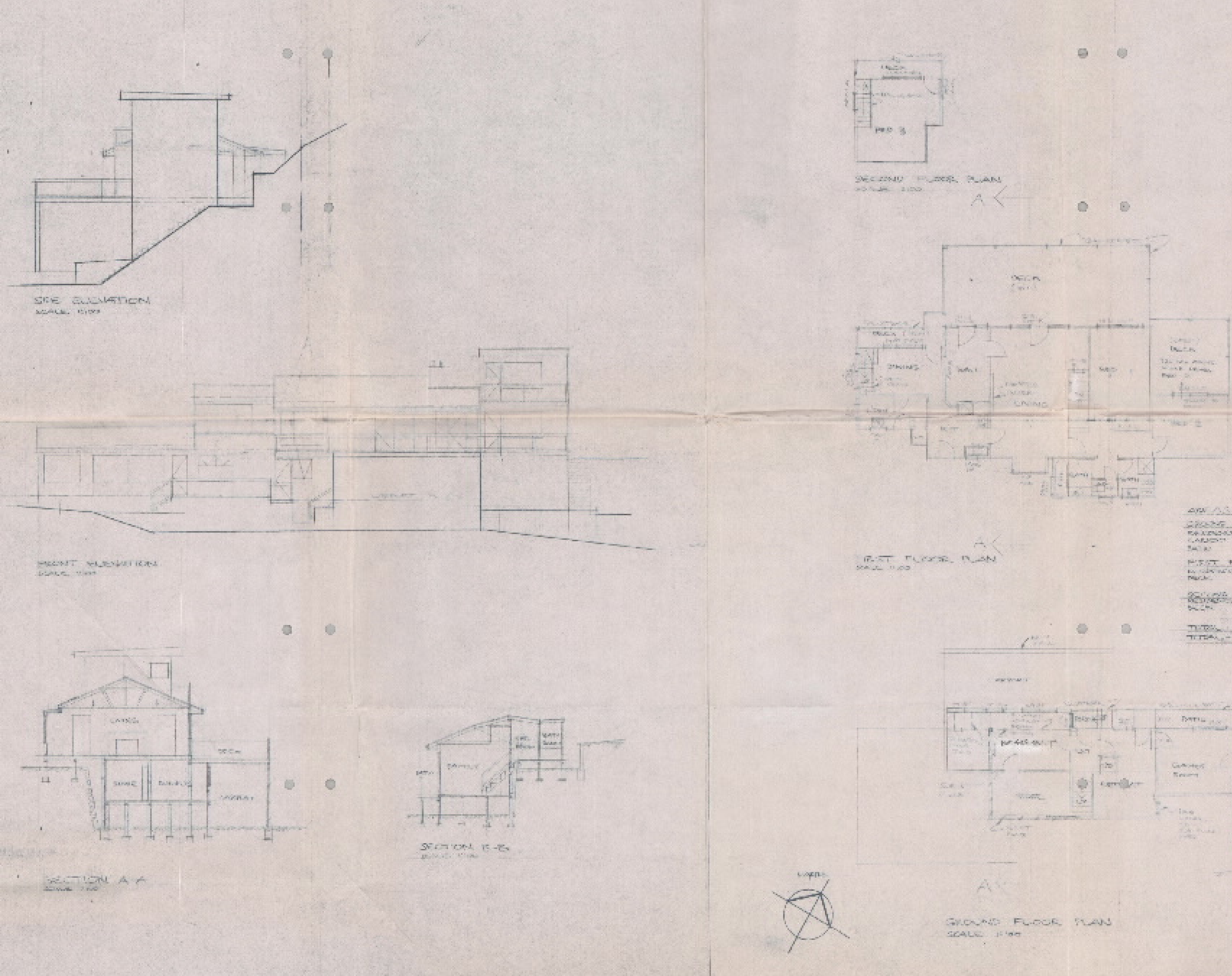
Recommendation: **That P 544/96 be approved and issued with planning permit conditions.:**

Personal Information

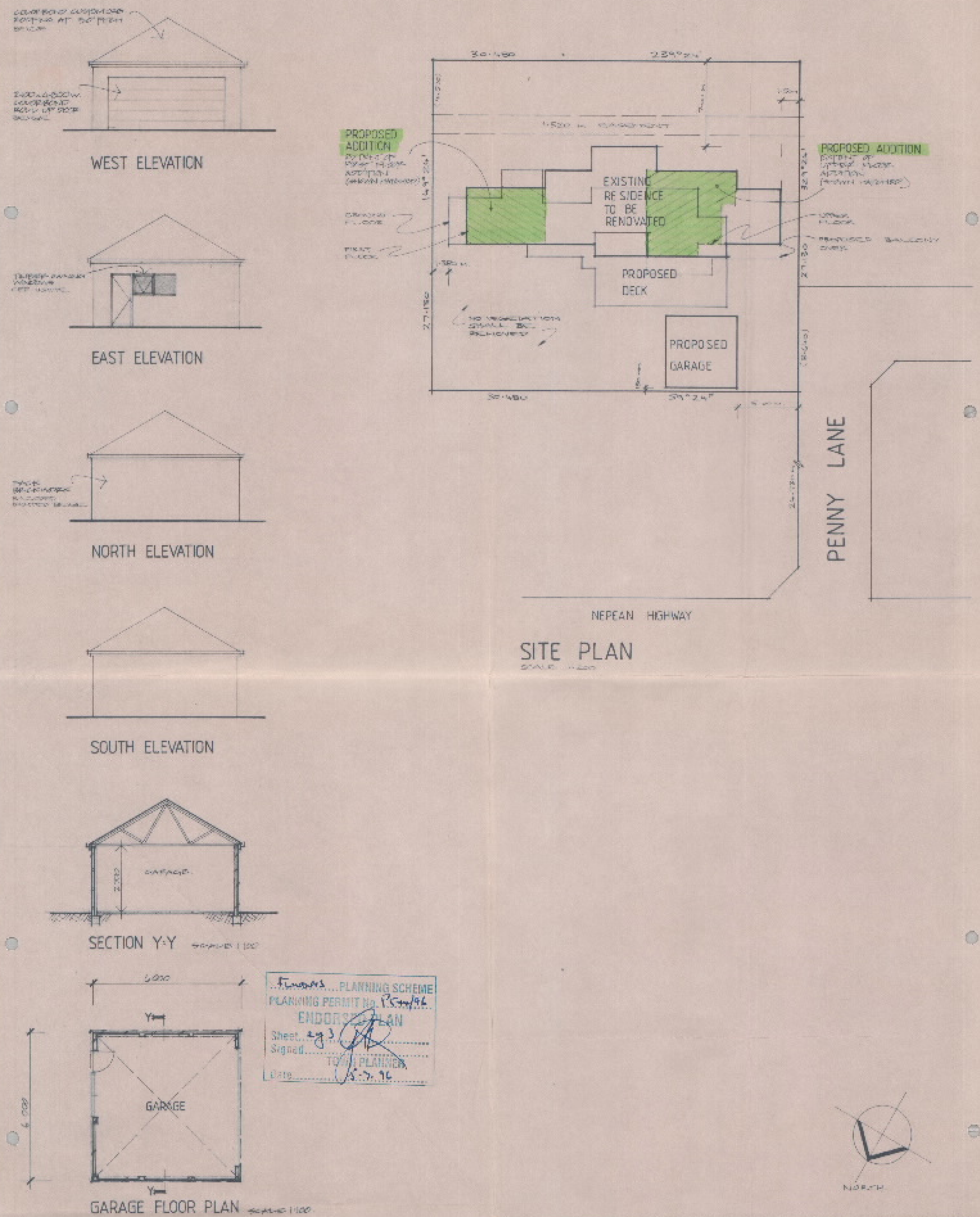
.....

JOHN CASTLE - Development Planner

Approved (date)

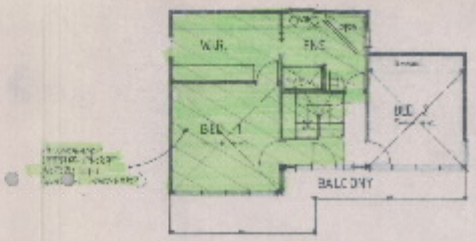


SIDE ELEVATION
SECOND FLOOR PLAN
FRONT ELEVATION
FIRST FLOOR PLAN
DECK
DINING
LIVING
BED 3
SECTION A-A
SECTION B-B
GROUND FLOOR PLAN
FAMILY
BASEMENT
GAMES ROOM
NORTH

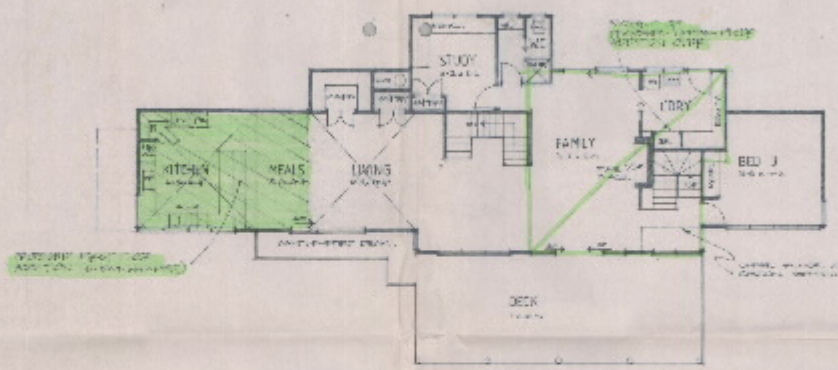


Proposed Alterations & Additions
For Mr. F. Dimopolous
At Lot 2 Penny Lane, McCrae

M. ROYLE	MD MASTER DRAFTING PTY. LTD.
G. PIETZEL	1449 Nepean Hwy. (cnr. Boneo Road) Rosebud (059) 86 3901
NOVEMBER 95	building design & drafting service
A	
2	2399



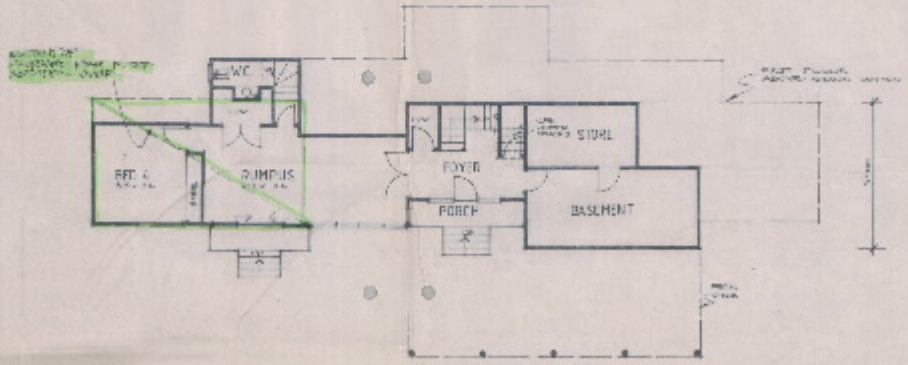
UPPER FLOOR PLAN



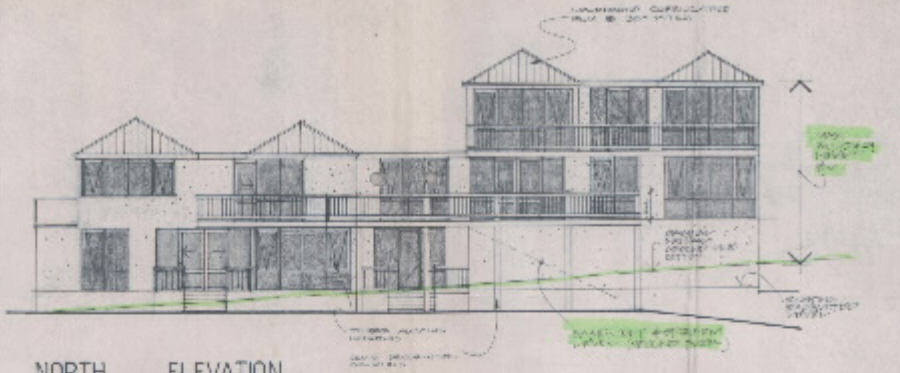
FIRST FLOOR PLAN

EXTERNAL FINISHES

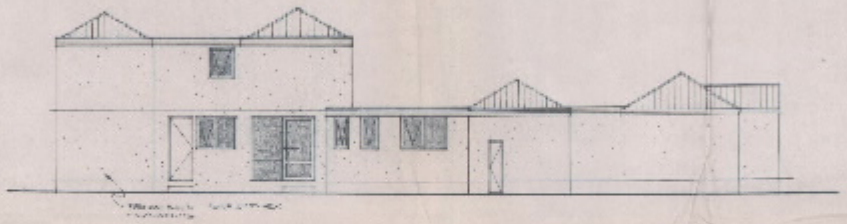
STATISTICS



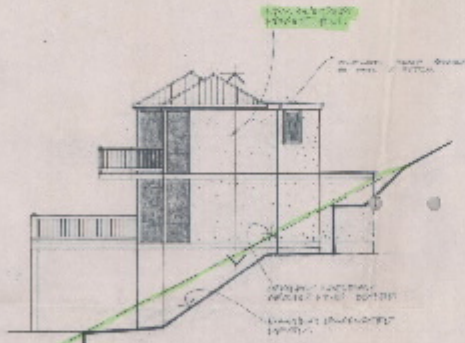
GROUND FLOOR PLAN



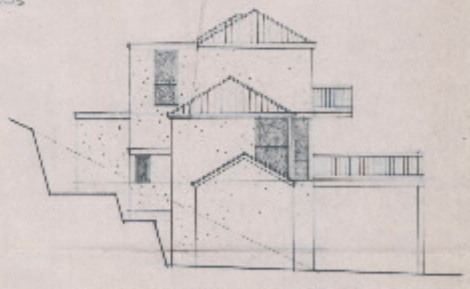
NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION

Proposed Alterations & Additions
For Mr. F. Dimopolous
At Lot 2 Penny Lane, McCrae

A	MD MASTER DRAFTING PTY. LTD. building design & drafting service
	2399

MD MASTER DRAFTING PTY. LTD.
1449 Nepean Hwy. (cnr. Boneo Road) Rosebud 3939

H.I.A.
Stationery Agent

S.R.

26.6.06

Planning Dept.
Mornington Peninsula Shire Council

Re. Lot 2 Perry lane McCRAE P 0544/06

Dear Sir/Madam,

Please find attached amended drawings showing building heights etc... and existing conditions drawings.

Regards

Personal Information

JAMIE WARD.

Proposed Renovation – Existing dwelling
23/4/96

File Note: SR

Cl 4.0!

5/6/96

P 544/96

3 Penny Lane McCrae.

- Existing Conditions: no plan provided. - existing dwelling to be altered and proposed additions (extent unclear from plans). Garage proposed at 5m front setback. Severe topographic constraints apparent
- Zoning: HR / Coastal Policy - permit regd for wall height >5.5m, reduced front setback and under Coastal Policy.
- Heights: wall ~ 7.5m? Overall: 8m (*)
- Setbacks: front < 7.5m
  Sides: W - 1.5 (wall height 7.5m?)
  E - min 1.38m (4m height)
- Materials: beige external finish (timber/Colorbond)

Additional info: * Existing conditions plan
* section to determine heights and extent of basement under ground (check for 3 levels)
* wall height / overall height dimensioned on each elevation
* N.G.L clearly indicated on West elevation

Adv - await additional info first

(*) Additional info letter needs to be done

Rory 21/6 requesting additional info & plans.

DEVELOPMENT APPROVALS SECTION

RESIDENTIAL USES - DWELLINGS / UNITS / ASSOCIATED WORKS.

Application no P544/96.
Date received 17.5.96.
Counter / Mail

Property no 2690.105/148726.
Title details LOT 2 PS310930.
Property address 3 PERRY CLOSE
Zoning HR / Coastal Policy
Type of work RENOVATIONS & ADDITIONS.
Permit Required / not required
Type of permit Delegated / Council
Officer dealing with application SR.
Comments to officer

	REQUIRED	RECEIVED
Plans	4	4
Town Planning application form	1	1
Permit fees rec no.	$130	$130
Carparking fee (commercial)		

Building application	yes / no
Drainage check	yes / no
Site inspection required	yes / no
Building height over 4.5 m	yes / no
Advertising required	yes / no
Advertising prepared	Date .....
Tree removal	yes/no
Colour on plan	yes/no
Referrals	yes /no
Engineer	yes / no
Road opening	yes / no
Health Dept.	yes / no
Building Surveyor	yes / no
Other	

Regulation 12

code 41 $ 130.00

APPLICATION NUMBER

P 544/96

DATE RECEIVED

17/5/96

APPLICATION FOR A PLANNING PERMIT

Planning and Environment Act 1987 Section 47,
Planning and Environment Regulations, Regulation 12
Please print clearly. Please read the notes on the back before completing this form.

THE APPLICANT. Who is making this application. 148726.

Name MASTER DRAFTING PTY. LTD.

Address 1449 NEPEAN HIGHWAY ROSEBUD. (059) 86 3901 Phone during business hours

THE LAND. Give the address and title particulars of the land, and attach a sketch plan

LOT 2 PENNY LANE McCRAE

THE PROPOSAL. For what use, development or other matter do you require a permit?

PROPOSED RENOVATIONS AND ADDITIONS.

Describe the way the land is used now

EXISTING RESIDENCE

THE COST OF THE DEVELOPMENT

If a permit is required to undertake development, state the estimated cost of the proposed development. You may be required to verify this estimate. $ 80,000.

THE OWNER If the applicant is not the owner, give the name and address of the owner and complete box A or B.

Name: FRANK DIMOPOLOUS

Address: 178 MELBOURNE ROAD RYE 3941 Phone during business hours: (059) 851167

A. I am the owner of the land. I have seen this application	Owner's Signature Date:
B. I/We the Applicant declare that I/We have notified the owner about this application	Applicant's Signature Personal Information Date: 17/05/96.

DECLARATION TO BE COMPLETED FOR ALL APPLICATIONS:

I declare that all the information I have given is true	Applicant's Signature Personal Information Date: 17/05/96.

HOW TO APPLY FOR A PLANNING PERMIT

.tions must include the information required by Regulation 12 of the Planning and Environment :ions 1988. This Application for Planning Permit is provided to assist applicants.

MUST GIVE FULL DETAILS of your proposal and attach as many supporting documents as possible. do not give enough detail or give suitable description of the proposal, you will be asked for more ation. This WILL DELAY your application.

- **THE APPLICANT**
  - Give your full name or the name of the company.
  - Give your full postal address and your contact phone number.

- **THE LAND**
  - Give the street number, street name, town and postcode, and the lot number and lodged plan number or other Title particulars
  - If you attach a plan, include:
    - the boundaries of the land and their measurements
    - the street it faces, the nearest intersecting street, the distance from this street and the name of all streets on the plan
    - the direction of north and the scale of the plan

- **THE OWNER**
  - Complete this section if the applicant is not the owner; otherwise indicate "applicant".

- **THE PROPOSAL**
  - Describe fully what you want to do with the land. The application must include a plain English description of the proposal which clearly conveys the nature of the proposal. This will be used in any notice about the application. Attach additional information if there is insufficient room.
  - Attach a plan to show details of the proposed development.
  - Briefly describe the current use of the land and any buildings.

- **THE COST OF THE DEVELOPMENT**
  - If a permit is required to develop land, you must give the estimated cost of the development. This is used to assess the amount of any fee you may have to pay.
  - Development here refers to the buildings and works you intend to construct on the land. If no buildings or works are proposed any you only intend to change the use in an existing building or on the land , the word 'NIL' should be written in this square.
  - The Responsible Authority will tell you the fee you have to pay.

HAVE YOU:

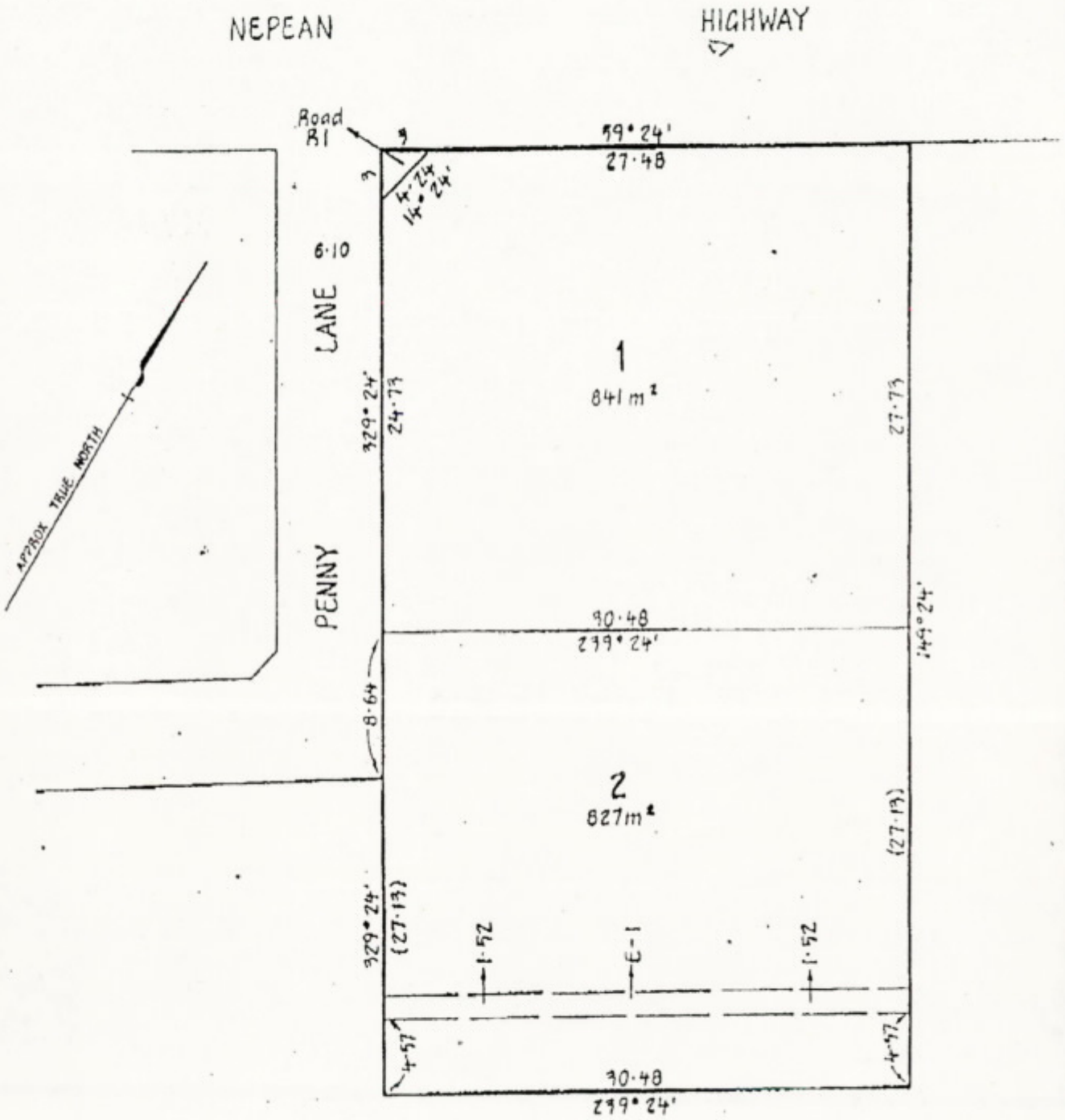
- Answered all the questions?
- included payment to cover the application fee, if required?
- attached all the maps, plans, photographs and other documents?
- included a list of all the documents?
- The Responsible Authority will tell you how many copies of each document it needs.

:MEMBER it is against the law to give false or misleading information. You may receive a heavy fine and you :mit may be cancelled.

nd the completed form and all the documents to the Responsible Authority:
ornington Peninsula Shire Council, Rosebud Office, Private Bag 1000, ROSEBUD 3939

225

PLAN OF SUBDIVISION	STAGE No.	PLAN NUMBER
	—	PS 910930 Y



WATSONS PTY. LTD.
LICENSED SURVEYORS
5 MAIN STREET, MORNINGTON 3931 PH. (059) 75 4644

ORIGINAL

Ian Thomas Muir

SHEET 2 OF 2

MORNINGTON PENINSULA SHIRE COUNCIL

BONEO ROAD, (PRIVATE BAG 1000) ROSEBUD, 3939

OFFICIAL RECEIPT

TELEPHONE: (059) 81 1500

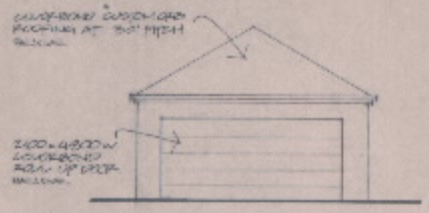
IF PAYMENT HAS BEEN MADE BY CHEQUE OR CREDIT CARD, THIS RECEIPT IS ISSUED SUBJECT TO PAYMENTS BEING CLEARED.

REFERENCE	ACCOUNT NUMBER	AMOUNT PAID
TOWN PLANNING PERMITS		130.00

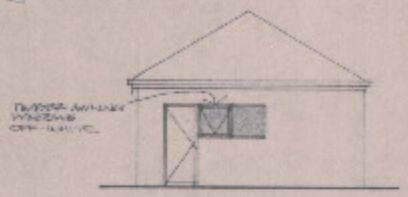
MASTER DRAFTING

0000

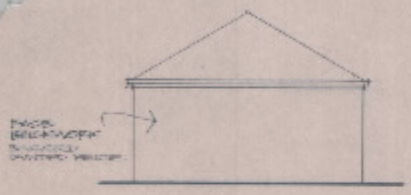
TOTAL PAID: 130.00
DATE: 17/05/96
RECEIPT No.: 18434
REMITTANCE No.:



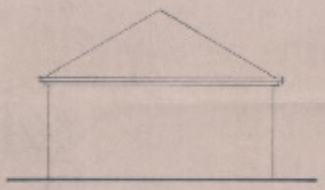
WEST ELEVATION



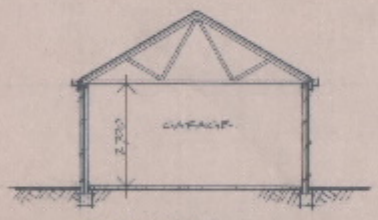
EAST ELEVATION



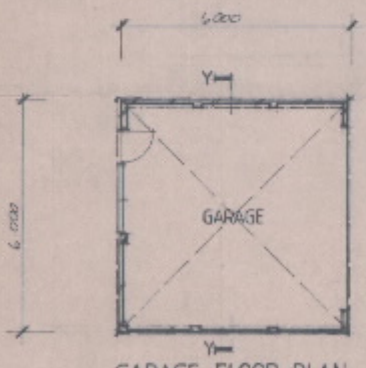
NORTH ELEVATION



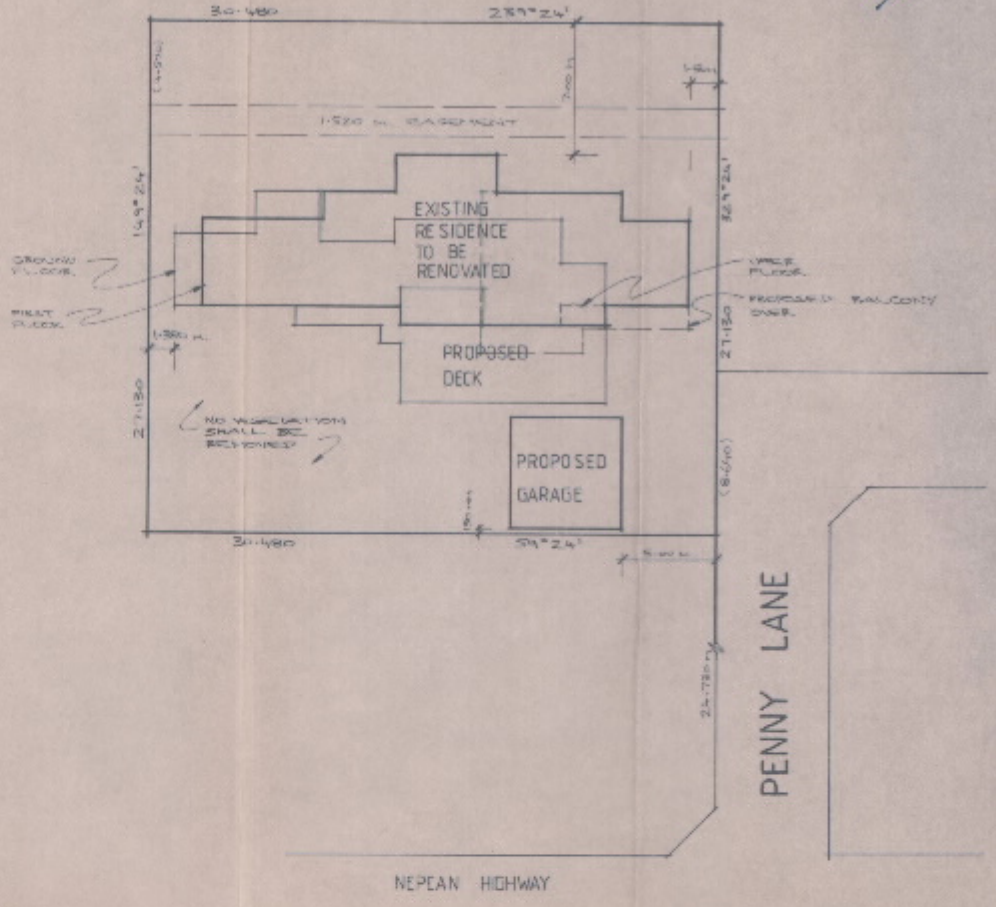
SOUTH ELEVATION



SECTION Y-Y



GARAGE FLOOR PLAN

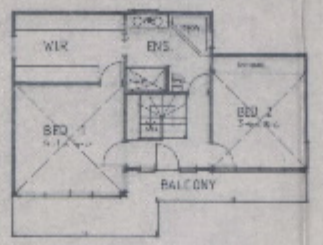


SITE PLAN

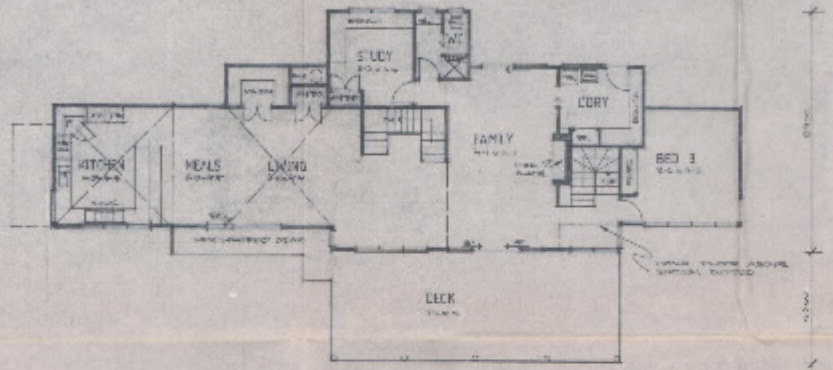
NORTH

Proposed Alterations & Additions
For Mr. F. Dimopolous
At Lot 2 Penny Lane, McCrae

DESIGNED H. DOYLE	MD MASTER DRAFTING PTY. LTD.
DRAWN G. BERTRAM	1449 Nepean Hwy (cnr. Bonco Road) Rosebud. (059) 86 3931
DATE NOVEMBER 95	building design & drafting service
SCALE	
SHEET No. 2	JOB No. 2399



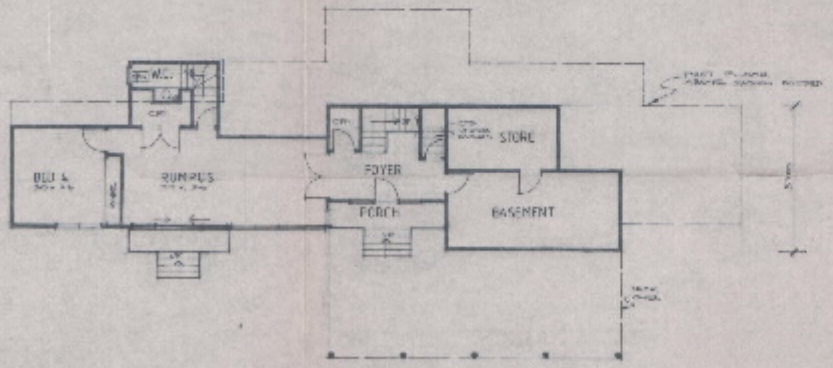
UPPER FLOOR PLAN



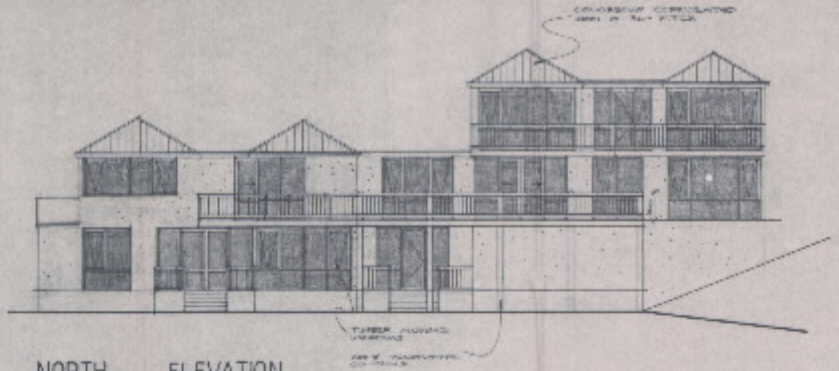
EXTERNAL FINISHES:

STATISTICS

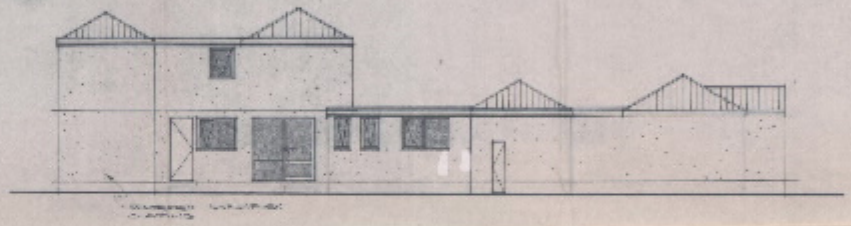
FIRST FLOOR PLAN



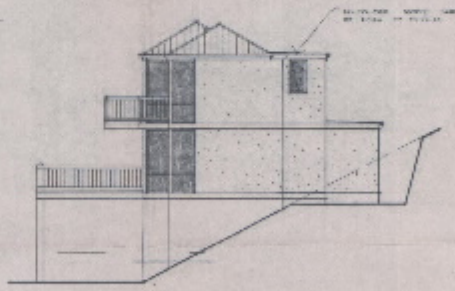
GROUND FLOOR PLAN



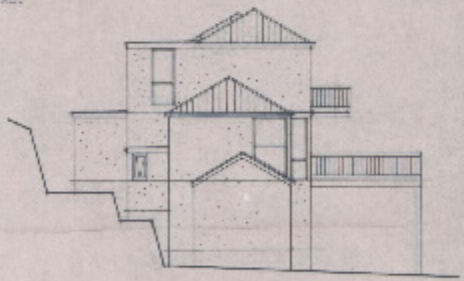
NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION

Proposed Alterations & Additions
For Mr. F. Dimopolous
At Lot 2 Penny Lane, McCrae

MASTER DRAFTING
building design & drafting service
2399

Ppty: 2690.105 Situated on LEFT side of PENNY LANE	P.I.N....: 44715 RATES No.: 5.57476.00000 Ward.....: MATTHEW RIDIN Area.....: 827.000 Sq.M. Ppty Use.: Dwelling
DIMOPOULOS F & V 178 MELBOURNE ROAD RYE 3941	Certificates: 1 Rating 2 Planning
Locn: 3 PENNY LANE, MCCRAE 27.13 x 30.48 2 PS310930 Base map ref: 105 SUP VAL 4.3.92 DESC CHANGE - PART NEW PARCEL SUP VAL 16TH DEC 1992 - LOT RATED SEPARATELY	
Parcel ID's: PS 310930 Lot 2 Old Number 148726	* End of Coded Data *

Notice of Disposition of an Interest in Land

Previously noted File. 148726 (4)

Common form to be completed by ALL VENDORS—USE BLOCK LETTERS
Legible copies only accepted

A copy of this form is to be forwarded (where applicable) to:
Commissioner of Land Tax, 436 Lonsdale Street, Melbourne 3000; Melbourne and Metropolitan Board of Works, Box 4342, P.O. Melbourne 3001; State Rivers and Water Supply Commission, 590 Orrong Road, Armadale 3143, or Branch Office, Municipality—Forward to the Municipal Office in which property is situated; Local Sewerage, Water and River Improvement Authority.

FOR OFFICE USE ONLY	REFERENCE No.	DATE	Rate o/o Ten	Reg. Rate or Agents List	No.	Code	W.B.M. Resp.	Rate Hold A/C	
	RIX 56 (1 3)	(13)	(75)	Add	82	87	(94)	Add	(95) (96)
				Delete	88	93			

PARTIES TO THE TRANSACTION

VENDOR/TRANSFEROR
Surname Radcliffe
Name Joseph & Agnes Flint
Address 607 Pt. Nepean Road, McCrae
Address for service of future notices
as above

PURCHASER/TRANSFEREE
Surname Dimopoulos
Name Foti & Venetta
Address 178 Melbourne Rd, Rye
Address for service of future notices
not known

DETAILS OF TITLE AND TRANSATION

Area/Dimensions	Street No.	Street/Road etc	Town/Suburb
827m2	3	Penny Lane	McCrae

Allotment	Section/Portion	Parish	Postcode
-	-	Wannaeue	3938

Side of Street east commencing south west of Nepean Highway

Lot No.	Plan No.	Volume	Folio	Municipality
2	310930Y	10052	415	Mornington Peninsula Shire Council

Ward or Riding	For Office Use	Date of Transfer	Contract Date	Possession
		15/11/95	21/8/95	15/11/95

Total Sale Price $63,500.00
Terms of Sale Cash Deposit $6,350.00 Balance $57,150.00

PROPERTY DETAILS

Yes, there are improvements to the property.
Code Number 04

Name and Address of Solicitor for:-

Vendor
Williams & Williams
313 Main Street, Mornington
(059) 755 222

Purchaser
P. Pandeli
1066 Doncaster Road, Doncaster
(03) 9841 9359

We Williams & Williams of 313 Main Street, Mornington hereby declare that the above statements are true and correct.

Personal Information

.....
30/11/95

148726

ASSESS NO.	5.57476
RATES	✓
CARDS	✓
MAPS	✓
V.M.S.	
FU	

Registrar of Titles
283 Queen Street
Melbourne 3000

Government of Victoria
Schedule B

3

Notice of Acquisition of an Interest in Land

Section 15(2) and (3) of the *Land Tax Act 1958* and Regulation 11 of the Land Tax Regulations 1988 together require every person who acquires any land in Victoria to give notice to the Registrar of Titles in the prescribed form containing the prescribed particulars within one month of the acquisition of that land.

As from 1 July 1993 a Notice of Acquisition must be lodged with the Registrar of Titles instead of the Commissioner of Land Tax and the lodgement of a separate Notice of Disposition for land tax purposes is not required (due to the revoking of Regulation 12 and Schedule C and the amendment of Regulation 11 of the Land Tax Regulations 1988).

10853.

VENDOR/TRANSFEROR	† PURCHASER/TRANSFEREE
Surname: RADCLIFFE	Surname: DIMOPOULOS
If a joint ownership, estate, trust, corporation or company, state full names thereof.	*If a joint ownership, estate, trust, corporation or company, state full names thereof.*
Given names (in full): JOSEPH & AGNESS FLINT FORRESTER	Given names (in full): FOTI & VENETTA
Occupation:	Occupation:
Address: 607 POINT NEPEAN ROAD McCRAE Postcode 3938	Address: 178 MELBOURNE ROAD RYE Postcode 3941
Rent (if known) $ 69324.93	If purchaser will not occupy property state name of occupier (if known):
Address for service of future notices (if known): AS ABOVE 69329.93 Postcode	Address for service of future notices (if known): AS ABOVE Postcode

DETAILS OF TITLE AND TRANSACTION

Area or dimensions: 827M²	Flat/Unit No.:	Street No.: 3	Street, road, etc.: PENNY LANE
Town or suburb: McCRAE			
Municipal property No.: 5.57476	Allotment:	Section or portion:	Parish: WANNAEUE
Lot No.: 2	Plan No.: 310930Y	Volume: 10052 Book:	Folio: 415 Memorial:
Municipality: MORNINGTON PENINSULA SHIRE	Ward or riding:	For Office Use:	Date of transfer: 15/11/1995 Contract: 23/8/1995 Date possession given: 15/11/1995

Total sale price $ 63,500-00 Less chattels $ — Net sale price $ 63,500-00

Terms of sale: [X] Cash Deposit $ 6350-00 Balance $ 57,150-00

[ ] Terms Deposit $ ..... Balance by instalments of $ ..... per .....

extending over ..... years with interest at ..... per cent. Balance due .....

Note: Place X in boxes where applicable

PROPERTY DETAILS

Are there any improvements to the property? [X] Yes [ ] No

Are there any items in the transaction additional to land and improvements? If so, show approximate value.

$ _____ Plant and machinery

$ _____ Licence

$ _____ Chattels, crops, livestock, etc.

Was the purchaser, at the time of this transaction, in respect of this property, one (or more) of the following: Occupier [ ] Lessee [ ]

Construction of main structure (if applicable): Brick [ ] Brick veneer [ ] Timber [ ] Fibro cement [ ] Other [ ]

Description of property *(see reverse side of sheet for code)*: Code numbers 0 4

Name and address of solicitor or agent for vendor	Name and address of solicitor or agent for purchaser
Williams & Williams 309-313 Main St. Mornington,	P. PANDELI 1066 DONCASTER ROAD, DONCASTER EAST
Telephone number (059) 75 5222 3931	Telephone number 9841 9359.

I/We P. PANDELI of 1066 Doncaster Road Doncaster East, 3109

hereby declare that the above statements are true and correct.

Witness .....

Date 15/11/1995

Personal Information

Personal Information

Personal Information

† Where the Purchasers are joint owners or related corporations the attached form should be completed.

FILE NO. 148726

RECEIVED - 4 SEP 1995

CPT. No.	DEPT.	OFFICER
100	PE	D.T.

FOR
DRAFT REPLY FOR C.E.
DEPARTMENTAL REPLY /
COUNCIL COMMITTEE
INFORMATION ONLY

RECEIVED DA COUNTER
- 1 SEP 1995
BA/PA

LATE DELIVERY
DEFERRED
PROCESSING

(2)

$30.00

HOUSE PLANS CODE 49
OTHER A.3200.503.4

COLLECT / POST

phone when ready.

MORNINGTON PENINSULA SHIRE COUNCIL

INFORMATION REQUEST FORM

NO PLANS AVAILABLE RANG AND ADVISED 7/9/95 DR.

MR/MRS/MISS....FRANK.....Dimopoulos.....

ADDRESS..128.....MELBOURNE.....Rd.....RYE.....

.....3941.....POSTCODE.....

PHONE NUMBER Personal Information ..DATE..1/9/95.....

SIGNED. Personal Information .....

PROPERTY ADDRESS (INCLUDING STREET NUMBER AND LOT NUMBER)

No 3...Lot 2.....PENNY.....LANE.....

.....McCRAE.....3938.....

PLEASE TICK INFORMATION REQUIRED

1) COPY OF CERTIFICATE OF OCCUPANCY ..... ✓

2) COPY OF BUILDING APPROVAL ..... ✓

3) COPY OF HOUSE PLANS ..... ✓

4) OTHER ..... ✓

PLEASE INDICATE WHETHER YOU WISH TO COLLECT THE MATERIAL OR HAVE IT POSTED TO YOU.

NOTE: A search fee of $30 will be charged for attempting to locate any applicable documents relating to the Building Approval irrespective of whether anything is found. Copies of documents will only be available to the **owner** or a person having **written consent of the owner**, and generally the $30 search fee paid will cover copying costs.

Private Bag 1000.

MORNINGTON PENINSULA SHIRE COUNCIL

BONEO ROAD, (PRIVATE BAG 1000) ROSEBUD, 3939

OFFICIAL RECEIPT

TELEPHONE: (059) 81 1500

IF PAYMENT HAS BEEN MADE BY CHEQUE OR CREDIT CARD, THIS RECEIPT IS ISSUED SUBJECT TO PAYMENTS BEING CLEARED.

REFERENCE	ACCOUNT NUMBER	AMOUNT PAID
DEVELOPMENT APPROVAL	ELICIA 005706	30.00

F & V DIMOPOULOS

0000

TOTAL PAID:	30.00
DATE:	1/09/95
RECEIPT No.:	5706
REMITTANCE No.:	

148726.

11 August 1993

Mr J & Mrs A Radcliffe
607 Point Nepean Road
MCCRAE 3938

Dear Mr & Mrs Radcliffe

607-609 POINT NEPEAN ROAD, MCCRAE & 3 PENNY LANE, MCCRAE

Enclosed please find computer print outs for rate accounts in respect of both the above properties as requested by phone on 10 August 1993.

An explanation of these print outs is shown below.

607-609 Point Nepean Road, McCrae
Assessment 6.57475

Rate	$507.05	
Garbage Charge	$85.00	
State Deficit Levy	$50.00	
	$642.05	
Less Pension Rebate		
Rate	$135.00	
State Deficit Levy	$18.50	
Less Payments		
11/12/1992	$148.70	
1/3/1993	$113.28	
3/5/1993	$148.70	
	$77.87	Balance to be paid by 31 August 1993.

Cont.../2

Ken

3 Penny Lane, McCrae
Assessment 5.57476

Rate	$430.55
Pro rata Garbage Charge	$38.00
State Deficit Levy	$50.00
	$518.55
Less Payment 1/3/1993	$172.85
	$345.70

Balance to be paid by 31 August 1993

The two rate accounts replaced the one issued last November. The payment for 11 December 1992 was transferred from the original account. All notices were mailed to 607 Point Nepean Road, McCrae.

Please quote Assessment numbers when sending payment to Shire of Flinders, Private Bag 1000, Rosebud 3939.

Yours faithfully

John Humphris
RATE COLLECTOR

(Reference: KSK:ME 148725,148726 : Kay Knowles - Direct Dial 86 0252)